

**CITY OF PELLA, IOWA**  
**TENTATIVE CITY COUNCIL MEETING AGENDA**  
**October 4, 2016—7:00 p.m. – Public Safety Complex**  
**Liberty Street Entrance**

**A. CALL TO ORDER BY MAYOR AND ROLL CALL**

**B. MAYOR'S COMMENTS**

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
  - a. None
2. Approval of tentative agenda.
3. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.

**\*PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

(Public comments are limited to 3 minutes.)

**C. APPROVAL OF CONSENT AGENDA**

"Consent Agenda" means that all items listed below will be automatically approved with one Roll Call vote approving the "Consent Agenda". Any City Council member may ask to pull an item from the "Consent Agenda" for discussion and a separate vote. The purpose of a "Consent Agenda" is to expedite routine items and allow Council time to discuss more important matters."

1. Approval of Minutes
  - a. Official Council Minutes for September 20, 2016.
2. Report of Committees
  - a. Policy and Planning Minutes for September 20, 2016.
  - b. Library Board Minutes for August 9, 2016.
  - c. Community Services Board Minutes for May 19, 2016.
  - d. Board of Adjustment Minutes for August 9, 2016.
  - e. Planning and Zoning Commission Minutes for August 22, 2016.
3. Petitions and Communications
  - a. Renewal of Class B Beer Permit with Sunday Sales for Happy Joe's Pizza & Ice Cream Parlor
4. Administration Reports
  - a. None

**D. \*PUBLIC HEARINGS**

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on FURNISHING 15 KV SWITCHGEAR AND 15 KV SWITCHGEAR PANEL DOORS FOR THE CITY OF PELLA, IOWA".
1. b. Resolution No. 5724 entitled, "RESOLUTION APPROVING PLANS AND SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF MATERIALS IN CONNECTION WITH THE WEST SUBSTATION 69 KV RING BUS IMPROVEMENTS FOR FURNISHING 15 KV SWITCHGEAR AND 15 KV SWITCHGEAR PANEL DOORS".

**E. PETITIONS & COMMUNICATIONS**

1. Outdoor Service Privilege on a Class C Liquor License for The Cellar Peanut Pub for October 8, 2016.

**F. PLANNING AND ZONING ITEMS**

NONE

**G. ADMINISTRATION REPORTS**

NONE

## **H. RESOLUTIONS**

1. Resolution No. 5725 entitled, "A RESOLUTION ENTERING INTO A CONTRACT WITH THE GOVERNOR'S TRAFFIC SAFETY BUREAU FOR THE PURPOSE OF SPECIAL TRAFFIC ENFORCEMENT IN THE CITY OF PELLA."

## **I. ORDINANCES**

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 914 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP". (3rd Reading)

2. Ordinance No. 915 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY LOCATED AT 505-513 MAIN STREET, AND 705 UNION STREET, CITY OF PELLA, MARION COUNTY, IOWA". (3rd Reading)

3. Ordinance No. 916 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP (2nd Reading).

## **J. CLAIMS**

1. Abstract of bills No. 1968.

## **K. OTHER BUSINESS/ \*PUBLIC FORUM (any additional comments from the Public)**

(Public comments are limited to 3 minutes.)

## **L. CLOSED SESSION**

1. Closed Session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.

## **M. ADJOURNMENT**

**NOTICE:** Items to be presented to the City Council must be in the hands of the City Clerk no later than 4:00 p.m. on the Monday before the week of the Council meeting. A packet containing the agenda and documentation for each item listed on the agenda is then prepared on Friday and delivered to each Councilmember. The next regular Council meeting is scheduled for October 18, 2016. The deadline for items is October 10, 2016. *The CITY OF PELLA encourages all citizens of Pella to attend Council meetings. Our Council Chambers are handicapped accessible and City Staff are available to give assistance if needed. If you are hearing impaired or vision impaired or a person with Limited English Proficiency and require an interpreter or reader, please contact City Hall by NOON on the Monday prior to Council meetings to arrange for assistance. (641-628-4173). TTY telephone service available for the hearing impaired through Relay Iowa 1-800-735-2942.*

**CITY OF PELLA, IOWA  
CITY COUNCIL  
OFFICIAL MINUTES  
September 20, 2016**

**A. CALL TO ORDER BY MAYOR AND ROLL CALL**

The City Council of the City of Pella, Iowa, met in regular session at the Public Safety Complex meeting room at 7:00 p.m., Mayor Jim Mueller presiding. Members present were: Mark De Jong, Tony Bokhoven, Harold Van Stryland, Bruce Schiebout, Larry Peterson. Absent: Dan L. Vander Beek. City Administrator Mike Nardini, City Attorney Bob Stuyvesant, Attorney John Webber and City Clerk Ronda Brown were present. Six staff members and fifty six members of the general public signed the register.

**B. MAYOR'S COMMENTS**

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
  - a. Project Update
2. Approval of tentative agenda. Councilmember Van Stryland moved to approve the tentative agenda, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Van Stryland, Bokhoven, Schiebout, Peterson, De Jong. NAYS: None. Motion carried.

**\*PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

Comments were received and addressed.

**C. APPROVAL OF CONSENT AGENDA**

Councilmember Peterson moved to approve the consent agenda, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Peterson, Van Stryland, Schiebout, De Jong, Bokhoven. NAYS: None. Motion carried. The following items were approved:

1. Approval of Minutes
  - a. Official Council Minutes for September 6, 2016.
2. Report of Committees
  - a. Policy and Planning Minutes for September 6, 2016.

Policy and Planning Minutes  
September 6, 2016

No meeting was held.  
Respectfully Submitted,  
Ronda Brown, City Clerk

3. Petitions and Communications
  - a. Renewal of Class C Liquor License with Sunday Sales for Applebee's Neighborhood Grill & Bar.

SUBJECT: Renewal Class C Liquor License for Applebee's  
 DATE: September 20, 2016  
 BACKGROUND: Apple Corps, LP has applied for a renewal of their Class C Liquor License with Sunday Sales for Applebee's Neighborhood Grill & Bar, located at 1600 Washington. The term for the new license is 12 months and would expire on November 2, 2017. All requirements have been completed online with the State, and approval is recommended.  
 ATTACHMENTS: Application  
 REPORT PREPARED BY: City Clerk  
 REPORT REVIEWED BY: CITY ADMINISTRATOR  
 CITY CLERK  
 RECOMMENDED ACTION: Approve renewal.

- b. Renewal of Class C Beer Permit with Class B Wine and Sunday Sales for Casey's General Store #3213.

SUBJECT: Renewal of Class C Beer Permit for Casey's General Store #3213  
 DATE: September 20, 2016  
 BACKGROUND: Casey's General Store #3213 at 744 Washington Street has applied for renewal of their Class C Beer Permit with Class B Wine and Sunday sales. The term for the new license is 12 months and would expire on November 14, 2017. All requirements have been completed online with the state, and approval is recommended.  
 ATTACHMENTS: Application

REPORT PREPARED BY: City Clerk  
REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK  
RECOMMENDED ACTION: Approve renewal.

4. Administration Reports  
a. None

**D. \*PUBLIC HEARINGS**

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on a Rezoning Request for DaVita Healthcare Partners and Pella Regional Health Center. No written comments were received. Oral comments were received. Councilmember Van Stryland moved to close the public hearing, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Rezoning for DaVita Healthcare Partners Inc. & Pella Regional Health Center

DATE: September 20, 2016 (1<sup>st</sup> Reading)

**BACKGROUND:**

DaVita Healthcare Partners Inc. and Pella Regional Health Center are requesting to rezone four vacant properties, previously identified as 307 and 309 Jefferson Street and 1117 and 1121 Hazel Street, from R2 medium density residential to Institutional (INS). The purpose of the rezoning request is to support a medical building which would serve dialysis patients. A conceptual site plan for the property is included for Council's review.

**Current Zoning**

The current zoning for the four parcels is R2 (two family medium density residential). This district is intended to provide locations for medium density residential areas for single-family and two-family dwellings on moderate to small lots with supporting community facilities and urban services.

**Proposed Zoning**

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

The adjacent zoning immediately to the north is INS (Institutional). The adjacent zoning immediately to the west, south and east is R2 (two family medium density residential). Staff does not believe there are any spot zoning concerns associated with this request as these properties are adjacent and in close proximity to an existing institutional use.

In considering this request, it is important to note, Institutional Zoning is in close proximity to the property with Pella Regional Health Center to the north. In addition, the applicant has provided a properly completed rezoning petition for properties within 300' of the proposal consisting of forty-three (43) properties. Sixteen (16) properties have signed the petition notification indicating their consent to the rezoning, (37%).

**Comprehensive Plan**

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Medical and Assisted uses. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses. Therefore, staff believes the proposed request is consistent with the City's Comprehensive Plan.

**Summary**

The proposed ordinance would amend the boundaries of the INS District to include four parcels of land (307 and 309 Jefferson Street and 1117 and 1121 Hazel Street) from R2 Medium Density Residential to INS Institutional District.

Staff believes the proposed dialysis/medical use is an allowable use within the City's INS zoning district. Furthermore, we also believe this request is consistent with the City's comprehensive plan. Based upon these findings, staff recommends approval of the rezoning request.

Finally, it should be noted, the Planning and Zoning Commission at their August 22, 2016 meeting approved the rezoning on a vote of 9 yes and 1 abstention.

ATTACHMENTS: Ordinance, Zoning Map, Comp Plan map, Location Map, Concept Plan

REPORT PREPARED BY: Planning and Zoning

REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve Ordinance

1. b. Ordinance No. 916 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP. Councilmember Bokhoven moved to place Ordinance No. 916 on its first reading, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Bokhoven, Schiebout, Peterson, De Jong, Van Stryland. NAYS: None. Motion carried.

2. a. Public Hearing on Furnishing Electrical Materials for the Vermeer Road Utility Project, Pella, Iowa. No written comments were received. Oral comments were received. Councilmember Bokhoven moved to close the public hearing, seconded by Councilmember Peterson. On roll call the vote was: AYES: Bokhoven, Peterson, De Jong, Van Stryland, Schiebout. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Plans and Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Materials for Furnishing Electrical Materials for the Vermeer Road Utility Project, Pella, Iowa

DATE: September 20, 2016

BACKGROUND: This resolution approves the plans, specifications, form of contract, and estimate of costs, accepts bids, and awards the material contracts for Furnishing Electrical Materials for the Vermeer Road Utility Project. The intention of this project is to place the 12,470 volt electrical distribution system in

the area of Vermeer Corporation underground. The distribution system in this area will extend on Vermeer Road from 240th Place to 250th Street and beginning at Vermeer Road and running north 990 feet along 250<sup>th</sup> Street.

The placement of the distribution system is expected to be completed in two phases. The first phase will be the trenching and placement of the electrical conduit underground. This phase is proposed to be completed by Vermeer Corporation over the next twelve months and will be facilitated by a development agreement. It is important to note, once Vermeer Corporation completes this phase of the project, they will dedicate the electrical conduit and associated manholes to the City of Pella as public infrastructure. After the necessary electrical conduit is placed underground, the City will place the distribution system in this area underground.

The Bid opening was held at 1:30 on September 13, 2016. Seven bids were received and are summarized below.

Bidder	Bid 1 – Conduit	Bid 2 – Manholes	Total Bid
Power Line Supply	<b>\$93,077.05 (corrected)</b>	<b>\$79,368.32 (corrected)</b>	<b>\$172,445.37</b>
Border States Electric	\$96,065.49 (corrected)	\$80,194.36 (corrected)	\$176,259.85
Kriz-Davis Company	\$96,656.10 (corrected)	\$80,190.08 (corrected)	\$176,846.18
Fletcher-Reinhardt Co	\$96,656.10 (corrected)	\$80,857.76 (corrected)	\$177,513.86
Irby Utilities	\$97,076.27 (corrected)	\$80,584.95	\$177,661.22
RESCO	Incomplete	\$81,063.20	Incomplete
Terry Durin Co	Incomplete	NO BID	Incomplete

After reviewing the bid proposals, the project Engineer, KJWW, recommends awarding the contracts for 43,850 feet of 5-inch diameter Schedule 50 PVC Conduit; 9,180 5-inch Non-Metallic Conduit Spacers; and Eight Concrete Manholes to Power Line Supply of Williamsburg, Iowa in the amount of \$172,445.37. Engineer's estimate for material was \$220,285.

As noted above, this project is expected to be a joint project between the City of Pella and Vermeer for which the terms and conditions of the project will be incorporated into a development agreement and presented to the Council for approval at a future Council meeting. The engineer's estimate of the project, were the City to undertake the project alone through the utilization of a private contractor, is approximately \$500,000. Given the partnership with Vermeer Corporation, the City's total estimated cost, which will only include materials, is \$172,445.37. It should be noted that the project is expected to get underway immediately following the delivery of materials and will likely be completed by the spring of 2017.

Given the significant savings associated with the development agreement and the improved service associated with this project, staff is requesting that Council approve the purchase of materials listed above in the amount of \$172,445.37 and authorize the Electric Director to sign the material agreements and issue the notice to proceed once the agreements are in proper order and fully executed.

ATTACHMENTS: Resolution, Bid Summary, Engineer's Recommendation  
 REPORT PREPARED BY: Electric Department  
 REPORT REVIEWED BY: CITY ADMINISTRATOR  
 CITY CLERK  
 RECOMMENDED ACTION: Approve resolution.

2. b. Resolution No. 5716 entitled, "RESOLUTION APPROVING PLANS AND SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF MATERIALS FOR FURNISHING ELECTRICAL MATERIALS FOR THE VERMEER ROAD UTILITY PROJECT, PELLA, IOWA". Councilmember Van Stryland moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

**E. PETITIONS & COMMUNICATIONS**

1a. Special Event—Marching Dutch Invitational. Councilmember Bokhoven moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Bokhoven, Schiebout, Peterson, De Jong, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Special Event Permit—Marching Dutch Invitational

DATE: September 20, 2016

BACKGROUND: Jason Pentico, Pella High's Director of Bands, has requested a special event permit for the "Marching Dutch Invitational" to be held on Saturday, September 24, 2016. The proposed event is scheduled from 3:00 pm to 11:00 pm with set-up/take down requested from 2:00 pm to 12:00 am on Sunday, September 25<sup>th</sup>.

Pella Community Schools has hosted the Marching Dutch Invitational since 2010. This event has grown to 21 registered bands and 1,700 students participating. In the past, the bands have been largely staged on the PHS campus. Since much of PHS is under construction, Faith Christian Reformed Church has granted use of their campus to park buses and allow practice prior to competition in the PHS football stadium.

The reason for the special event request through the City is the desire to close E University Street from East 10<sup>th</sup> to East 13<sup>th</sup> to ensure the safety of the many students and attendees that will continually cross throughout the event. Therefore, a resolution requesting this street closure is also being presented for Council's consideration.

The fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Department Comments, Map  
 REPORT PREPARED BY: City Hall Staff  
 REPORT REVIEWED BY: CITY ADMINISTRATOR  
 CITY CLERK

RECOMMENDED ACTION: Approve Special Event and Resolution.

1b. Resolution No. 5717 entitled, "RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "MARCHING DUTCH INVITATIONAL". Councilmember Bokhoven moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Bokhoven, Schiebout, Peterson, De Jong, Van Stryland. NAYS: None. Motion carried.

2a. Special Event—Herfst Feest. Councilmember Peterson moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Peterson, Van Stryland, Schiebout, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Special Event Permit Request for Herfst Feest (Fall Festival)

DATE: September 20, 2016

BACKGROUND: The Pella Chamber of Commerce has requested a special event permit for the "Herfst Feest (Fall Festival)", which is proposed to be held on September 23rd and 24th, 2016. Set-up would start at 12:00 p.m. on Friday the 23rd and take down would run until 8:00 p.m. on Saturday the 24th. The proposed event features activities and entertainment designed to bring visitors to Pella for the weekend. A requested rain date is October 1, 2016.

As a part of this event, a resolution has also been requested that closes the following streets and parking:

1. 800 block of Broadway Street on September 24, 2016 from 6 am-6 pm.
2. 700 block of Franklin on September 24, 2016 from 6 am-6 pm.
3. Eight parking spaces on the north east side of Franklin Street across from the Post Office.
4. It should be noted, the 700 Block of Main was approved by Council on April 19, 2016 for closure on Sept. 24 from 6:00 a.m.–11:30 a.m. as part of the Many Hands for Haiti Color Run.

The fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Department Comments, Map

REPORT PREPARED BY: City Hall Staff

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve Special Event and Resolution.

2b. Resolution No. 5718 entitled, "RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "HERFST FEEST". Councilmember Bokhoven moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Bokhoven, De Jong, Van Stryland, Schiebout, Peterson. NAYS: None. Motion carried.

3a. Special Event—Homecoming Street Party at Central College. Councilmember Van Stryland moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Special Event Permit Request for Central College Homecoming

DATE: September 20, 2016

BACKGROUND: Central College has requested a Special Event Permit from 4:00 p.m. to 7:30 p.m. on Friday, September 30, 2016 for "Homecoming Street Party at Central College". They anticipate a crowd of 300 for the pep rally.

As a part of this request, a resolution is included that approves the closing of the 300 block of Broadway between University and Peace from 3:30 pm—7:30 pm. All pertinent City Departments have reviewed this application and comments are attached. The appropriate fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Map, Department Comments

REPORT PREPARED BY: Receptionist

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve special event and resolution.

3b. Resolution No. 5719 entitled, "RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "HOMECOMING STREET PARTY AT CENTRAL COLLEGE". Councilmember Bokhoven moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Bokhoven, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried.

## **F. PLANNING AND ZONING ITEMS**

NONE

## **G. ADMINISTRATION REPORTS**

NONE

## **H. RESOLUTIONS**

1. Resolution No. 5720 entitled, "RESOLUTION APPROVING CHANGE ORDER NO.1 WITH ELECTRICAL POWER PRODUCTS FOR FURNISHING ONE 69 KV CONTROL PANEL IN CONNECTION WITH THE WEST SUBSTATION RING BUS CONVERSION PROJECT". Councilmember Schiebout moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Schiebout, De Jong, Bokhoven, Van Stryland, Peterson. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Change Order No. 1 with Electrical Power Products (EP2) for One Additional 69 kV Control Panel in Connection with the West Substation Ring Bus Conversion Project

DATE: September 20, 2016

BACKGROUND: On January 5, 2016, Council approved a contract with Electrical Power Products (EP2) to supply 69 kV control panels for the West Substation Ring Bus Project. As part of the overall project, the existing 69 kV capacitor bank at the West Substation needs to be relocated to the Clark Street Substation. The outdated control panel needs to be replaced with modern protective relaying and communication devices that are compatible with the

department's SCADA system. In order to facilitate this, a new panel needs to be manufactured to control the circuit breaker and monitor the capacitor bank at its new location. EP2 has been contacted and has agreed to manufacture a new 69 kV capacitor bank control panel at the cost of \$21,614. Change Order No. 1 with EP2 is summarized below:

Previous Contract Price	\$251,559.00
Change Order No. 1	<u>\$ 21,614.00</u>
New Contract Amount	<u>\$273,173.00</u>

This resolution approves Change Order No. 1 with EP2 to supply one 69 kV capacitor bank control panel for the West Substation Ring Bus Conversion Project for \$21,614. This control panel will replace the outdated one from the West Substation and will be installed at the Clark Street Substation. It is important to note that these costs are being reimbursed by Western Minnesota Municipal Power Agency (WMMPA), the financing agency behind the Red Rock Hydroelectric Project, as a part of the Generation Interconnection Agreement.

ATTACHMENTS: Resolution, Change Order No. 1 with EP2

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

**2. Resolution No. 5721 entitled, "RESOLUTION APPROVING AND AUTHORIZING EXECUTION OF A DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF PELLA AND VERMEER CORPORATION".** Councilmember Schiebout moved to approve, seconded by Councilmember De Jong. On roll call the vote was: **AYES:** Schiebout, De Jong, Bokhoven, Van Stryland, Peterson. **NAYS:** None. Motion carried.

SUBJECT: Vermeer Corporation Development Agreement – Electric Distribution

DATE: September 20, 2016

BACKGROUND:

This proposed development agreement with Vermeer Corporation is intended to facilitate the placement of the 12,470 volt electrical distribution system in the area of Vermeer Corporation underground. As background, the placement of the distribution system is expected to be completed in two phases. The first phase, which is covered under the terms and conditions of the proposed development agreement, is the boring and placement of the electrical conduit underground. This phase is proposed to be completed by Vermeer Corporation. It is important to note, once Vermeer Corporation completes this phase of the project, they will dedicate the electrical conduit and associated manholes to the City of Pella as public infrastructure. After the necessary electrical conduit is placed underground, the City will place the distribution system in this area underground.

Listed below is a summary of the key provisions of the proposed development agreement:

- The geographical area of the project extends from the intersection of Vermeer Road and 240<sup>th</sup> Place to the intersection of 250<sup>th</sup> Street and Vermeer Road. The electrical conduit system will then extend approximately 990' feet north from the intersection of 250<sup>th</sup> Street and Vermeer Road.
- The City of Pella will provide the necessary materials for the electrical conduit system, which includes approximately 44,000 linear feet (LF) of 5" PVC conduit and necessary spacers as well eight (8) concrete manholes.
- Vermeer Corporation will install the materials in accordance with the plans and specifications included in the agreement, which were developed by KJWW Engineering Consultants.
- Following the completion of the installation of the materials and based on as built drawing, Vermeer Corporation will grant the City an easement allowing entry onto portions of Developer's property necessary for installation, maintenance, repair, or replacement of the public infrastructure.
- Following the installation of the materials, and after dedication of the materials to the City, staff will place the distribution system in the area and prepare it for service.
- The developer's phase is expected to be completed by October 30, 2017.

Approval of this agreement is contingent upon the City Council awarding a contract for the electrical materials necessary to construct the electrical conduit systems. The electrical materials contract will also be considered at the September 20, 2016 Council meeting.

Finally, it is important to note, staff believes the proposed development agreement will be a significant savings for the City of Pella. The reason for this is the City is only responsible for purchasing the materials for the project, which is estimated to cost approximately \$161,000. In comparison, if the City were to hire a contractor to place the electrical conduit system underground, the estimated cost could be in the range of \$500,000.

ATTACHMENTS: Resolution, Development Agreement

REPORT PREPARED BY: Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve resolution.

**3. Resolution No. 5722 entitled, "RESOLUTION ORDERING THE PREPARATION OF PLANS AND SPECIFICATIONS, FORM OF CONTRACT, NOTICE OF HEARING AND LETTING, SETTING DATE FOR PUBLIC HEARING, AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING 15 KV SWITCHGEAR AND 15 KV SWITCHGEAR PANEL DOORS FOR THE CITY OF PELLA, IOWA".** Councilmember Van Stryland moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: **AYES:** Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. **NAYS:** None. Motion carried.

SUBJECT: Resolution Ordering Plans and Specifications, Form of Contract, Notice to Bidders, Setting the Public Hearing, and Authorizing the Taking of Bids and Authorizing Bid Opening in Connection with the West Substation 69kV Ring Bus Improvements for Furnishing 15 kV Switchgear and 15 kV Switchgear Panel Doors.

DATE: September 20, 2016

BACKGROUND: This resolution sets the Public Hearing date as October 4, 2016, and authorizes the taking of bids for 15 kV switchgear and 15 kV switchgear panel doors. This material will be used in conjunction with the West Substation 69kV Ring Bus Improvements.

The equipment is described in general as follows:

A new lineup of 15 kV indoor metalclad switchgear including seven (7) vacuum circuit breakers with related relaying, controls, and accessories.  
Eight (8) replacement switchgear panel doors including relaying, related controls, and accessories.  
Critical dates have been identified as:

September 27, 2016	Bid Opening at 1:30 pm at City Hall
October 4, 2016	Public Hearing and Award at 7:00 pm
January 15, 2017	Switchgear Panel Door Delivery
April 15, 2017	Switchgear Delivery

The engineer's estimated cost for the material is:

\$373,000 for the 15 kV switchgear and 15 kV switchgear panel doors.

It is important to note that all of these costs are exclusively related to distribution functions and will be the responsibility of the City of Pella.

ATTACHMENTS: Resolution, Bid Specification

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve resolution.

4. Resolution No. 5723 entitled, "RESOLUTION APPROVING ENGINEERING SERVICES CONTRACT WITH FOX ENGINEERING ASSOCIATES, INC. FOR A FACILITY PLAN, ANTIDEGRADATION ALTERNATIVES ANALYSIS AND NUTRIENT REDUCTION STUDY". Councilmember Peterson moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Peterson, Schiebout, De Jong, Bokhoven, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Engineering Services Contract with Fox Engineering Associates, Inc. for a Facility Plan, Antidegradation Alternatives Analysis and Nutrient Reduction Study

DATE: September 20, 2016

BACKGROUND: This resolution approves an engineering services contract in the amount of \$57,000 with Fox Engineering Associates, Inc. As background, the Iowa Department of Natural Resources (IDNR) recently issued the City of Pella a new National Pollutant Discharge Elimination System (NPDES) permit for the City's wastewater treatment plant. The City's previous NPDES permit expired in 2008. It is important to note, the new NPDES permit lowers the discharge limits for ammonia and also requires a nutrient reduction strategy. The proposed contract with Fox Engineering is for the development of a facility plan and a nutrient reduction strategy which are required to address the City's new NPDES permit requirements.

Under the terms of the proposed contract, Fox Engineering, with the assistance of City staff, will prepare a facility plan, perform an antidegradation analysis, and formulate a nutrient reduction plan. If approved by Council, Fox Engineering will begin in September of 2016 and is expected to complete their analysis by August of 2017. Listed below are the proposed engineering fees:

Facility Plan	\$34,500
Antidegradation Alternatives Analysis	7,500
Nutrient Reduction Study	<u>15,000</u>
<b>Total Engineering Services</b>	<b><u>\$57,000</u></b>

Staff believes the above engineering fees are reasonable in relation to the scale of the project. Furthermore, we are also recommending approval of this contract.

ATTACHMENTS: Resolution, Engineering Agreement

REPORT PREPARED BY: Public Works

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve resolution.

## **I. ORDINANCES**

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 914 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP". Councilmember De Jong moved to place Ordinance No. 914 on its second reading, seconded by Councilmember Schiebout. On roll call the vote was: AYES: De Jong, Schiebout, Peterson, Bokhoven, Van Stryland. NAYS: None. Motion carried. It was moved by Councilmember Van Stryland that the statutory rule requiring said ordinance to be considered and voted on for passage at two Council meetings prior to the meeting at which it is to be finally passed be suspended. Motion failed for lack of support.

SUBJECT: Rezoning for Pella Regional Health Center

DATE: September 20, 2016 (2<sup>nd</sup> Reading)

BACKGROUND:

Pella Regional Health Center (PRHC) is requesting to rezone three properties located in the 500 block of Monroe Street from R1B Single Family Residential to INS Institutional District. The purpose of the rezoning request is to support a proposed 12,095 square foot parking lot adjacent to PRHC. It is staff's understanding the properties for this proposed rezoning will be used for additional parking for PRHC. The parcels are identified as: 1223 Birch Street; 505 Monroe Street and 507 Monroe Street.

### **Zoning**

The current zoning for these properties is R1B Single Family Residential. This district is intended to provide locations for moderate density residential areas for single-family use with supporting and appropriate community facilities. Its regulations are intended to minimize traffic congestion and to assure that density is consistent with the carrying capacity of infrastructure.

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

Staff does not believe there are any spot zoning concerns associated with this request as these properties are adjacent and in close proximity to an existing institutional use.

#### **Comprehensive Plan**

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Medical and Assisted uses. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses. Therefore, staff believes this request is consistent with the City's Comprehensive Plan.

#### **Summary**

Staff is recommending approval of this zoning request. The proposed ordinance would amend the boundaries of the INS District to include three parcels of land owned by Pella Regional Health Care (1223 Birch Street, 505 Monroe Street, and 507 Monroe Street) from R1B Single Family Residential to INS Institutional District. It should be noted, the Planning and Zoning Commission at their August 8, 2016 meeting approved the rezoning on a 7 to 0 vote.

ATTACHMENTS: Ordinance, Map, Citizen Letters

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve ordinance.

2. Ordinance No. 915 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY LOCATED AT 505-513 MAIN STREET, AND 705 UNION STREET, CITY OF PELLA, MARION COUNTY, IOWA". Councilmember Peterson moved to place Ordinance No. 915 on its second reading, seconded by Councilmember De Jong. On roll call the vote was: AYES: Peterson, De Jong, Bokhoven, Van Stryland. NAYS: Schiebout. Motion carried.

SUBJECT: Rezoning for Casey's Marketing Company

DATE: September 20, 2016 (2<sup>nd</sup> Reading)

#### **BACKGROUND:**

This proposed ordinance would change the zoning classification for the property located at 505-513 Main Street and 705 Union Street from Mixed Use Urban Commercial Corridor (CUC) to Planned Unit Development (PUD). As background, Casey's Marketing Company is proposing on this 1.17 acre site a new 4,475 square foot convenience store with gasoline sales. According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs. The existing Casey's stores which would be closed are 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street.

Under the City Code, the proposed development is identified as Convenience Food Sales use type and is permitted by right in the CUC Zoning District. This ordinance is being proposed by the City of Pella to satisfy the requirements of the city's comprehensive plan and to mitigate potential impacts to the neighboring residential properties which abut and are adjacent to the development.

#### **Planned Unit Development (PUD)**

A Planned Unit Development (hereinafter "PUD") is designed to allow for comprehensively planned projects which provide for innovative and imaginative approaches to urban design and land development. A PUD is a negotiated contract for land development between the private developer and the public governmental entity. This differs from the traditional approach to land development wherein the developer develops land pursuant to minimum standards previously adopted by the government. A PUD permits flexible variation from established land regulations as contained in zoning districts and in platting and subdivision requirements. In essence, the developer, with City staff guidance, Planning and Zoning Commission review, and Council approval, may develop its own guidelines for the best development of the land in question.

#### **Key Requirements of the Proposed Ordinance**

The proposed ordinance requires the development to be in conformance with the CUC zoning district except for the following modifications:

1. The Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site. The proposed ordinance allows the parking and associated fuel dispensing area for the development to be placed in front of the convenience store or further away from the neighboring residential properties.
2. The setback requirements for the proposed convenience store have been adjusted to allow the parking and fuel dispensing area to be placed in front of the building.
3. Currently, the City Code does not place any limits on the operating hours for the new convenience store. The proposed ordinance limits the operating hours for the development to 6:00 a.m. to 11:00 p.m.
4. The green space area requirement under the Pella City Code is 5% of the total development. The proposed ordinance requires a green space area of 28%. In addition, there are numerous landscaping enhancement being proposed as a part of the PUD.

The proposed ordinance also contain requirements for the three existing Casey's Marketing Company Stores located 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street. Specifically, the proposed ordinance requires Casey's Marketing Company to close and repurpose these existing stores within 30 days of receiving a certificate of occupancy for the new convenience store.

Finally, it is important to note, the PUD is contingent upon Casey's Marketing Company acquiring title to the property by February 1, 2017. If Casey's Marketing Company does not acquire title to the property by this date, then the zoning reclassification to PUD will be null and void.

#### **Site Plan Summary**

The Planning and Zoning Commission conditionally approved Casey's Marketing Company's proposed site plan on a 7-3 vote subject to the Pella City Council approving the planned unit development ordinance for the property site.

The proposed site plan was prepared in accordance with the Pella City Code and the requirements of this planned unit development ordinance. For Council's review, a copy of the proposed site plan is enclosed.

Listed below is a summary of the key points of the proposed site plan:

**Site Orientation** - The site plan for Casey's Marketing Company places the fuel dispensing area in close proximity to Main Street and in front of the proposed convenience store. The is an important issue because staff believes the proposed PUD ordinance allows for the fuel dispensing area to be placed farther away from the abutting the residential properties than if the development were constructed solely within the parameters of the City's zoning code. Specifically, the Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site.

**Building Design** - The design of the proposed convenience store and associated gas canopy was approved by the City's Community Development Committee. Staff believes the design of the proposed convenience store meets the city's architectural guidelines and appreciates the efforts Casey's Marketing Company has undertaken in designing the proposed convenience store.

**Site Landscaping and Buffering** - Under the City Code, a minimum of 5% of the total lot area is required for green space area. In comparison, approximately 28% of the proposed site plan for Casey's Marketing Company is green space area. Overall, the landscaping plan includes 21 screening trees, 6 tulip beds, 73 shrubs and bushes. In addition, located in the northeast corner of the property will be landscaping design features which will include a pedestrian walkway, tulip beds, benches, and an area dedicated for a future community sign such as a kiosk. Furthermore, the proposed site plan includes a 6 foot double sided heavy wood fence around the site. The fence will contain solid slats on each face of the fence. The gap between slats is offset 1/2 the width of a slat to further contain noise on the site. In addition, the fence will be built to incorporate both straight segments and intermittent segments built at 45 degree angles. The purpose of this construction is to break up the façade of the fence which staffs believes is an important mitigation element.

**Operating Hours and Lighting Plan** - The proposed PUD will limit the hours the new store can be open to the general public to 6:00 a.m. to 11:00 p.m. seven days per week. In addition, the lighting plan for the site operating hours for the new store plan is intended to minimize light pollution and contain lighting on the development site.

**Traffic Analysis** - As part of the site plan review, traffic engineers from Snyder and Associates conducted a traffic study for the development. Listed below are highlights from the analysis:

Traffic volume information was used from Iowa DOT 2014 counts as part of the estimated trip distribution. Based on the total number of drive-way trips during the most critical time periods (AM and PM peak hours), no improvements are recommended at either the intersection of Union Street and Main Street or to Union Street or Main Street at the development's proposed accesses. The traffic study did take into account the closing of the three existing stores (two downtown stores and the Oskaloosa Street store).

#### **Comprehensive Plan**

The Future Land Use Map of the Comprehensive Plan targets the proposed site for Mixed Use Commercial, which is the closest match to the City's CUC Zoning District. However, the Land Use Compatibility Matrix of the Comprehensive Plan indicates there could be potential land use compatibility issues between the development and the abutting residential property owners. As a result, staff believes the Comprehensive Plan recommends a PUD for the proposed development. According to the Comprehensive Plan, the intention of a PUD to assess the project's impact and define the development's design.

Staff believes the proposed planned unit development conforms to the City's comprehensive plan. Staff based our opinion on the fact that the use proposed by Casey's Marketing Company is permitted by right in the existing CUC Zoning District. Furthermore, the Future Land Use Map of the Comprehensive Plan appears to align with the CUC Zoning for the site. Therefore, any land use compatibility issues should be mitigated through the site planning process. In this particular case, staff believes the proposed PUD meets the intent of the City's Comprehensive Plan by requiring additional mitigation measures by the developer than what is required under the City's CUC zoning district. Listed below are the factors staff considered in making this determination:

The proposed PUD ordinance allows for the gas canopy area to be placed farther away from the abutting residential properties than if the development were constructed solely within the parameters of the City's zoning code. This is important because staff believes this additional separation will help mitigate potential impacts to the abutting residential property owners.

The proposed PUD contains significantly more green space area, landscaping, and screening than what is required under the City Code. Staff believes these items will help reduce the impact on the neighboring properties.

The proposed PUD limits the operating hours of the development which will further mitigate impacts to the neighboring property owners. Once again, based on staff's review, we believe the proposed planned unit development conforms to the City's Comprehensive Plan.

#### **Citizen Petition**

As a part of the public hearing process conducted by the Planning and Zoning Commission, a petition was received by property owners within 200' of the boundaries of the proposed site. Based on advice of legal counsel, staff believes this proposed ordinance will require a super majority approval from the Pella City Council.

#### **Staff Recommendation:**

Staff believes the proposed ordinance meets the requirements of the City's zoning code. In addition, staff also believes the proposed ordinance is consistent and in conformance with the City's comprehensive plan. Therefore, staff is recommending approval of the proposed ordinance which would formally establish a Planned Unit Development.

It should be noted that at the August 22, 2016 Planning and Zoning meeting, the Commission approved a resolution recommending approval of the PUD ordinance to Council on a 9 to 1 vote.

ATTACHMENTS: Ordinance, Planning and Zoning Resolution, Location Map, Comp Plan Map, Zoning Map, Casey's Marketing Company Site Plan, Citizen Letters

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve ordinance.

Councilmember Schiebout moved to enter into the record two exhibits and one letter concerning Casey's and one letter concerning the Pella Regional Health Center parking lot. It was seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Schiebout, Bokhoven, Van Stryland, Peterson, De Jong. NAYS: None. Motion carried.

#### **J. CLAIMS**

1. Abstract of bills No. 1967. Councilmember Schiebout moved to approve, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Schiebout, Bokhoven, Van Stryland, Peterson, De Jong. NAYS: None. Motion carried.

#### **K. OTHER BUSINESS/\*PUBLIC FORUM (any additional comments from the Public)**

Comments were received and addressed.

#### **L. CLOSED SESSION**

NONE

**M. ADJOURNMENT**

There being no further business claiming their attention, Councilmember Bokhoven moved to adjourn, seconded by Councilmember Peterson. On roll call the vote was: AYES: Bokhoven, Peterson, De Jong, Van Stryland, Schiebout. NAYS: None. Motion carried. Meeting adjourned at 9:22 p.m.

C-2-a

Policy and Planning Minutes  
September 20, 2016

No meeting was held.

Respectfully Submitted,  
Ronda Brown, City Clerk

**I. Call To Order:** President Rebecca Manifold called the meeting to order at 4:01 p.m. Board members present were: Alli Bogaard, Jane Koogler, John Evenhouse, and Rachel Sparks. Library Director Wendy Street was present. Kenny Nedder and Praveen Mohan were absent.

**II. Recognition of Visitors and Visitor Comments:** None

**III. Approval of Agenda:** There were no changes to the agenda. The agenda stood as approved.

**IV. Disposition of Minutes:** All Board members received the July minutes prior to the meeting. Rachel moved to approve the minutes. John seconded the motion and it carried. The minutes were unanimously approved.

**V. Approval of Bills:** All Board members received the August list of bills prior to the meeting. The Board discussed the bills and questions were answered. The electricity bill almost doubled from last month. Wendy explained that happens every summer as the library uses energy during peak times and therefore is charged a "prime time rate". The periodical subscription bill is new. This is a new provider and the cost reflected in the bills shows a yearly subscription for almost all of our periodicals. Alli moved to approve the bills. Jane seconded the motion and it carried. The bills were unanimously approved.

**VI. Unfinished Business:** None

**VII. New Business:**

- a. 2017 Holiday schedule: Rebecca motioned to approve the proposed 2017 Holiday Schedule. John seconded the motion and it carried.
- b. Collection Agency statistics: There was general discussion regarding the collection agency statistics and the account status. Although we do not collect a large amount, it is an effective deterrent. We will continue to use this agency.
- c. Revised Trustee application and proposed scoring matrix for applicants: Jane motioned to approve and accept the application and scoring matrix for Trustee applicants as presented. Rachel seconded the motion and it carried.
- d. Library Card sign-up month (1/2 price library cards): Rebecca motioned to approve the 1/2 price library card month. Alli seconded and it carried.

**VIII. President's Report and Announcements:** None

**IX. Director's Report:**

A. Summer Reading

The 2016 Summer Reading Program theme was "On Your Mark, Get Set... READ!" In the children's program, we had 1,183 participants, down from 1,214 last year. However, we awarded more prizes this year: 2,140 compared to 2,078 last year. We had 75 teens who read 240,225 pages this year. Last year 62 teens read 171,687 pages. In the adult program, we had 353 entries compared to 366 last year. The Summer Reading programs ended on July 31.

Next year's theme is "Build a Better World" and will focus on architecture, construction, and building.

#### B. Hoopla

Hoopla is now fully integrated in our catalog. When you find a hoopla title you want, you can click on the link in the catalog to access the title. Hoopla checkouts will appear in your account along with Bridges and library checkouts. In July, 103 hoopla users were blocked by the daily budget limit (\$500/month). Eight users reached their circulation limit (8/month). There was some general discussion amongst the trustees regarding the budget limit.

#### C. Building and grounds

We had another service call from Halvorson Trane on July 26, this time for Air Handler 2. It turned out to be a bad sensor. We will need another service call to replace the faulty sensor. The cost estimate is \$965 (this was fixed on Monday, August 8).

The new hand dryers were installed on July 26.

#### D. Staff activities

Youth Services Librarian: In July, we had two fantastic programs. The Hanson Family Jugglers presented a wonderful program with juggling, riding unicycles and positive messages about recycling and to keep trying! Dan Wardell from IPTV also came in July.

Assistant Director: This month, Chris continued to work on the 4G backup internet issues. The cost is supposed to be \$20/month and this month we received a bill for \$109.82. Verizon claims we used "extra" data and would not provide any further details such as when this data was used. The 4G is not being used at all right now and we try to get a transfer mechanism set up where if the Mediacom goes down, the system automatically switches to the 4G. This service is not provided by other companies (in the same price range). We will continue to monitor this situation. Chris also created a promotional flyer for Central College students and updated the vertical files which contain travel guides and maps for the states bordering Iowa.

Director: I filed the Open Access, Enrich Iowa and ILL state reports, interviewed candidates for shelver (2 were hired), revised the Automatically Yours list, started weeding the 800s, and solicited bids for re-carpeting the Story Time room.

#### E. Upcoming events

- August 4 at 2:00 p.m.: **Baseball Card program** with local collector, Rich Martin. Suggested for ages K and up.
- August 8 at 10:30 a.m.: **Bubble and sidewalk chalk story time**. Everyone is welcome to attend. The program will be held outside, weather permitting.
- August 18 at 10:15 a.m.: **Genealogy Club** will meet in the Library Meeting Room.
- August 25 at 12:00 noon: The **Brown Bag Book Club** will discuss *Carry Me Across the Water* by Ethan Canin in the Library Meeting Room.
- The Fall Session of Story Time, Tot Time and Lap Sit will start the week of September 12.

- **Sign-up for LEGO Club** will begin on Monday, September 12. LEGO Club will be held October-April.

**X. Committee reports:** None

**XI. Adjournment:** President Rebecca Manifold adjourned the meeting at 4:44 p.m. The next regularly scheduled Board Meeting is scheduled for September 13, 2016 at 4 PM.

COMMUNITY SERVICES BOARD  
Preliminary Minutes  
May, 19, 2016

**Present:** April Cutler, Glenn Steimling, Teresa Thompson, and Arvin Van Zante.

**Absent:** Lauri Amelse, Stephen Fyfe, and Amanda Schwerdtfeger.

**Staff:** Jeanette Vaughan, Mallery Westhoff, Chandler Nunnikhoven, and Cynthia Vaske.

Unless otherwise noted, all actions were taken unanimously.

Community Services Director Jeanette Vaughan called the meeting to order at 12:05 p.m.

**Minutes**

**Motion** by Arvin Van Zante, second by April Cutler to approve the Community Services Board (Board) Meeting minutes of February 18, 2016.

**Activity Report**

Vaughan stated that the Board will receive updates today and will receive the activity report at a later date.

**USA Swim Team – Discounted Rate Request**

Vaughan reported that there has been a request from USA Swim Team for a discounted rental rate for the City's aquatic facilities. Aquatics Manager Mallery Westhoff reported that current requirements are that the City must have two guards on duty per 100 pool users. USA Swim Team has requested over 105 hours of rental time for the summer and would like a discounted rate for the small group. Overall, USA Swim Team would owe the City \$6,000.00 for a season of pool rentals. Also, USA Swim Team does not want to hold practices during other times the facility is open.

Teresa Thompson asked how many people participate in USA Swim Team. Westhoff stated there are around 30 individuals who practice for 45 minutes three nights per week.

Vaughan said both she and Westhoff have turned down USA Swim Team's request, but USA Swim Team plans to approach the City Council with their request. Most user groups do not need City staff to be present while they use a City facility, but the aquatic center requires a higher level of service when compared to other facilities.

Steimling suggested offering USA Swim Team two options: either pay full price for exactly what they are wanting or shorten their request for hours in order to get a better rate. Ultimately, the City should not have to accommodate USA Swim Team's request at a loss financially. Cutler said USA Swim Team can take their proposal to the City Council if they want, but they should have to pay a reasonable rate for a quality facility.

Vaughan stated she is in favor of Steimling's approach. Van Zante said he does not want staff to be overworked in order to accommodate USA Swim Team. Vaughan agreed that that is a concern.

**Motion** by Steimling, second by Thompson to give USA Swim Team the option to either pay full price for their requested hours, or reduce the hours in their request and pay a reduced rate.

### **Sunken Gardens Renovation Project – Windmill**

Vaughan reported that the City has \$35,000 to renovate the Sunken Gardens windmill. The windmill was installed in 1930 and had a slightly different appearance. In 1987, the windmill was updated to its current design.

Vaughan asked the Board for their recommendations on historic preservation for the windmill and whether the windmill should keep its current look or go back to its 1930s design. Thompson asked whether the 1930s design was authentic. Nunnikhoven responded no. Vaughan said the scope of the renovation will come down to the cost of the shingles, the siding, deck, etcetera. Steimling said they should do what is most economically feasible for the long term. Vaughan said Senior Horticulture Technician Marcy Simbro-Woodhouse's idea is to rebuild the windmill without a deck, in order to distinguish it from other windmills throughout Pella. Thompson suggested checking with the Pella Historic Trust to get their opinion. Van Zante said if there are a lot of structural issues with the current windmill, then perhaps they should replace it with a historically accurate windmill. Vaughan said the structural inspection will answer a lot of questions.

### **Providing Services to Special Event Groups**

Vaughan said there has been an increase in special events and demands for service. This increase has pulled staff away from other duties. For example, it takes three staff members a half day of work to set up picnic tables for Thursdays in Pella. The only fee applicants pay is \$20.00 for a permit, which then goes to City Hall. Vaughan asked whether the Board would consider approving a fee schedule for tasks such as delivering and setting up picnic tables, garbage can delivery, garbage disposal, etc.

Cutler suggested charging per table. Steimling suggested folding card tables as options for renters. Staff will research these options and coming up with a plan to present to the Board at a later date.

### **Aquatic Update**

Westhoff reported that the Aquatic Center is fully staffed for the summer and staff did well picking up schedules. Registration for swim lessons is scheduled to begin on May 20, 2016. In March 2016, Community Services started taking credit and debit card payments. In other news, the Princess Mermaid Pool Party is coming up in July 2016. So far, staff has sold 30 to 40 of the 100 available tickets. A Jr Lifeguard Camp is coming up for children ages 11 to 14. The cost is \$115.00 per child, which includes a 9:00 a.m. to 2:00 p.m. class Monday through Friday, a shirt, and whistle.

Westhoff said the outdoor pool has been filled and is currently at 61 degrees. The pool has been cleaned and the tubes have been washed. She said Aquatic Coordinator II Ben Hedrick has been busy training staff. The Sports Park concession staff are fully trained and operate out of two windows at the concession stand. On May 18, 2016, there were \$750.00 in concessions sales. Westhoff noted that Fridays are the biggest nights for sales. She has also been working with Little League to iron out a few issues. Vaughan explained that Little League has been utilizing concessions staff as their personal helpers, which is outside of their job duties. Westhoff said she will schedule a meeting with Little League in June 2016 to resolve this issue. She said the public seems to enjoy the new Sports Park facility overall, as well as the concession items that are offered.

### **Parks Update**

Nunnikhoven stated that the soccer fields are looking good. Nick Arkema is now on staff as a part-time mower and is working out well. Parks staff will begin irrigation in the next week. They have been using a 1,500 pound roller to smooth the fields.

Nunnikhoven stated the future ballfield areas are coming in nicely and have been fertilized for the spring season and will be ready for flag football practice. He said the Sports Park's first tournament is scheduled for this coming weekend and he is excited to see how it goes. Three people will be on staff all day that Saturday.

Westhoff asked the Board for recommendations on breakfast concession items that they could sell. Steimling suggested breakfast burritos. Cutler said the components could be kept in slow cookers.

Nunnikhoven said this year was one of the easiest Tulip Times for his staff. They only received three calls. Central Park tulip beds had its tulips removed by the public within a day.

### **Community Center Update**

Community Center Manager Brenda Ross stated that there were 434 hours worked by volunteers in the Art Center this past school year. Registrations are now being taken for summer Art Center classes, as well as youth soccer. She stated that Steimling volunteered to teach a pickle ball clinic at 9:00 a.m. on May 21, 2016 at Kiwanis Park. So far, 11 people have signed up. It is a free clinic and currently there are approximately six individuals who play in the Community Center gym in the mornings. There has been a noticeable increase in those interested in playing. She mentioned that the Community Center offers pickle ball paddle and ball rentals. Vaughan added that up to 16 people can attend the clinic, but if there are more who are interested in participating, then Steimling will hold another clinic after the first one.

Ross stated there are rumors that the Pella Senior Dining site may move from the Community Center to The Well's new location. Vaughan stated that lease agreements for tenants in the Community Center will be reviewed in June 2016 and the City should receive confirmation from Pella Senior Dining about their move at that time.

### **Community Center Renovation Project Update**

Vaughan stated that currently the project is on hold.

### **Other**

Westhoff stated that pool passes should be bought early. The indoor pool opens at 5:45 a.m.

### **Adjournment**

**Motion** by Van Zante, second by Thompson to adjourn at 1:05 p.m.

Respectfully submitted:

Cynthia Vaske

May 19, 2016



CITY OF PELLA, IOWA  
BOARD OF ADJUSTMENT MINUTES  
August 9<sup>th</sup>, 2016

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**Tuesday, August 9, 2016 6:00 P.M. Public Works Conference Room 100 Truman Road**

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**A. Call to order by the Chairperson and Roll Call.**

Members Present: Corbett, Nossaman, Reiter, Smith, Vander Meiden, Van Wyk  
Absent: Hastings, Rolffs, Vander Wert  
Quorum present.

Visitors: Mark and Jessica Held

**B. Chairperson's Comments.**

1. Approval of tentative agenda

Vander Meiden moved to approve, seconded by Reiter. On roll call the vote was: YES: Vander Meiden, Reiter, Corbett, Nossaman, Smith, Van Wyk. NO: None. Motion carried.

**C. Approval of Minutes from June 28, 2016**

Reiter moved to approve, seconded by Nossaman. On roll call the vote was: YES: Reiter, Nossaman, Corbett, Smith, Vander Meiden, Van Wyk. NO: None. Motion carried.

**D1a. Public Hearing: 614 East 3<sup>rd</sup> Street**

The Board of Adjustment opened the Public Hearing on a Variance Application by Marc Held concerning the side yard setback and height of a proposed three car detached garage.

No written comments were received.

Staff provided an overview of the proposal from Marc Held. In summary the height variance was requested to compliment the features of Mr. and Mrs. Held's Victorian home. The variance request for the side yard setback was requested so the placement of the new structure would match the existing footprint on the south and west wall while expanding to the north and east.

Oral comments by Marc and Jessica Held were presented to the Board supporting the variance.

As no other comments were received, Vander Meiden moved to close the public hearing, seconded by Smith. On roll call the vote was: YES: Vander Meiden, Smith, Corbett, Nossaman, Reiter, Van Wyk

**D1b. Variance: 614 East 3<sup>rd</sup> Street**

Dimensional variance requested by Marc Held.

The Board discussed the request and at the conclusion of discussion a motion was made by Reiter to approve the request, seconded Van Wyk. On roll call the vote was: YES: Reiter, Van Wyk, Corbett, Nossaman, Smith. NO: Vander Meiden. Motion carried.

**E. Other Business**

**F. Adjourn**

Reiter moved to adjourn and was seconded by Vander Meiden. Meeting adjourned at 6:45 p.m.



**CITY OF PELLA, IOWA**  
**PLANNING & ZONING COMMISSION MINUTES**  
**August 22, 2016**

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**Monday, August 22, 2016 7:00 P.M. Public Safety Complex Liberty Street Entrance**

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**A. Call to order by the Chairperson and Roll Call.**

Members Present: Agan, Chiarella, Haustein, Landon, Pfalzgraf, Vander Molen, Van Vark, Van Wyk, Visser, Vos

Absent: None

Quorum present.

**B. Chairperson's Comments.**

A motion to approve the tentative agenda was made by Vander Molen and seconded by Agan. On roll call the vote was YES: Vander Molen, Agan, Chiarella, Haustein, Landon, Pfalzgraf, Van Vark, Van Wyk, Visser, Vos. NO: None. Motion carried.

**C. Approval of Minutes & Administrative Reports**

1. A motion to approve the 8-8-16 minutes was made by Visser and seconded by Van Vark. On roll call the vote was: YES: Visser, Van Vark, Agan, Chiarella, Haustein, Landon, Pfalzgraf, Vander Molen, Van Wyk, Vos. NO: None. Motion carried.

2. A motion to approve the change in Planning and Zoning Commission Procedural Rules was made by Haustein and seconded by Van Vark. On roll call the vote was YES: Haustein, Van Vark, Agan, Chiarella, Landon, Pfalzgraf, Vander Molen, Van Wyk, Visser, Vos. NO: None. Motion carried.

**D. Public Hearing: Rezoning for DaVita Health Care Partners & Pella Regional Health Center (PRHC)**

Public Hearing concerning a petition to rezone four parcels of property (307 & 309 Jefferson and 1117 & 1121 Hazel) from R2 Two Family Residential Medium Density to Institutional (INS).

There were no written comments received.

The applicant provided a properly completed rezoning petition for properties within 300' of the proposal consisting of forty-three (43) properties. Sixteen (16) properties have signed the petition notification indicating their consent to the rezoning, (37%).

Staff provided an overview of the request by DaVita Healthcare Partners Inc. and Pella Regional Health Center. In summary, the properties proposed to be rezoned will serve as a medical building for dialysis patients. The Future Land Use Map of the Comprehensive Plan indicates "Medical and Assisted Living" for the entire petitioned INS-zoned area. In addition,

the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between the existing Institutional Uses and Single Family/Medium Density Residential Uses.

Jim Corbett made comments on behalf of Pella Regional Health Center and DaVita Healthcare Partners Inc. and answered questions from the Commission.

The Commission discussed the request and at the conclusion of the discussion a motion was made by Haustein to approve the rezoning with conditions or revisions. Motion failed due to lack of support. A motion was then made by Vander Molen to approve the rezoning without conditions or revisions and seconded by Van Vark. On roll call the vote was: YES: Vander Molen, Van Vark, Agan, Chiarella, Landon, Pfalzgraf, Van Wyk, Visser, Vos. NO: None. Haustein abstained. Motion carried.

#### **E. Site Plan: Casey's General Stores**

Casey's Marketing Company is proposing a new 4,475 square foot convenience store with gasoline sales on 1.17 acres of vacant property located at 505-513 Main Street and 705 Union Street.

Staff provided an overview of the proposed site plan, which was prepared in accordance with the City's zoning ordinance and the proposed planned unit development for the site.

In order to consider public input before deciding on the site plan, a motion was made by Vos to table the site plan until after the PUD public hearing. This motion was seconded by Chiarella. On roll call the vote was: YES: Vos, Chiarella, Agan, Haustein, Landon, Pfalzgraf, Visser. NO: Vander Molen, Van Vark, Van Wyk. Motion carried.

#### **F. Public Hearing: Planned Unit Development (PUD) Ordinance**

Concerning a proposed ordinance which would change the zoning classification for the property located at 505-513 Main Street and 705 Union from Mixed Use Urban Commercial Corridor to a PUD.

Under the City Code, the proposed development is identified as Convenience Food Sales use type and is permitted by right in the CUC Zoning District. This ordinance is being proposed by the City of Pella to satisfy the recommendations of the City's Comprehensive Plan and to mitigate potential impacts to the neighboring residential properties which abut and are adjacent to the development.

In summary, the proposed PUD requires the development to be in conformance with the current Mixed Use Urban Commercial Zoning District with the following exceptions:

1. The Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site. The proposed ordinance allows the parking and associated fuel dispensing area for the development to be placed in front of the convenience store or further away from the neighboring residential properties.
2. The setback requirements for the proposed convenience store have been adjusted to allow the parking and fuel dispensing area to be placed in front of the building.
3. Currently, the City Code does not place any limits on the operating hours for the new convenience store. The proposed ordinance limits the operating hours for the development to 6:00 a.m. to 11:00 p.m.
4. The green space area requirement under the Pella City Code is 5% of the total development. The proposed ordinance requires a green space area of 28%. In addition, there are numerous landscaping enhancement being proposed as a part of the PUD.
5. The proposed ordinance also contain requirements for the three existing Casey's Marketing Company Stores located 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street. Specifically, the proposed ordinance requires Casey's Marketing Company to close and repurpose these existing stores within 30 days of receiving a certificate of occupancy for the new convenience store.

Four (4) written comments were received as well as a petition from some of the nearby homeowners. Van Vark made a motion and seconded by Visser to put the written comments into record. On roll call the vote was: YES: Van Vark, Visser, Agan, Chiarella, Haustein, Landon, Pfalzgraf, Vander Molen, Van Wyk, Vos. NO: None. Motion carried.

Several members of the audience voiced concern over this development. Casey's General Stores had representatives in attendance to answer questions from the Commission.

The Commission discussed the proposal and at the conclusion of the discussion a motion was made by Van Vark and seconded by Chiarella to approve a resolution recommending approval of the proposed Planned Unit Development to the Pella City Council. On roll call the vote was: YES: Van Vark, Chiarella, Agan, Haustein, Landon, Vander Molen, Van Wyk, Visser, Vos. NO: Pfalzgraf. Motion carried.

**E. Site Plan: Casey's General Stores**

A motion was made by Vander Molen and seconded by Van Vark to remove the proposed Casey's site plan from the table. On roll call the vote was: YES: Vander Molen, Van Vark, Agan, Chiarella, Landon, Pfalzgraf, Van Wyk, Visser, Vos. NO: Haustein. Motion carried.

The Commission discussed the proposal and at the conclusion of the discussion a motion was made by Agan and seconded by Chiarella to conditionally approve the proposed site plan subject to the Pella City Council approving the proposed Planned Unit Development for the site. On roll call the vote was: YES: Agan, Chiarella, Landon, Vander Molen, Van Vark, Van Wyk, Visser. NO: Haustein, Pfalzgraf, Vos. Motion carried.

**G. Other Business / Public Forum**

**H. Adjourn**

With no further business noted, the meeting was adjourned at 9:30 PM.



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: C-3-a

SUBJECT: Renewal of Class B Beer Permit with Sunday Sales for Happy Joe's

DATE: October 4, 2016

BACKGROUND: Happy Joe's Pizza & Ice Cream Parlor Inc., dba Happy Joe's Pizza, located at 718 Broadway, has applied for renewal of their Class B Beer Permit, including wine coolers, with Sunday Sales. The term of the new license is twelve months and would expire November 16, 2017. The application was completed with the State online, and approval is recommended.

ATTACHMENTS: Application

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve renewal.

**Applicant License Application ( BB0033004 )**

<b>Name of Applicant:</b>	<u>Happy Joe's Pizza &amp; Ice Cream</u>		
<b>Name of Business (DBA):</b>	<u>Happy Joe's Pizza &amp; Ice Cream Parlor</u>		
<b>Address of Premises:</b>	<u>718 Broadway</u>		
<b>City</b>	<u>Pella</u>	<b>County:</b>	<u>Iowa</u> <b>Zip:</b> <u>50219</u>
<b>Business</b>	<u>(641) 628-4600</u>		
<b>Mailing</b>	<u>2705 Happy Joe Drive</u>		
<b>City</b>	<u>Bettendorf</u>	<b>State</b>	<u>IA</u> <b>Zip:</b> <u>52722</u>

**Contact Person**

<b>Name</b>	<u>Judy Blowers</u>		
<b>Phone:</b>	<u>(563) 332-8811</u>	<b>Email</b>	<u>judyb@happyjoes.com</u>

**Classification** Class B Beer (BB) (Includes Wine Coolers)

**Term:** 12 months

**Effective Date:** 11/17/2016

**Expiration Date:** 11/16/2017

**Privileges:**

Class B Beer (BB) (Includes Wine Coolers)

Sunday Sales

**Status of Business**

<b>BusinessType:</b>	<u>Privately Held Corporation</u>		
<b>Corporate ID Number:</b>	<u>[REDACTED]</u>	<b>Federal Employer ID</b>	<u>[REDACTED]</u>

**Ownership**

**Larry Whitty**

**First Name:** Larry **Last Name:** Whitty  
**City:** Bettendorf **State:** Iowa **Zip:** 52722  
**Position:** President  
**% of Ownership:** 73.63% **U.S. Citizen:** Yes

**Kristel Whitty**

**First Name:** Kristel **Last Name:** Whitty  
**City:** Bettendorf **State:** Iowa **Zip:** 52722  
**Position:** Secretary  
**% of Ownership:** 26.37% **U.S. Citizen:** Yes

**Insurance Company Information**

<b>Insurance Company:</b>	<u>Illinois Casualty Co</u>
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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

ITEM NO: D-1a & 1b

SUBJECT: Resolution Approving Plans and Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Materials in Connection with the West Substation 69 kV Ring Bus Improvements for Furnishing 15 kV Switchgear and 15 kV Switchgear Panel Doors

DATE: October 4, 2016

BACKGROUND: This resolution approves the plans, specifications, form of contract, estimate of costs, accepts bids, and awards the material contracts for Furnishing 15 kV Switchgear and 15 kV Switchgear Panel Doors. This switchgear will be an important addition to minimize risks and improve distribution reliability, provide redundant paths for the generation plant to access the transmission grid, and provide transformation points on two separate sections of the 69 kV bus.

The equipment is described in general as follows: A new lineup of 15 kV indoor metalclad switchgear including seven (7) vacuum circuit breakers with related relaying, controls, and accessories and eight (8) replacement switchgear panel doors including relaying, related controls, and accessories.

The bid opening was held on September 27, 2016. Five bids were received and are summarized below.

Bidder	Gear Brand	15 kV Gear	Testing	Total Bid
States Manufacturing	Square D	\$322,375	\$17,750	\$340,125
NMC Power Systems	Eaton	\$331,306	\$12,350	\$343,656
Myers Power	Eaton	\$378,874	\$9,540	\$388,414
HK Scholz	Eaton	\$412,400	\$9,600	\$422,000
Powercon	Eaton	\$532,271	No Bid	\$532,271

After reviewing the bid proposals, the project Engineer, DGR Engineering, recommends awarding the contracts for 15 kV Switchgear, Panel Doors, and Optional Relay Testing to NMC Power Systems, Inc. of Omaha, Nebraska in the amount of \$343,656. The low bidder, States Manufacturing Corporation, proposed using a breaker style that did not include the specified integral racking system. This is a significant omission and is grounds for disqualification. The Engineer's estimate for the 15 kV Switchgear and Panel Doors was \$373,000.

It is important to note that all of these costs are exclusively related to distribution functions and will be the responsibility of the City of Pella.

Staff is requesting that Council approve the purchase of materials listed above in the amount of \$343,656 and authorize the Electric Director to execute contract documents and issue the notice to proceed once the contracts are in proper order and fully executed.

ATTACHMENTS: Resolution, Bid Summary, Engineer's Recommendation

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

RESOLUTION NO. 5724

RESOLUTION APPROVING PLANS AND SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF MATERIALS IN CONNECTION WITH THE WEST SUBSTATION 69 KV RING BUS IMPROVEMENTS FOR FURNISHING 15 KV SWITCHGEAR AND 15 KV SWITCHGEAR PANEL DOORS

WHEREAS, the City of Pella owns and operates an electric utility that provides electricity to residents of the City of Pella and also to residents outside the City limits but within the service area boundary established by the State of Iowa; and,

WHEREAS, on the 20<sup>th</sup> of September, 2016 plans, specifications, form of contract, and estimate of cost were filed with the Clerk for material for Furnishing 15 kV Switchgear and 15 kV Switchgear Panel Doors; the material more specifically described as:

A new lineup of 15 kV indoor metalclad switchgear including seven (7) vacuum circuit breakers with related relaying, controls, and accessories.

Eight (8) replacement switchgear panel doors including relaying, related controls, and accessories.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That the said plans, specifications, form of contract and estimate of costs are hereby adopted, as described above and fully described in the contract documents, and awarded to supplier as indicated below:

15 kV Switchgear, 15 kV Switchgear Panel Doors, and Protective Relay Testing to NMC Power Systems, Inc. of Omaha, Nebraska in the amount of \$343,656.

Section 2. That the Electric Director is hereby directed to execute contracts with the supplier for said materials, said contracts not to be binding on the City until all contract documents are in proper order and fully executed.

Section 3. The Electric Director is authorized to issue the notice to proceed once agreements are in proper order and fully executed.

PASSED and ADOPTED this 4<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk

**BID SUMMARY****FURNISHING 15 KV SWITCHGEAR AND SWITCHGEAR PANEL DOORS  
CITY OF PELLA  
PELLA, IOWA**

**DGR**  
**ENGINEERING**  
 1302 South Union Street  
 Rock Rapids, IA 51246  
 DGR Project No. 414943

**September 27, 2016**  
**1:30 p.m.**  
**City Office; 825 Broadway**

<b>Bidder and Address</b>	<b>Bid Security</b>	<b>Addenda Acknowledge</b>	<b>Total Base Price</b>	<b>Comments</b>
<b>States Manufacturing Corporation</b> 650 Ottawa Avenue North Minneapolis, MN 55422	10% Bond	Yes #1 & #2	\$322,375.00	Switchgear Manufacturer: States Manufacturing Breaker: Square D, \$19500 adder for GE/Powell Optional Relay Testing: \$17750
<b>NMC Inc.</b> 11002 Sapp Brothers Dr. Omaha, NE 68138	10% Bond	Yes #1 & #2	\$331,306.00	Switchgear Manufacturer: NMC Inc. Breaker: Eaton Corp Optional Relay Testing: \$12,350.00
<b>Myers Controlled Power, LLC</b> 219 E. Maple Street, Ste 100/200E North Canton, OH 44720	10% Bond	Yes #1 & #2	\$378,847.00	Switchgear Manufacturer: Myers Controlled Power LLC Breaker: Eaton Corp Optional Relay Testing: \$9540.00
<b>Harold K. Scholz Company</b> 7800 Serum Ave. Ralston, NE 68127	10% Bond	Yes #1 & #2	\$412,400.00	Switchgear Manufacturer: Harold K. Scholz Company Breaker: Eaton Corp Optional Relay Testing: \$9600.00
<b>Powercon Corporation</b> 1551 Florida Avenue Severn, MD 21144	10% Bond	Yes #1 & #2	\$532,271.00	Switchgear Manufacturer: Powercon Corp Breaker: Eaton Corp Optional Relay Testing: N/A

**BID TABULATION**

FURNISHING 15 KV SWITCHGEAR AND SWITCHGEAR PANEL DOORS

CITY OF PELLA

PELLA, IOWA

DGR Project No. 414943

			<b>States Manufacturing Corp</b>		<b>NMC Inc.</b>		<b>Myers Controlled Power, LLC</b>	
			Bid Security: 10%		Bid Security: 10%		Bid Security: 10%	
Item No.	Description	Qty.	L & M	Ext. Price L & M	L & M	Ext. Price L & M	L & M	Ext. Price L & M
A	15 kV Swgr - 4 Units, 7 Bkrs	1	\$251,775.00	\$251,775.00	\$241,850.00	\$241,850.00	\$294,037.00	\$294,037.00
B	B1 Penthouse and PT	1	4,500.00	4,500.00	6,756.00	6,756.00	Included in Item A	0.00
C	Swgr Panel Doors	8	8,150.00	65,200.00	9,675.00	77,400.00	10,604.63	84,837.00
D	Swgr Unit #1 Bustie Mods	1	900.00	900.00	5,300.00	5,300.00	Alt. Approach	0.00
			<b>BASE BID:</b>	<b>\$322,375.00</b>	<b>BASE BID:</b>	<b>\$331,306.00</b>	<b>BASE BID:</b>	<b>\$378,874.00</b>
Optional Item No.	Description	Qty.	L & M	L & M	L & M	L & M	L & M	L & M
E	Relay Testing - 351S	14	975.00	13,650.00	751.00	10,514.00	585.00	8,190.00
F	Relay Testing - 587Z	2	2,050.00	4,100.00	918.00	1,836.00	675.00	1,350.00
			<b>OPTIONAL BID:</b>	<b>\$17,750.00</b>	<b>OPTIONAL BID:</b>	<b>\$12,350.00</b>	<b>OPTIONAL BID:</b>	<b>\$9,540.00</b>
			<b>Harold K. Scholz Company</b>		<b>Powercon Corporation</b>			
			Bid Security: 10%		Bid Security: 10%			
Item No.	Description	Qty.	L & M	Ext. Price L & M	L & M	Ext. Price L & M		
A	15 kV Swgr - 4 Units, 7 Bkrs	1	\$328,000.00	\$328,000.00	\$421,060.00	\$421,060.00		
B	B1 Penthouse and PT	1	5,400.00	\$5,400.00	15,702.00	\$15,702.00		
C	Swgr Panel Doors	8	9,250.00	\$74,000.00	8,813.63	70,509.00		
D	Swgr Unit #1 Bustie Mods	1	5,000.00	\$5,000.00	25,000.00	\$25,000.00		
			<b>BASE BID:</b>	<b>\$412,400.00</b>	<b>BASE BID:</b>	<b>\$532,271.00</b>		
Optional Item No.	Description	Qty.	L & M	L & M	L & M	L & M		
E	Relay Testing - 351S	14	600.00	\$8,400.00	0.00	\$0.00		
F	Relay Testing - 587Z	2	600.00	\$1,200.00	0.00	\$0.00		
			<b>OPTIONAL BID:</b>	<b>\$9,600.00</b>	<b>OPTIONAL BID:</b>	<b>N/A</b>		

September 28, 2016



Nate Spurgeon  
Electric Director  
City of Pella  
222 Truman Road  
Pella, IA 50219

**Re: Recommendation of Award of Contract  
Furnishing 15 kV Switchgear and 15 kV Switchgear Panel Doors  
DGR Project No. 414943**

Dear Nate:

We have reviewed the bids received on September 28, 2016 for the above referenced project. Five (5) bids were received; a summary of the bid results is enclosed. We have checked the bids for mathematical accuracy and compliance with the bid specifications. We are hereby prepared to offer the following recommendation.

The low bidder, States Manufacturing Corporation, proposed using a breaker style that did not include the specified integral racking system. This is a significant omission and is grounds for disqualification.

The second lowest bidder was NMC Inc. of Omaha, NE, and we (DGR) have not had first hand experience with NMC Inc. and their 15 kV switchgear products. However, prior to bidding, NMC Inc. submitted an example switchgear design from a past project that we reviewed and deemed to be sufficient evidence that NMC Inc. has the capability to fulfill this contract.

Thus, we recommend that you award this contract to NMC Inc. for \$331,306.00 and include the optional relay testing for \$12,350.00 for a total price of \$343,656.00. As directed in the bidding instructions, note that taxes, as applicable, are not included in this price and will be added to the final invoice.

Please review our recommendation and feel free to contact Dennis or me with any questions you or the Council may have. Please let us know when an award has been made, and we will prepare the contract documents for signatures.

Sincerely,

DGR Engineering

A handwritten signature in black ink, appearing to read 'Dan McMahon', written over a white background.

Daniel L. McMahon, P.E.  
DLM:dlm



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: E-1

SUBJECT: Outdoor Service for The Cellar Peanut Pub

DATE: October 4, 2016

**BACKGROUND:** The Cellar Peanut Pub, located at 629 Franklin Street, has applied for an outdoor service privilege on their Class C Liquor License for October 8, 2016. The reason for the request is that The Cellar Peanut Pub is planning an Oktoberfest event on October 8, 2016 from 1:00 pm-1:00 pm. In the evening, three bands out of the Chicago area are scheduled to perform from 5:00 pm-11:00 pm. A three foot high green snow fence is proposed to enclose the area.

The outdoor area on The Cellar Peanut Pub's property would extend from the current garage south approximately 10 feet to their property line. It should be noted, the property from the alley to The Cellar Peanut Pub's property is owned by the City of Pella, which includes some of the driveway as well as a small grassy area.

The application was completed online, and approval is recommended.

ATTACHMENTS: Application, Map

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve outdoor service for Oktoberfest on The Cellar Peanut Pub's property.

**Applicant License Application ( LC0042327 )**

<b>Name of Applicant:</b>	<u>The Cellar Peanut Pub L.L.C.</u>		
<b>Name of Business (DBA):</b>	<u>The Cellar Peanut Pub</u>		
<b>Address of Premises:</b>	<u>629 Franklin Street</u>		
<b>City</b>	<u>Pella</u>	<b>County:</b>	<u>Marion</u> <b>Zip:</b> <u>50219</u>
<b>Business</b>	<u>(641) 295-4418</u>		
<b>Mailing</b>	<u>629 Franklin Street</u>		
<b>City</b>	<u>Pella</u>	<b>State</b>	<u>IA</u> <b>Zip:</b> <u>50219</u>

**Contact Person**

<b>Name</b>	<u>Marty Duffy</u>		
<b>Phone:</b>	<u>(641) 295-4418</u>	<b>Email</b>	<u>Cellarpeanutpub@gmail.com</u>

**Classification** Class C Liquor License (LC) (Commercial)

**Term:** 12 months

**Effective Date:** 03/04/2016

**Expiration Date:** 03/03/2017

**Privileges:**

- Class C Liquor License (LC) (Commercial)
- Outdoor Service

**Status of Business**

<b>BusinessType:</b>	<u>Limited Liability Company</u>		
<b>Corporate ID Number:</b>	<u>276632</u>	<b>Federal Employer ID</b>	<u>42-1413350</u>

**Ownership**

**Marty Duffy**

**First Name:** Marty **Last Name:** Duffy  
**City:** Oskaloosa **State:** Iowa **Zip:** 52577  
**Position:** Owner  
**% of Ownership:** 100.00% **U.S. Citizen:** Yes

**Insurance Company Information**

<b>Insurance Company:</b>	<u>Founders Insurance Company</u>		
<b>Policy Effective Date:</b>		<b>Policy Expiration</b>	
<b>Bond Effective</b>		<b>Dram Cancel Date:</b>	
<b>Outdoor Service Effective</b>		<b>Outdoor Service Expiration</b>	
<b>Temp Transfer Effective</b>		<b>Temp Transfer Expiration Date:</b>	





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THE  
**CITY of PELLA**

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**STAFF MEMO TO COUNCIL**

ITEM NO: H-1

SUBJECT: Governor's Traffic Safety Bureau Contract for PAP 17-402-M00P, Task 08-00-00 Grant,  
2016-2017

DATE: October 4, 2016

**BACKGROUND:** The Pella Police Department is requesting approval to enter into a contract with the Governor's Traffic Safety Bureau to administer the State and Community Highway Safety Grant 17-402-M00P, Task 08-00-00. This grant provides \$8,400.00 for special traffic enforcement efforts to include: occupant restraint, impaired driving and excessive speed violations during times and at locations identified as high-risk, including at least two special traffic enforcement projects. Further, grant funds will allow for the purchase of one radar unit and two preliminary breath testers. There are no matching funds required.

The contract is for a time period from October 1, 2016 through September 30, 2017. Participation in this contract is beneficial to the Pella Police Department as it provides equipment for the department that would otherwise need to be purchased and provides reimbursement for labor costs associated with targeted traffic enforcement.

ATTACHMENTS: Resolution, Contract

REPORT PREPARED BY: Robert A. Bokinsky, Chief of Police

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approval resolution.

RESOLUTION NO. 5725

A RESOLUTION ENTERING INTO A CONTRACT WITH  
THE GOVERNOR'S TRAFFIC SAFETY BUREAU  
FOR THE PURPOSE OF SPECIAL TRAFFIC ENFORCEMENT  
IN THE CITY OF PELLA.

WHEREAS, the Governor's Traffic Safety Bureau and the Pella Police Department desire to enter into a contract setting forth the services to be provided by the agreement; and,

WHEREAS, if the contract is approved, the Pella Police Department will participate in traffic enforcement efforts to address occupant restraint, impaired driving and excessive speed violations during times and at locations identified as high-risk; and,

WHEREAS, if the Pella Police Department performs the services set forth in the agreement, the Governor's Traffic Safety Bureau will pay the police department \$8,400.00 to include: overtime enforcement, training-related travel, the cost of two preliminary breath testers and one radar unit.

THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF PELLA, IOWA, to enter into a contract with the Governor's Traffic Safety Bureau for the purpose of special traffic enforcement in the City of Pella.

PASSED and ADOPTED this 4th day of October, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk

**GOVERNOR'S TRAFFIC SAFETY BUREAU  
IOWA DEPARTMENT OF PUBLIC SAFETY**

**CONTRACT NUMBER:** State and Community Highway Safety Grant  
PAP 17-402-MOOP, Task 08-00-00

**ISSUING AGENCY:** DPS/Governor's Traffic Safety Bureau

**PROJECT CONTRACTOR:** Pella Police Department

**PROJECT BUDGET:** Highway Safety Funded Amount: \$8,400.00

**AGENCY/LAW/ SOURCE:** National Highway Traffic Safety Administration (NHTSA)  
Public Law 114-94, Section 402

**Submit Reimbursement Claims To:** **Issue Payment To:**

Denny Becker, Program Administrator  
Governor's Traffic Safety Bureau  
215 East 7th Street, 3rd Floor  
Des Moines, IA 50319-0248

Pella Police Dept  
614 Main St  
Pella, IA 50219-1718

**Submit Reports To:** **Transmit Contract Information To:**

Denny Becker, Program Administrator  
Governor's Traffic Safety Bureau  
215 East 7th Street, 3rd Floor  
Des Moines, IA 50319-0248  
515-725-6128, FAX 515-725-6133

Ms Kaci Visser  
Pella Police Department  
614 Main St  
Pella, IA 50219  
641-628-4921, FAX 641-628-9653

The Contractor agrees to furnish and deliver all products and perform all services set forth in the attached Special Conditions for the consideration stated herein. The rights and obligations of the parties to this contract will be subject to and governed by the Special Conditions and the General Conditions. To the extent that any specifications or other conditions which are made a part of this contract by reference or otherwise conflict, the Special Conditions and the General Conditions will control. To the extent that any inconsistency between the Special Conditions and the General Conditions exists, the Special Conditions will control. When approved, the instrument becomes a contract to accomplish the provisions contained within the Fiscal Year 2017 Highway Safety Plan, State and Community Highway Safety Grant 17-402-MOOP, Task 08-00-00, and thereby constitutes an official program with the Governor's Traffic Safety Bureau. This activity meets the requirements of Public Law 114-94 and the requirements set forth in the Governor's Traffic Safety Bureau Procedures Manual, as amended.

**IN WITNESS THEREOF**, the parties hereto have executed this contract on the day and year last specified below.

**CONTRACTOR:**

By \_\_\_\_\_ Date: \_\_\_\_\_

**ISSUING AGENCY:**

By Patrick J. Hoye Date: 9-1-14  
Patrick J. Hoye, Bureau Chief

Effective Date: 10/01/16 Expiration Date: 09/30/17

## **SPECIAL CONDITIONS**

**Article 1.0 Identification of Parties.** This Contract is entered into by and between the Iowa Department of Public Safety/Governor's Traffic Safety Bureau (hereafter referred to as DPS/GTSB) and the Pella Police Department (hereinafter referred to as Contractor).

**Article 2.0. Statement of Purpose.**

**WHEREAS,** the Highway Safety Plan is the tool for developing and improving overall safety capabilities; improving the program management and decision-making capabilities of safety officials; addressing special problems or opportunities; and providing a coordination mechanism for the purpose of reducing traffic-related property damage, personal injury and fatal crashes, and

**WHEREAS,** the DPS/GTSB has been designated to administer the State and Community Highway Safety Programs established under Section 402 of the Fixing America's Surface Transportation Act, as amended, and

**WHEREAS,** the Contractor has the necessary ability to develop and carry out a portion of that Highway Safety Plan,

**THEREFORE,** the parties hereto do agree as follows:

**Article 3.0 Area Covered.** The Contractor will perform all the work and services required under this Contract in connection with and respecting the following areas:

City of Pella, Iowa and other jurisdiction(s) authorized by a shared enforcement agreement.

**Article 4.0 Reports and Products.** The Contractor will submit the following reports and products:

- 4.1 A Claim for Reimbursement (HSP-2) form, documentation and, if applicable, an Equipment Accountability Report (HSP-3) form for reimbursement within 90 days of the expense being paid by the Contractor with the exception of the final claim which is due into the DPS/GTSB office no later than November 15, 2017.
- 4.2 A cumulative final report due November 1, 2017 covering accomplishments of Statement of Work and Services.
- 4.3 Any reports and products deemed prudent by the Issuing Agency or Contractor.
- 4.4 A copy of all audit reports within 30 days of completion of said audit.
- 4.5 Monthly activity reports due the 15th of the following month on forms provided by the DPS/GTSB that quantify project activities as well as total departmental effort.

**Article 5.0 Designation of Officials.**

- 5.1 DPS/GTSB - The Governor's Representative for Highway Safety and the Director of the Governor's Traffic Safety Bureau are the only persons authorized to execute and approve any changes in terms, conditions, or amounts specified in this Contract.
- 5.2 Contractor Designee, Chief Robert Bokinsky, is designated to approve in writing, on behalf of the Contractor, the HSP-2 Claim for Reimbursement and any negotiated changes in this Contract.

**Article 6.0 Key Personnel.** The Contractor hereby assigns the duties and responsibilities of project administration to Ms Kaci Visser, representing the Contractor in this agreement.

**Article 7.0 Time of Performance.** The services of the Contractor will commence on or after the effective date stipulated on the signature page and will be completed before or by the expiration date.

**Article 8.0 Modification of General Conditions.** None.

**Article 9.0 Additional Special Conditions.**

- 9.1 Expense Documentation. The Contractor will document the expenditure of such funds authorized as eligible for reimbursement in accordance with the conditions of this Contract upon submission of the HSP-2 and, for equipment, the HSP-3 as supplied by the DPS/GTSB.
- 9.2 Policies and Procedures. The Contractor will comply with all policies and procedures contained in the Iowa DPS/GTSB Policies and Procedures Manual, as amended, including appropriate attachments provided by the DPS/GTSB in accordance with Section 402 of the Fixing America's Surface Transportation Act, and the Iowa Administrative Code, Section 661, Chapter 20.
- 9.3 Copyrights. The Federal awarding agency reserves a royalty-free, nonexclusive, and irrevocable license to reproduce, publish or otherwise use, and to authorize others to use, for Federal Government purposes:
- a. The copyright in any work developed under a grant, sub-grant, or contract under a grant or sub-grant; and
  - b. Any rights of copyright to which a grantee, sub grantee or a contractor purchases ownership with grant support.
- 9.4 Debarred, Suspended and Ineligible Status. The Contractor certifies that the Contractor and/or any of its subcontractors have not been debarred, suspended or declared ineligible by any agency of the State of Iowa or as defined in the Federal Acquisition Regulation (FAR) 48 C.F.R. Ch.1 Subpart 9.4. The Contractor will immediately notify the DPS/GTSB if the Contractor is debarred by the State or placed on the Consolidated List of Debarred, Suspended and Ineligible Contractors by a federal entity.
- 9.5 Equipment acquired under this agreement for use in highway safety program areas shall be used and kept in operation for highway safety purposes 23 CFR 1200.21. The Contractor will comply with all applicable procurement procedures and will maintain a financial management system that complies with the minimum requirements of 49 CFR 18.20. The contractor must have prior written approval from DPS/GTSB before purchasing equipment over \$5,000. Failure to secure prior approval will result in the contractor being responsible for the cost of the equipment purchase; retroactive approval from NHTSA is not an option.
- 9.6 Civil Rights Act - The Contractor will comply with all Federal statutes and implementing regulations relating to nondiscrimination. These include but are not limited to: (a) Title VI of the Civil Rights Act of 1964 (P.L. 88-352) which prohibits discrimination on the basis of race, color or national origin (and 49 CFR Part 21); (b) Title IX of the Education Amendments of 1972, as amended (20 U.S.C. §§ 1681-1683, and 1685-1686), which prohibits discrimination on the basis of sex; (c) Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. §794) and the Americans with Disabilities Act of 1990 (42 USC § 12101, *et seq.*; PL

101-336), which prohibits discrimination on the basis of disabilities (and 49 CFR Part 27); (d) the Age Discrimination Act of 1975, as amended (42 U.S.C. §§ 6101-6107), which prohibits discrimination on the basis of age; (e) the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-255), as amended, relating to nondiscrimination on the basis of drug abuse; (f) the comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970(P.L. 91-616), as amended, relating to nondiscrimination on the basis of alcohol abuse of alcoholism; (g) §§ 523 and 527 of the Public Health Service Act of 1912 (42 U.S.C. §§ 290 dd-3 and 290 ee-3), as amended, relating to confidentiality of alcohol and drug abuse patient records; (h) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§ 3601 et seq.), as amended, relating to nondiscrimination in the sale, rental or financing of housing; (i) any other nondiscrimination provisions in the specific statute(s) under which application for Federal assistance is being made; The Civil Rights Restoration Act of 1987, which provides that any portion of a state or local entity receiving federal funds will obligate all programs or activities of that entity to comply with these civil rights laws; and, (k) the requirements of any other nondiscrimination statute(s) which may apply.

- 9.7 Buy America Act - The Contractor will comply with the provisions of the Buy America Act (49 U.S.C. 5323(j)) which contains the following requirements: Only steel, iron and manufactured products produced in the United States may be purchased with Federal funds unless the Secretary of Transportation determines that such domestic purchases would be inconsistent with the public interest; that such materials are not reasonably available and of a satisfactory quality; or that inclusion of domestic materials will increase the cost of the overall project contract by more than 25 percent. Clear justification for the purchase of non-domestic items must be in the form of a waiver request submitted to and approved by the Secretary of Transportation.
- 9.8 Political Activity (Hatch Act) - The Contractor will comply, as applicable, with provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds. As such, the Contractor will not subcontract with any agency to conduct DPS/GTSB contract-related activities.
- 9.9 Lobbying Restrictions - None of the funds under this program will be used for any activity specifically designed to urge or influence a State or local legislator to favor or oppose the adoption of any specific legislative proposal pending before any State or local legislative body. Such activities include both direct and indirect (e.g., "grassroots") lobbying activities, with one exception. This does not preclude a State official whose salary is supported with NHTSA funds from engaging in direct communications with State or local legislative officials, in accordance with customary State practice, even if such communications urge legislative officials to favor or oppose the adoption of a specific pending legislative proposal.

## **Article 10.0 Conditions of Payment.**

- 10.1 Maximum Payments. It is expressly understood and agreed the maximum amount to be paid to the Contractor by the DPS/GTSB for any item of work or service will be the amount specified under Article 12.0 subject to Article 11.0 herein. It is further understood and agreed the total of all payments to the Contractor by the DPS/GTSB for all work and services required under this Contract will not exceed \$8,400.00 unless modified by written amendment of this Contract as provided in Section 1.0 of the General Conditions.
- 10.2 HSP-2 Form for Payment. All payments to the Contractor will be subject to the DPS/GTSB's receipt of an HSP-2 and documentation. If claiming equipment, an

HSP-3 must also be submitted. The Contractor must perform services and receive merchandise between the effective dates of the contract and pay for expenses prior to submitting the claim for reimbursement. An HSP-2 will be submitted on a form provided by the DPS/GTSB. No payments will be made if required reports are more than two months past due unless approved by the DPS/GTSB Director.

10.3 Receipt of Federal Funds.

- a. All payments hereunder will be subject to the receipt of federal funds by the DPS/GTSB. The termination, reduction, or delay of federal funds to the DPS/GTSB may be reflected by a corresponding modification to the conditions of this Contract.
- b. Notwithstanding any other provisions of this Contract, if funds anticipated for the continued fulfillment of this Contract are at any time not forthcoming or insufficient, either through failure of the State of Iowa to appropriate funds, discontinuance or material alteration of the program for which funds were provided, the DPS/GTSB will have the right to terminate this Contract without penalty by giving not less than thirty (30) days written notice documenting the lack of funding, discontinuance or program alteration. Unless otherwise agreed to by the parties, the Contract will become null and void on the last day of the fiscal year for which appropriations were received, except that if an appropriation to cover cost of this Contract becomes available within sixty (60) days subsequent to termination under this clause, the DPS/GTSB agrees to re-enter a Contract with the terminated Contractor under the same provisions, terms and conditions as the original Contract.
- c. In the event of termination of this Contract due to non-appropriation, the exclusive, sole and complete remedy of Contractor will be payment for services rendered prior to termination.

10.4 Non-Performance Termination. If, through any cause, the Contractor shall fail to fulfill in a timely and proper manner its obligation under this contract, or if the Contractor shall violate any of the agreements or stipulations of this contract, the DPS/GTSB shall thereupon have the right to terminate this contract and withhold further payment of any kind by giving written notice to the Contractor of such termination and specifying the effective date thereof, at least thirty (30) days before such date. The DPS/GTSB shall be the sole arbitrator of whether the Contractor or its subcontractor is performing its work in a proper manner with reference to the quality of work performed by the Contractor or its subcontractor under the provisions of this contract. The Contractor and the DPS/GTSB further agree that this contract may be terminated by either party by giving written notice of such termination and specifying the effective date thereof, at least thirty (30) days before such date.

10.5 The Contractor will arrange for a single audit to be performed in accordance with OMB Circular A-133 when, as a non-federal entity, the Contractor receives \$750,000.00 or more in federal funds. The federal agency, National Highway Traffic Safety Administration, Department of Transportation, passes funds through the Department of Public Safety, Governor's Traffic Safety Bureau. The Catalog of Federal Domestic Assistance (CFDA) number 20.600 applies to State & Community Highway Safety Grants. A copy of the audit report will be submitted to the DPS/GTSB within thirty (30) days after the completion of the audit.

**Article 11.0 Statement of Work and Services.** The Contractor will perform in a satisfactory and proper manner, as determined by the DPS/GTSB the following work and services:

- 11.1 The Contract will be monitored by the National Highway Traffic Safety Administration (NHTSA) and the DPS/GTSB. All records and documents pertaining to the project are subject to auditing and evaluation by those agencies or their designees.
- 11.2 The Contractor will absorb all costs not contained in this contract.
- 11.3 The project will be evaluated on all items contained in the Statement of Work and Services and the Budget.
- 11.4 There will be no change in the Statement of Work and Services or Budget without prior written approval of the DPS/GTSB.
- 11.5 The Contractor will comply with all requirements contained within the Policies and Procedures Manual of the DPS/GTSB.
- 11.6 All documents relative to fiscal claims will be maintained in the Contractor's office and will be available for review during regular office hours.
- 11.7 Staffing plan:
  - a. Officers/deputies to conduct 176 hours of directed overtime enforcement.
- 11.8 Contract activities:
  - a. Conduct 176 overtime hours of high visibility traffic enforcement with a maximum effort directed at occupant restraint, impaired driving and excessive speed violations during times and at locations identified as high-risk, including at least two special traffic enforcement projects, one of which will be conducted at night.
  - b. Conduct at least twelve public information/education activities aimed at improving driver safety behaviors.
  - c. Conduct and publicize results of two observational occupant protection surveys during March and August.
  - d. Purchase and distribute traffic safety educational materials with prior DPS/GTSB approval.
  - e. Purchase one NHTSA-approved radar unit and utilize for speed enforcement.
  - f. Purchase two DPS-approved preliminary breath testers (PBTs) and utilize for impaired driving enforcement.
- 11.9 Key dates:
  - a. By November 15, 2016 and the 15th of each subsequent month through October 15, 2017, submit a monthly report as specified in Article 4.5.
  - b. By September 30, 2017, receive educational materials as specified in Article 11.8(d).

- c. By September 30, 2017, receive one radar unit and two PBTs specified in Article 11.8(e)(f).
- d. By November 1, 2017, submit an annual report as specified in Article 4.2.
- e. By November 15, 2017, submit final claim for reimbursement.

11.10 Objective/performance measures:

- a. At least 176 hours of overtime enforcement conducted and all overtime and agency traffic enforcement contacts reported showing a sustained effort based on past performance.
- b. Twelve public information activities conducted and reported.
- c. Two occupant protection surveys completed and results publicized.
- d. Educational materials approved, purchased and distributed.
- e. One radar unit and two PBTs purchased and utilized.

**Article 12.0 Project Budget.**

	<u>Highway Safety Funds</u>
Personal Services	
Directed overtime enforcement	\$6,000.00
Commodities	
Traffic safety education materials	\$ 500.00
Equipment	
One radar unit and two PBTs	<u>\$1,900.00</u>
<b>TOTAL</b>	<b>\$8,400.00</b>



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THE  
**CITY of PELLA**

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**STAFF MEMO TO COUNCIL**

ITEM NO: I-1

SUBJECT: Rezoning for Pella Regional Health Center

DATE: October 4, 2016 (3rd Reading)

**BACKGROUND:**

Pella Regional Health Center (PRHC) is requesting to rezone three properties located in the 500 block of Monroe Street from R1B Single Family Residential to INS Institutional District. The purpose of the rezoning request is to support a proposed 12,095 square foot parking lot adjacent to PRHC. It is staff's understanding the properties for this proposed rezoning will be used for additional parking for PRHC. The parcels are identified as: 1223 Birch Street; 505 Monroe Street and 507 Monroe Street.

**Zoning**

The current zoning for these properties is R1B Single Family Residential. This district is intended to provide locations for moderate density residential areas for single-family use with supporting and appropriate community facilities. Its regulations are intended to minimize traffic congestion and to assure that density is consistent with the carrying capacity of infrastructure.

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

Staff does not believe there are any spot zoning concerns associated with this request as these properties are adjacent and in close proximity to an existing institutional use.

**Comprehensive Plan**

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Medical and Assisted uses. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses. Therefore, staff believes this request is consistent with the City's Comprehensive Plan.

**Summary**

Staff is recommending approval of this zoning request. The proposed ordinance would amend the boundaries of the INS District to include three parcels of land owned by Pella Regional Health Care (1223 Birch Street, 505 Monroe Street, and 507 Monroe Street) from R1B Single Family Residential to INS Institutional District. It should be noted, the Planning and Zoning Commission at their August 8, 2016 meeting approved the rezoning on a 7 to 0 vote.

ATTACHMENTS: Ordinance, Map, Citizen Letters

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve ordinance.

ORDINANCE NO. 914

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. ZONING AMENDMENT. The Zoning Ordinance of the City of Pella, Iowa, is hereby amended by amending the boundaries of the INS District to include parcels of land owned by Pella Regional Healthcare Center described in Exhibit A that is within the zoning jurisdiction of the City of Pella, Iowa, from an "R1B" (Single Family Residential Zoning District) to an "INS" (Institutional Zoning District) for all parcels.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance on the Official Zoning Map.

SECTION 3. COMPREHENSIVE PLAN UPDATE. Council hereby instructs staff to proceed with a resolution that updates the Future Land Use Map of the Comprehensive Plan to reflect the Institutional Zoning of the applicable properties, if appropriate.

SECTION 4. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk

## Exhibit A

Legal Description:

Lot 12, Lot 11, Lot 10, and the west ½ of vacated Birch Street, Monroe Addition, City of Pella, Marion County, Iowa.

HAZEL ST

MONROE ST

AREA TO BE  
REZONED

JEFFERSON ST

MAIN ST



**From:** Mansueto, Jim [mailto:MansuetoJJ@pella.com]

**Sent:** Monday, September 05, 2016 7:44 AM

**To:** Mike Nardini <mnardini@cityofpella.com>; Pella Mayor <mayor@cityofpella.com>; mark@dejonggreenhouses.com; tbokhoven@iowatelecom.net; elsvan@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; danvb@lisco.com; Cathy Haustein <hausteinc@central.edu>; Landon, David <dlandon@vermeer.com>; cagan@co.marion.ia.us; jgchome@jcl1.com; robinpfa@msn.com; vandermolten@mahaskacounty.org; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com

**Subject:** PRHC Master Plan

Dear P&Z and City Council Members,

Pella Regional Hospital has not implemented any common urban or pedestrian-friendly principles for its expansion plans within the residential neighborhoods it sits. I have provided the hospital information and offered to discuss simple, common planning techniques that could be incorporated into their plans. Implementing these practical principles would allow their plans to proceed ***and*** be embraced by the neighbors by actually *improving* the area. (See attachments and email below). Suggestions include:

- Positioning parking lots behind buildings
- Adjusting the mass of buildings to residentially-sized components
- Incorporating adequate green space and screening.

To date, I have not received any replies from the hospital.

For the following reasons, I urge P&Z and the City Council to delay any zoning changes requested by the hospital until they have worked with the neighbors to develop mutually-agreeable plans:

- 1.) The hospital seems intent to reduce the value and desirability of the neighboring residential properties.
- 2.) The hospital has shown a pattern of then buying the distressed surrounding properties, removing the structures, and then requesting zoning changes.
- 3.) In addition, the requested rezoning of the land at the corner of Jefferson and Hazel seems to be a violation of City and State Codes. The hospital plans to resell this land to a for-profit medical corporation. The function of this corporation and its operation do not fall within definitions of a supporting institutional facility. ***It is an independent medical clinic that can be located in any already approved commercial zone within the community.***
- 4.) The Pella Zoning ordinances have not been updated based upon the most recent Comprehensive Plan issued in August, 2014. No zoning changes should be made until the ordinances are updated per the expressed desires of the community as outlined in the Comprehensive Plan.

Due to business travel, I am not able to attend the P&Z meeting on Wednesday, September 8. I hope this letter allows my voice to be heard.

**Jim Mansueto**  
1304 Min St  
Pella, IA 50219

Petition No.

160907

Name: Entered into the Record—Citizens Regarding Pella Regional  
Rezoning on Monroe Street

Date: September 6, 2016

Comment: PRHC—rezoning for parking lot

### **PRHC Master Plan Recommendations**

- 1.) Locate parking lots behind buildings. Will allow shared usage and less need for concrete.
- 2.) Break up mass of buildings to residentially-scaled components.
- ~ 3.) If Number 2 enacted, position buildings at residential setbacks. (If buildings are sized-appropriately, neighbors would not oppose rezoning of R1 lots. This will increase your land utilization.)
- 4.) *Think residentially* for offices. Create a residential cadence with scale, windows, walkways up to buildings, plantings, etc.
- ✓ 5.) Plant a buffer strip at west end of property **now** to create a narrow green oasis between PRHC property and the homes along Main. Go beyond the minimum 6' fence in current code. Instead of a fence consider planting White Pines, evergreens, bushes, and low-maintenance prairie and ornamental grasses for year-round interest and screening.
- 6.) A similar buffer strip should be planned for the homes on Jackson that will have backyards abutting the planned development on the south side of Jefferson.
- 7.) The current sidewalk that extends from Orchard is used quite frequently. Plan for a new pedestrian walkway thru your land that connects to the area near Sunken Gardens (and Lincoln School). Perhaps this could be tied into the buffer zone at the west end of property to create a scenic walkway.
- 8.) Plan for landscaped screens and berms that create pedestrian-friendly sidewalks where parking lots come near the sidewalks. Recommended for existing lots, too. Current landscaping is sparse to non-existent.
- 9.) Provide a bonus for the neighborhood – A small park? A dog park?
- 10.) Address how light spillage/pollution will be handled for all parking lots. This is much easier with today's LED lighting. But also commit to reduced light levels after office hours and after 9 or 10 pm.
- 11.) Consider how entrances and exits into PRHC parking lots should align with existing streets – especially at Orchard, Birch, East 2<sup>nd</sup>, and Houston.
- 12.) As PRHC grows, consider encouraging employees to bike/walk to work. Your central location in Pella should make it relatively easy. If infrastructure is planned accordingly, will promote a healthier lifestyle for your employees and ease the need for acres of employee parking lots.

These are my initial thoughts. I have solicited input from the neighbors.

Respectfully Submitted,

**Jim Mansueto**

1304 Main

641 629 6279

Petition No.

160917

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Name: Entered into the Record—Citizen Letter Concerning Pella  
Regional Health Center Parking Lot

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Date: September 20, 2016

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Comment: Rezoning of PRHC Parking Lot on Monroe Street

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Dear Mike (and rest of Council)

I am writing you this letter to do with the parking lot that is to be built off Monroe. Sorry this is not typed. I'm simple. Not Professional.

I live at 506 Monroe. When we got the plans for the parking lot in the mail for it, it did NOT show where the exit/entrance was going to be on Monroe. I work nites.

My neighbors said after going to the meeting, they thought, from what they could make out, the drive would be coming out pretty much in front of my driveway. This is a safety hazard!! Backing up for us plus them not seeing us.

On another note, I also was told it is being brought up that E. 2nd might be ran through to Monroe. NO THANKS!! I don't need headlights into my windows and again a safety issue. (No I don't have to pull blinds they still shine through <sup>that</sup> close.) Also you can't tell me my property won't depreciate.

Ok, Some may say, So Move. I just moved here in last August. I switched houses with my Son. Would you like to move just because of a parking lot or street? I'm trying to start over.

Its hard being a born and raised Pella gal and see so many places being disposed of.

My question is how my people on the Council have lived in Pella for a great many years. Only reason is if they did they would remember how wonderful it was and the good and a few falling outs that Pella had. We (at least I do) wish we could live our childhood days here again.

Back to my reason for this letter, Please reconsider the parking lot entry and exit and road. For I and the Only one who is so Greatly effected by it.

Thanks Lori Vandenberg

Ms Lori Vandenberg  
506 Monroe St  
Pella, IA 50219

641-780-3888



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: I-2

SUBJECT: Rezoning for Casey's Marketing Company

DATE: October 4, 2016 (3rd Reading)

**BACKGROUND:**

This proposed ordinance would change the zoning classification for the property located at 505-513 Main Street and 705 Union Street from Mixed Use Urban Commercial Corridor (CUC) to Planned Unit Development (PUD). As background, Casey's Marketing Company is proposing on this 1.17 acre site a new 4,475 square foot convenience store with gasoline sales. According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs. The existing Casey's stores which would be closed are 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street.

Under the City Code, the proposed development is identified as Convenience Food Sales use type and is permitted by right in the CUC Zoning District. This ordinance is being proposed by the City of Pella to satisfy the recommendations of the city's comprehensive plan and to mitigate potential impacts to the neighboring residential properties which abut and are adjacent to the development.

**Planned Unit Development (PUD)**

A Planned Unit Development (hereinafter "PUD") is designed to allow for comprehensively planned projects which provide for innovative and imaginative approaches to urban design and land development. A PUD is a negotiated contract for land development between the private developer and the public governmental entity. This differs from the traditional approach to land development wherein the developer develops land pursuant to minimum standards previously adopted by the government. A PUD permits flexible variation from established land regulations as contained in zoning districts and in platting and subdivision requirements. In essence, the developer, with City staff guidance, Planning and Zoning Commission review, and Council approval, may develop its own guidelines for the best development of the land in question.

**Key Requirements of the Proposed Ordinance**

The proposed ordinance requires the development to be in conformance with the CUC zoning district except for the following modifications:

1. The Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site. The proposed ordinance allows the parking and associated fuel dispensing area for the development to be placed in front of the convenience store or further away from the neighboring residential properties.
2. The setback requirements for the proposed convenience store have been adjusted to allow the parking and fuel dispensing area to be placed in front of the building.

3. Currently, the City Code does not place any limits on the operating hours for the new convenience store. The proposed ordinance limits the operating hours for the development to 6:00 a.m. to 11:00 p.m.
4. The green space area requirement under the Pella City Code is 5% of the total development. The proposed ordinance requires a green space area of 28%. In addition, there are numerous landscaping enhancement being proposed as a part of the PUD.

The proposed ordinance also contain requirements for the three existing Casey's Marketing Company Stores located 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street. Specifically, the proposed ordinance requires Casey's Marketing Company to close and repurpose these existing stores within 30 days of receiving a certificate of occupancy for the new convenience store.

Finally, it is important to note, the PUD is contingent upon Casey's Marketing Company acquiring title to the property by February 1, 2017. If Casey's Marketing Company does not acquire title to the property by this date, then the zoning reclassification to PUD will be null and void.

### **Site Plan Summary**

The Planning and Zoning Commission conditionally approved Casey's Marketing Company's proposed site plan on a 7-3 vote subject to the Pella City Council approving the planned unit development ordinance for the property site.

The proposed site plan was prepared in accordance with the Pella City Code and the requirements of this planned unit development ordinance. For Council's review, a copy of the proposed site plan is enclosed. Listed below is a summary of the key points of the proposed site plan:

**Site Orientation** - The site plan for Casey's Marketing Company places the fuel dispensing area in close proximity to Main Street and in front of the proposed convenience store. This is an important issue because staff believes the proposed PUD ordinance allows for the fuel dispensing area to be placed farther away from the abutting residential properties than if the development were constructed solely within the parameters of the City's zoning code. Specifically, the Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site.

**Building Design** - The design of the proposed convenience store and associated gas canopy was approved by the City's Community Development Committee. Staff believes the design of the proposed convenience store meets the city's architectural guidelines and appreciates the efforts Casey's Marketing Company has undertaken in designing the proposed convenience store.

**Site Landscaping and Buffering** - Under the City Code, a minimum of 5% of the total lot area is required for green space area. In comparison, approximately 28% of the proposed site plan for Casey's Marketing Company is green space area. Overall, the landscaping plan includes 21 screening trees, 6 tulip beds, 73 shrubs and bushes. In addition, located in the northeast corner of the property will be landscaping design features which will include a pedestrian walkway, tulip beds, benches, and an area dedicated for a future community sign such as a kiosk. Furthermore, the proposed site plan includes a 6 foot double sided heavy wood fence around the site. The fence will contain solid slats on each face of the fence. The gap between slats is offset ½ the width of a slat to further contain noise on the site. In addition, the fence will be built to incorporate both straight segments and intermittent segments built at

45 degree angles. The purpose of this construction is to break up the façade of the fence which staff believes is an important mitigation element.

***Operating Hours and Lighting Plan*** - The proposed PUD will limit the hours the new store can be open to the general public to 6:00 a.m. to 11:00 p.m. seven days per week. In addition, the lighting plan for the site operating hours for the new store plan is intended to minimize light pollution and contain lighting on the development site.

***Traffic Analysis*** - As part of the site plan review, traffic engineers from Snyder and Associates conducted a traffic study for the development. Listed below are highlights from the analysis:

Traffic volume information was used from Iowa DOT 2014 counts as part of the estimated trip distribution.

Based on the total number of drive-way trips during the most critical time periods (AM and PM peak hours), no improvements are recommended at either the intersection of Union Street and Main Street or to Union Street or Main Street at the development's proposed accesses.

The traffic study did take into account the closing of the three existing stores (two downtown stores and the Oskaloosa Street store).

## **Comprehensive Plan**

The Future Land Use Map of the Comprehensive Plan targets the proposed site for Mixed Use Commercial, which is the closest match to the City's CUC Zoning District. However, the Land Use Compatibility Matrix of the Comprehensive Plan indicates there could be potential land use compatibility issues between the development and the abutting residential property owners. As a result, staff believes the Comprehensive Plan recommends a PUD for the proposed development. According to the Comprehensive Plan, the intention of a PUD to assess the project's impact and define the development's design.

Staff believes the proposed planned unit development conforms to the City's comprehensive plan. Staff based our opinion on the fact that the use proposed by Casey's Marketing Company is permitted by right in the existing CUC Zoning District. Furthermore, the Future Land Use Map of the Comprehensive Plan appears to align with the CUC Zoning for the site. Therefore, any land use compatibility issues should be mitigated through the site planning process. In this particular case, staff believes the proposed PUD meets the intent of the City's Comprehensive Plan by requiring additional mitigation measures by the developer than what is required under the City's CUC zoning district. Listed below are the factors staff considered in making this determination:

The proposed PUD ordinance allows for the gas canopy area to be placed farther away from the abutting residential properties than if the development were constructed solely within the parameters of the City's zoning code. This is important because staff believes this additional separation will help mitigate potential impacts to the abutting residential property owners.

The proposed PUD contains significantly more green space area, landscaping, and screening than what is required under the City Code. Staff believes these items will help reduce the impact on the neighboring properties.

The proposed PUD limits the operating hours of the development which will further mitigate impacts to the neighboring property owners.

Once again, based on staff's review, we believe the proposed planned unit development conforms to the City's Comprehensive Plan.

## **Citizen Petition**

As a part of the public hearing process conducted by the Planning and Zoning Commission, a petition was received by property owners within 200' of the boundaries of the proposed site. Based on advice of legal counsel, staff believes this proposed ordinance will require a super majority approval from the Pella City Council.

### **Staff Recommendation:**

Staff believes the proposed ordinance meets the requirements of the City's zoning code. In addition, staff also believes the proposed ordinance is consistent and in conformance with the City's comprehensive plan. Therefore, staff is recommending approval of the proposed ordinance which would formally establish a Planned Unit Development.

It should be noted that at the August 22, 2016 Planning and Zoning meeting, the Commission approved a resolution recommending approval of the PUD ordinance to Council on a 9 to 1 vote.

ATTACHMENTS: Ordinance, Planning and Zoning Resolution, Location Map, Comp Plan Map, Zoning Map, Casey's Marketing Company Site Plan, Citizen Letters

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve ordinance.

## RESOLUTION NO. 1

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PELLA RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE AN AMENDMENT TO THE OFFICIAL ZONING MAP OF THE CITY OF PELLA TO CHANGE THE ZONING DESIGNATION FROM MIXED USE COMMERCIAL (CUC) TO PLANNED UNIT DEVELOPMENT (PUD) AND APPROVE AN ORDINANCE ESTABLISHING THE PUD FOR THE PROPERTIES LOCATED AT 505-513 MAIN STREET AND 705 UNION STREET FROM MIXED USE URBAN COMMERCIAL CORRIDOR TO PLANNED UNIT DEVELOPMENT (PUD).

**WHEREAS**, pursuant to the provisions of Chapter 165.14 of the Pella City Code the City of Pella has requested approval of a zoning classification from its present classification, CUC (Mixed Use Urban Commercial Corridor) to PUD (Planned Unit Development) for the property described as:

Lot 1, except the West 70.00 feet thereof and all of Lot 4 and Lot 5 in Block 61 in the City of Pella, Iowa.

**WHEREAS**, an analysis was made by City staff and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

**WHEREAS**, on August 22, 2016 this Commission held a duly-noticed meeting to consider the request to change the zoning classification from CUC to PUD for the above mentioned property; and

**NOW, THEREFORE, THE PLANNING AND ZONING COMMISSION OF THE CITY OF PELLA DOES RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, in the staff report for this meeting or as amended orally at the meeting are adopted.

SECTION 2. The zoning reclassification of the property from Mixed Use Urban Commercial Corridor to Planned Unit Development (PUD) as illustrated in Exhibit B attached to Planning and Zoning Commission Staff Report is recommended to the City Council for approval, subject to compliance with all conditions in the staff report. Violations of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

**SECTION 3. The establishment of the Planned Unit Development (PUD) as illustrated in Exhibit C attached to Planning and Zoning Commission Staff Report is recommended to the City Council for approval, subject to compliance with all conditions in the staff report. Violations of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.**

**PASSED AND ADOPTED this 22nd day of August, 2016.**



**David Landon, Chair  
Planning and Zoning Commission**

**ATTEST:**



**Teri Vos, Vice-Chair  
Planning and Zoning Commission**

BROADWAY ST

MAIN ST

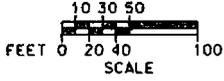
UNION ST

INDEPENDENCE ST

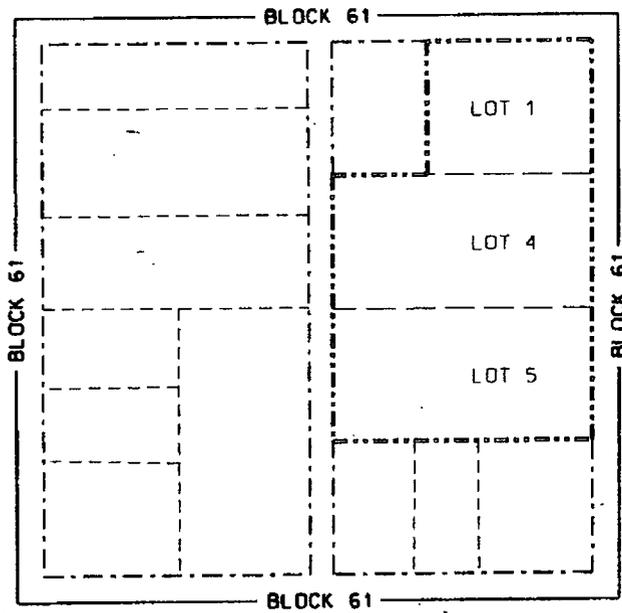
LEGEND:  
--- ROW LINE  
--- PROPERTY LINE  
--- PUD BOUNDARY  
--- ORIGINAL PLAT



PELLA



10 30 50  
FEET 0 20 40 100  
SCALE



PUD LEGAL DESCRIPTION:  
LOT 1, EXCEPT THE WEST 70.00 FEET  
THEREOF AND ALL OF LOT 4 AND LOT 5  
IN BLOCK 61, ORIGINAL PELLA PLAT,  
CITY OF PELLA, MARION COUNTY, IOWA.

EXHIBIT B



**LEGEND:**

-  AG & AG RESIDENTIAL
-  PRESERVE
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  HIGH DENSITY RESIDENTIAL
-  FLOOD PLAIN
-  PARKS AND RECREATION
-  ENVIRONMENTALLY SENSITIVE
-  MIXED USE
-  COMMERCIAL
-  DOWNTOWN MIXED USE
-  MEDICAL & ASSISTED LIVING
-  CENTRAL COLLEGE
-  CIVIC & PUBLIC
-  SCHOOL
-  LIGHT INDUSTRIAL
-  GENERAL INDUSTRIAL
-  URBAN RESERVE
-  I-80 CORRIDOR
-  WATER

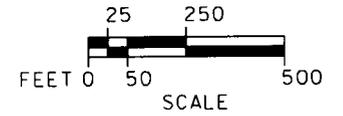


PUD AREA

CBD

LEGEND:

- |   |     |   |  |
|---|-----|---|--|
|  | RR  |  | Rural Residential District                 |
|  | R1  |  | Low-Density Single-Family Residential      |
|  | R1A |  | Moderate-Density Single-Family Residential |
|  | R1B |  | Medium-Density Single-Family Residential   |
|  | R1C |  | Neotraditional Single-Family Residential   |
|  | R2  |  | Two-Family Residential                     |
|  | R3  |  | Multiple-Family Residential District       |
|  | R4  |  | Mobile Home Park District                  |
|  | CBD |  | Commercial - Central Business District     |
|  | CUC |  | Commercial - Mixed Use Urban Corridor      |
|  | CC  |  | Community Commercial District              |
|  | CPD |  | Commercial - Planned Development District  |
|  | INS |  | Institutional District                     |
|  | M1  |  | Limited/Light Industrial District          |
|  | M2  |  | Heavy Industrial District                  |
|  | A1  |  | Agricultural District                      |
|  | PUD |  | Planned Unit Development                   |



# Site Plan

for

## Casey's General Stores

### 505-513 Main Street & 705 Union Street

### Pella, Iowa

**BUILDINGS**  
 PROPOSED CASEY'S BUILDING - 41' x 106'-3"  
 NUMBER OF STORIES: 1 STORY

**PAVING**  
 THE APPROACH SHALL BE 3" THICK P.C.C.  
 THE PARKING LOT SHALL BE 6" THICK P.C.C.

**PARKING**  
 35 TOTAL PARKING SPACES ARE PROVIDED  
 23 SPACES AND 12 PUMP-ISLAND SPACES

**FLOODPLAIN**  
 PER FEMA MAP #19125C0218C, THE SITE IS LOCATED IN ZONE X

**GENERAL NOTES**

1. ALL TRASH AND RECYCLING SHALL BE CONTAINED IN THE OUTDOOR DUMPSTER/RECYCLE AREA
2. WALL PACK LIGHTING SHALL BE SHARP CUT-OFF
3. HAND-CAPPED PARKING STALLS AND SIGNS SHALL BE PROVIDED PURSUANT TO THE STATE CODE
4. ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ON ADJACENT PROPERTIES OR RIGHT OF WAY SHALL BE PROMPTLY REMOVED

**SIGN**

PROPOSED CASEY'S SPECIAL MONUMENT SIGN AT THE INTERSECTION OF MAIN STREET AND UNION STREET

**DISTURBED AREAS**

ALL DISTURBED AREAS SHALL BE SOODED  
 THE DISTURBED AREA FOR THIS SITE IS MORE THAN 1 ACRE, THEREFORE  
 A NPDES PERMIT IS REQUIRED

**OWNER**

DEANIS & JOYCE VANDER BEEK  
 914 MAZEL STREET  
 PELLA, IA 50219  
 PH: 641-760-6568

**DEVELOPER**

CASEY'S MARKETING COMPANY  
 PO BOX 3001  
 ANKENY, IA 50021  
 PROJECT CONTACT: MELANI ATHA  
 PH: (515) 985-8100

**ENGINEER/LAND SURVEYOR**

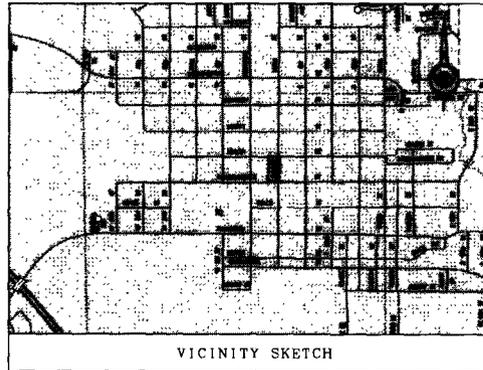
A. LEO PELOS ENGINEERING COMPANY  
 2323 DIXON STREET  
 DES MOINES, IOWA 50316  
 PROJECT CONTACT: ELARA JONDLE  
 PH: (515) 265-8195

**LEGAL DESCRIPTION**

Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61 in the City of Pella, Iowa

**PRELIM APPROVALS**

BOA - December 14, 2015  
 CDC - February 17, 2016



**GENERAL NOTES**

1. All work shall be conducted in accordance with OSM codes and standards. Nothing indicated on the site plan shall relieve the contractor from complying with all applicable safety regulations.
2. All public improvements shall be designed and constructed to meet the City approved Urban Design Standards for Public Improvements and the Urban Standard Specifications for Public Improvements.
3. The location of existing utilities and structures is approximate. The contractor shall take precautionary measures to protect the utilities and/or structures at the site. It shall be the contractor's responsibility to notify the owners of utilities and/or structures to determine the present extent and exact location of their facilities before beginning work. If existing utility lines are encountered that conflict with new construction, the contractor shall notify the engineer so that the conflict may be resolved.
4. The Contractor shall field adjust, as necessary, all existing utilities to finish grades. Existing site utilities include, but are not limited to, fire hydrants, manhole rims, inlets, water valves, and light boxes.
5. The Contractor shall preserve all monuments, stakes, reference points, and bench marks. The Contractor shall be charged the cost for replacement, lost time, and any other associated responsibility due to contractor's negligence or carelessness that results in destruction of these items.
6. All spot elevations are at the top-of-finished surfaces.
7. The Contractor shall conduct clean-up, surface restoration, and surface replacement activities as construction progresses. All debris is spilled on the ROW or on adjacent property shall be picked up by the contractor at the end of each work day.
8. Materials not suitable for construction, including, trench backfill and surface restoration, and excess materials shall be properly disposed. Disposal is incidental to construction.
9. All salvageable materials that are removed shall remain property of the City of Pella. Deliver salvageable materials to the Public Works Shop, 100 Truman Road.
10. The Contractor shall notify property owners at least 24 hours in advance if access to property will be interrupted. Access to private property for emergency vehicles shall be maintained at all times.
11. Notify Denny Buyer, Public Works Director, City of Pella, at 641-628-1601, at least 48 hours prior to beginning construction activities (or to verify ROW, etc.).
12. The Contractor shall coordinate work and cooperate with City of Pella personnel STREET, DRIVEWAY, AND TRAFFIC NOTES

1. The Contractor shall provide traffic control for all work within street rights of way at no additional cost to the owner. Traffic control shall consist of barricades, signage, and lights as necessary to protect vehicle and pedestrian traffic in accordance with the Manual on Uniform Traffic Control Devices.
2. All existing street and traffic control signs that are in conflict with construction shall be removed and reset by the contractor. Owner shall direct resetting of signs. Contractor shall provide necessary signs, barricades, lights, and flagmen to insure the safe flow of vehicular and pedestrian traffic. Work is incidental to construction.
3. Contractor shall minimize disruption of traffic on Main Street & Union Street at all times. If partial closure is necessary to facilitate paving, the contractor shall coordinate lane closure to occur only during off-peak times. Flaggers will be required.
4. Remove existing street, parking, and driveway surfacing in neat, uniform lines. Replace surfacing with material noted and specified on plans. Protect remaining street surface from damage. (Notify Denny Buyer, Public Works Director, at least 48 hours prior to working within street right of way to discuss pavement removal requirements: sweeping, backfill, etc.)
5. 100T Class M concrete mix shall be used for driveway and street replacement.
6. All public sidewalks and curb cuts to be built per City specifications and inspected by the City of Pella Public Works Director prior to pouring concrete (at least 24-hour notice).
7. Paving thicknesses shall be as shown on the plans.
8. Place transverse joint (SC joint) in new PCC pavement prior to asphalt overlay. Joint spacing to match existing or of maximum of 12 feet, whichever is smaller.
9. All sidewalks to have 2% transverse slope in the direction of natural drainage unless otherwise indicated.
10. Place 6-inch thick sidewalk through driveways. All other sidewalk shall be 4 inches thick.
11. Replace concrete curb at driveway closures to nearest joint line.

SHEET INDEX	
Sheet 1	Cover Sheet
Sheet 2	Boundary & Topo
Sheet 3	Site Plan (AL-101)
Sheet 4	Grading Plan
Sheet 5	Utility Plan
Sheet 6	Landscaping Plan
Sheet 7	Typical Notes

**ALP ENGINEERING COMPANY**  
 Engineering | Planning | Surveying  
 2327 Olson Blvd, Des Moines, IA 50319 • P.O. Box 4026, Des Moines, IA 50309 • P: (515) 265-8198 F: (515) 265-2213

**EXISTING UTILITIES NOTE:**  
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEY'S RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. CALL ONE-CALL 800-4-A-SURVEY.

**DISCLAIMER:**  
 THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELOS ENGINEERING COMPANY, A L.P.C., FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALP, E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. ALP, E.C. ASSUMES NO RESPONSIBILITY FOR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS OR ANY PART THEREOF EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND		STANDARD SYMBOLS	
●	IRON ROD OR PIPE FOUND	—	MORE OR LESS
○	CALCULATED CORNER	—	FENCE LINE
▲	SECT. COR. MONUMENT FOUND	—	FIRE HYDRANT
△	SECT. COR. MONUMENT CALC.	—	SANITARY SEWER MANHOLE
⊕	POWER POLE	—	STORM SEWER MANHOLE
⊖	LIGHT POLE	—	VALVE
FF	FINISHED FLOOR	—	SPOT ELEVATION (E @ X)
		NTS	NOT TO SCALE
		HMA	HOT MIX ASPHALT

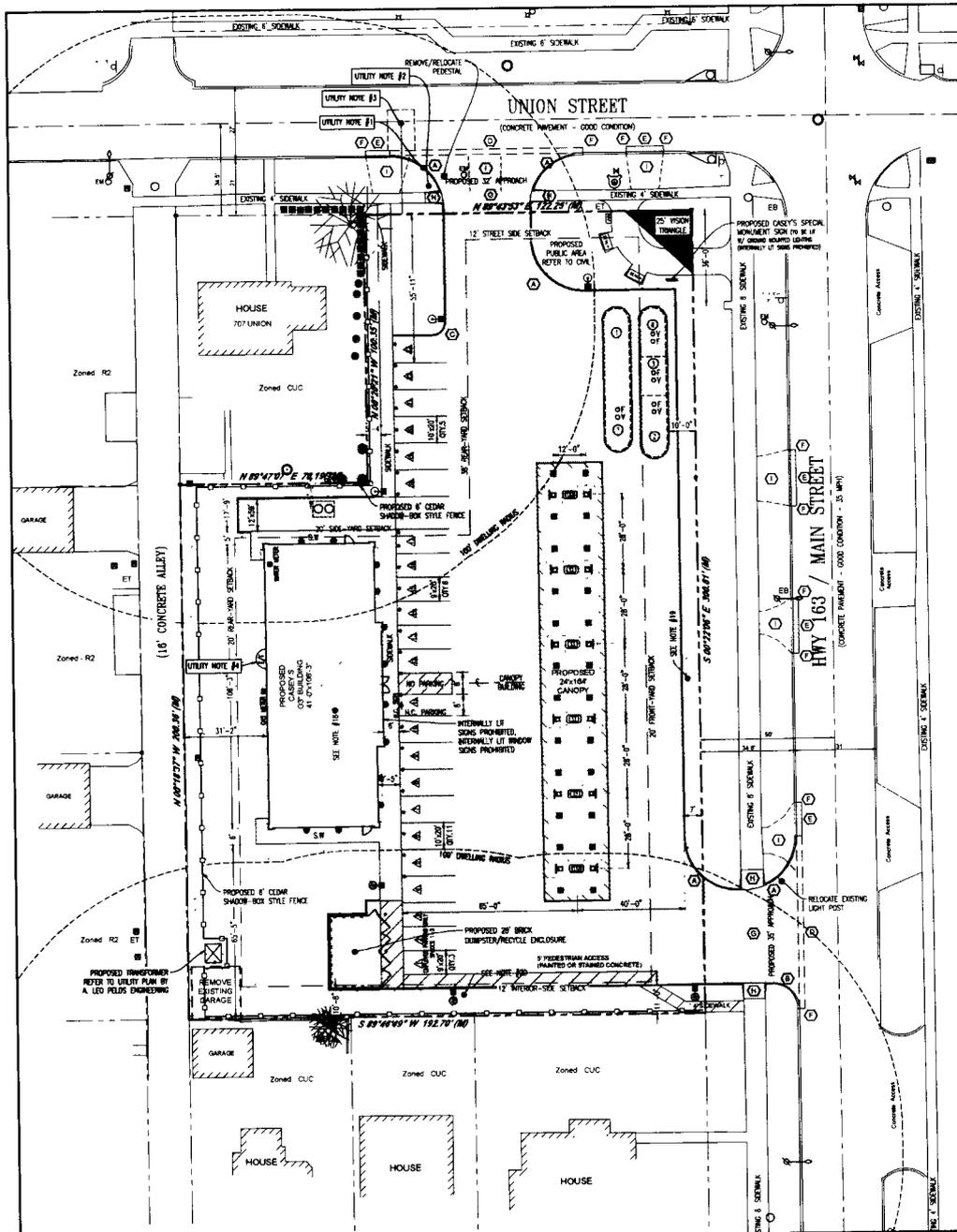
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DEANIS & JOYCE VANDER BEEK      IA LIC NO 18862 DATE 10-29-2015  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE)

**Casey's General Stores**  
 505-513 Main Street & 705 Union Street  
 Pella, Iowa

10-29-2015	E Jondle	NTS
08-04-2016		15-087
COVER - SHEET 1		





### Site Information

CASEY'S MARKETING COMPANY  
ONE CONVENIENCE BLDG  
ARNEY IOWA 50221  
CONTACT  
MELANI SAMORA (515) 965-8921

### Utility Notes

- #1 PROPOSED 1.5" WATER CONNECTION  
- INTO EXISTING WATER MAIN  
- 1" CT8 HDPE, SDR8 CD-200 PSI  
- VERIFY EXISTING WATER MAIN IS 1"
- #2 PROPOSED 1.5" NATURAL GAS CONNECTION  
- INTO EXISTING NATURAL GAS MAIN  
- 1" SCH 40 BLACK IRON PIPE  
- 800 MBH, 7" WC HOUSE PRESSURE  
- VERIFY EXISTING NATURAL GAS MAIN IS 1"
- #3 PROPOSED 1.5" SANITARY SEWER CONNECTION  
- INTO EXISTING SANITARY SEWER MAIN  
- 1" SDR 25 8" OR GREATER REQUIRED  
- VERIFY EXISTING MAIN IS 8"
- #4 PROPOSED SERVICE ENTRANCE  
ELECTRICAL 3 PHASE, 800 AMP  
- 10000 VOLTS, 4 WIRES  
- TELEPHONE 8 PAIR, 4 LINES  
OLD UTILITY SERVICES TO BE CAPTURED AND AMMOUNDED PER PUBLIC WORKS REQUIREMENTS IF NOT ALREADY COMPLETED

### Zoned: CUC

Zoned CUC  
Mixed Use Urban Commercial Corridor  
DR: Design Review Overlay  
PUD: Planned Unit Development Overlay  
Setbacks per PUD  
Front Yard 118'-0"  
Side Yard 31'-0"  
Rear Yard 31'-0"  
All setbacks per the PUD development agreement

PARKING REQUIRED  
1 SPACE / 290 FT<sup>2</sup> FLOOR AREA  
4475 FT<sup>2</sup> / 200 + 22375 + 23  
2.5 SERVICE SPACES / 17  
30 SPACES REQUIRED  
PROVIDED:  
23 MARKED SPACES  
12 UNMARKED SPACES  
35 PARKING SPACES PROVIDED

STORIES:  
1 STORY PROPOSED

### Survey Legend

- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- ELECTRIC MANHOLE
- ET ELECTRICAL TRANSFORMER
- EB ELECTRIC BOX
- PEDESTAL
- LIGHTED POWER POLE
- TRAFFIC SIGNAL POST

### Contact Info.

PELLA CITY HALL  
225 BROADWAY ST  
PELLA, IA 50219  
PH 561 628 8473  
FAX 561 628 3120  
CITY CLERK  
RONDA BROWN  
RBROWN@CITYOFPELLA.COM  
MAYOR  
JAMES MUELLER  
PUBLIC WORKS DIRECTOR  
DENNY BUFFERT  
PH 561 628 1601  
DBUFFERT@CITYOFPELLA.COM  
PLANNING AND ZONING DIRECTOR  
GEORGE WESSELHOFF AICP  
PH 561 628 1800  
GWESSELHOFF@CITYOFPELLA.COM

### Referenced Sheets

- CIVIL PLANS BY A. LEO PIELDS ENGINEERING  
SHEET 1 COVER SHEET  
SHEET 2 BOUNDARY & TOPO  
SHEET 3 AL-101 SITE PLAN (THIS SHEET)  
SHEET 4 GRADING PLAN  
SHEET 5 UTILITY PLAN  
SHEET 6 INDICATING PLAN  
LIGHTING PLANS BY RED LEONARD ASSOCIATES  
RL-181-02-04 EXTERIOR LIGHTING PLAN

### Legend

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - EASEMENT LINE

### City Required Notes

- 1 PUBLIC SIDEWALK ACCESS WILL NEED TO BE MAINTAINED THROUGH CONSTRUCTION BY TEMPORARY SIDEWALKS OR APPROVED SIGNED DETOUR ROUTES
- 2 ROADWAY AND SIDEWALK PAVEMENTS DAMAGED BY CONSTRUCTION OPERATIONS WILL NEED TO BE REPLACED PER CITY STANDARD TO THE NEAREST JOINT LINE
- 3 BIKE TRAIL CLOSURE OF BIKE TRAIL WOULD NEED TO BE KEPT TO A MINIMUM DURING DRIVEWAY CONSTRUCTION

(ARW) ALLIANT ENERGY  
CONTACT NAME LAURA BARR  
CONTACT PHONE 3192813115  
CONTACT EMAIL LOCATE IPE@ALLIANTENERGY.COM  
(CGR) CENTRAL COLLEGE  
CONTACT NAME MALE LUBBERN  
CONTACT PHONE 519263446  
CONTACT EMAIL LUBBERN@CENTRAL.EDU  
(G11) WINDSTREAM COMMUNICATIONS  
CONTACT NAME JOEL SCHROEDER  
CONTACT PHONE 8002891901  
CONTACT EMAIL LOCATE DES@WINDSTREAM.COM  
(NS) IOWA NETWORK SERVICES  
CONTACT NAME JEFF KLOCKO  
CONTACT PHONE 3195304445  
CONTACT EMAIL JEFF@NETS.COM  
(NH) WHITSTREAM MCLERO  
CONTACT NAME JOEL SCHROEDER  
CONTACT PHONE 8002891901  
CONTACT EMAIL JOEL.SCHROEDER@WINDSTREAM.COM  
(PEA) PELLA, CITY OF  
CONTACT NAME HARLEY VANDUSELDSRP  
CONTACT PHONE 5616282444  
CONTACT EMAIL PELLAWATER@IOWA.GOV  
(PEAT) CITY OF PELLA WATER TREATMENT  
CONTACT NAME BRETT SCHROEDER  
CONTACT PHONE 5616282444  
CONTACT EMAIL BSCHROEDER@CITYOFPELLA.COM  
(TCA) MEDACOM LLC  
CONTACT NAME CURT HODGES  
CONTACT PHONE 3198899417  
CONTACT EMAIL CHODGES@MEDACOMLLC.COM

### General Construction Notes

- 1 2 - 30,000 GALLON CONTAINMENT SOLUTION TANKS (ONE TANK IS SPLIT 3")
- 2 TANK 1: 30,000 GALLONS (BYE - UNGRADED) PLUS 10' DIA X 3'
- 3 TANK 2: 2,000 GALLONS (D - DIESEL) 10' DIA X 3'
- 4 TANK 3: 4,000 GALLONS (BTC PREMIUM) 10' DIA X 3'
- 5 TANK 4: 8,000 GALLONS (BTC PREMIUM) 10' DIA X 3'
- 6 6 DISPENSERS GALBARCO 700 S
- 7 4 INCH 8 METERS & 4 NOZZLES EACH
- 8 2 INCH 3 METERS & 4 NOZZLES EACH
- 9 TANK SETTING DETAIL SHEET OF 301
- 10 FILL PIPE AND MANHOLE SHEET OF 301
- 11 ISLAND SIZE - 3' X 5' WOOD GUARD PIPE
- 12 ISLAND DETAILS SHEET OF 101
- 13 SIGN BASE DETAILS SHEET AL-801
- 14 SIGN DETAILS SHEET AL-801
- 15 DRIVEWAY JOINTS TO BE PACKED & CALKED
- 16 CONCRETE DRIVE FRONTS WITH LIGHT BROOM FINISH
- 17 CONTROL JOINTS - MIN. 100' MAX. - MAX. 125' MAX. - 20% DEEP
- 18 CONSTRUCTION JOINTS - FINISHED TO 0.00" EACH WAY WITH 1/2" REBAR #4
- 19 APPROACHES TO BE 7" NON-ENFORCED OR AS PER STATUTE SPEC
- 20 SLOPE RAMPS FOR BUILDING SIDEWALK 1:20 H/C PARKING 1:50 ALL DIRECTIONS ALL ACCESS USE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- 21 VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS
- 22 SLOPE RAMPS FOR BUILDING SIDEWALK 1:20 H/C PARKING 1:50 ALL DIRECTIONS COMPRESSIVE STRENGTH OF FC-3000 @ 1" @ 28 DAYS 136 C.I. 4" RAMP (MAX) FOOTING DESIGN BASED ON 2,500 #/1' CONCRETE REINFORCING ASTM #45 GRADE 90 REBAR CAGE (8) #8 HORIZONTAL TIES LENGTH W/RE TOP AND BOTTOM 12" MAXIMUM SPACING
- 23 FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED AT SALES COUNTER
- 24 ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCHES LOCATED ON THE BUILDING FRONTAGE
- 25 AIR COMPRESSOR BOX MOUNTED TO POLE INSTALLED ON 2" CONCRETE PAD 3" FROM FRONT OF CURB. 110 VOLT 1.0 KW 5.5 AMP. 3/4 INCH MINIMUM RECOMMENDED
- 26 IRRIGATION SYSTEM INSTALLATION REQUIRED FOR ALL SOBBED WITH PROPERTY TO BE INSTALLED WITH WIRELESS RAIN SENSOR ON ROOF RAILING

### Keyed Construction Notes

NOTICE: ALL WORK UNDER THE R.O.W AREA IS SUBJECT TO THE CITY OF PELLA AND IOWA DOT APPROVAL AND SPECIFICATIONS

- (A) PROPOSED 10' RADIUS
- (B) PROPOSED 7' RADIUS
- (C) PROPOSED 5' RADIUS
- (D) DEPRESSURE CURB AND GUTTER
- (E) VERTICAL CURB AND GUTTER
- (F) TIE INTO EXISTING VERTICAL CURB AND GUTTER @ NEAREST EXISTING JOINT LINE
- (G) 2% MAX CROSS SLOPE SIDEWALK AREA
- (H) TAPER CURB TO SIDEWALK - NO DETECTABLE WARNING MAT
- (I) REMOVE EXISTING APPROACH
- (J) MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- (K) GASOLINE PUMP PARKING SPACES (DO NOT PAINT LINES OR OTHERWISE MARK)
- (L) CONCRETE PAVING OR SIDEWALKS
- (M) AREA TO BE SODDED
- (N) PROPOSED 1'000 GALLON GREASE INTERCEPTOR WITH TWO MANHOLES
- (O) PROPOSED AREA LIGHT (BRONZE) W/ 81" SAUNA TUBE (24" 30" FROM CURB) REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- (P) PROPOSED CANOPY LIGHT (WHITE) MOUNTED UNDERNEATH GASOLINE CANOPY REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- (Q) PROPOSED "GOOSE NECK" LIGHT (BRONZE) MOUNTED TO BUILDING FACADE REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES

### Legal Description

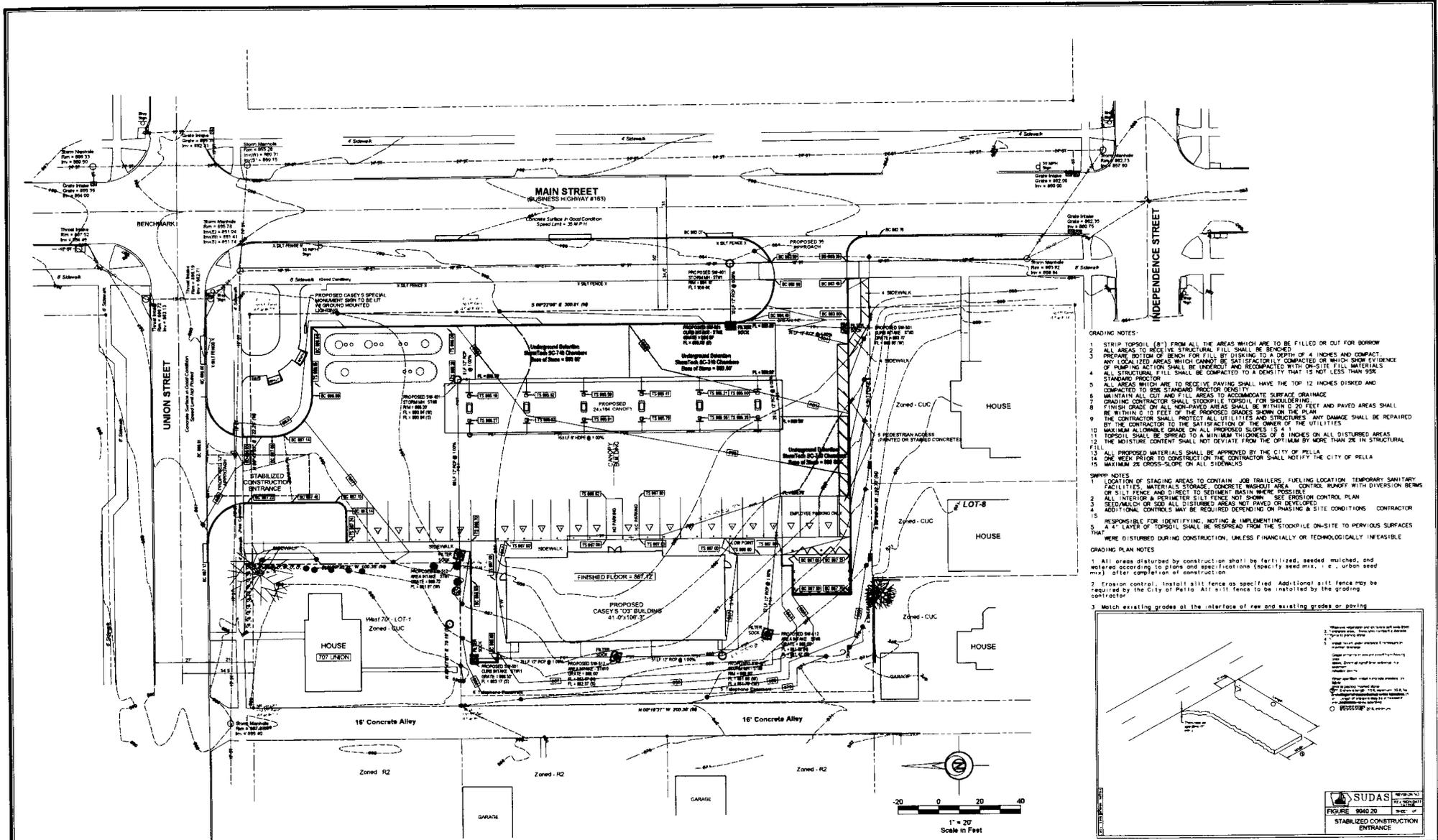
450 899 FT<sup>2</sup> & 1.17 ACRES  
LOT 11 EXCEPT THE WEST 70 FEET THEREOF AND ALL OF LOTS 4 AND 5 IN BLOCK 61 IN THE CITY OF PELLA, IOWA

### U.G.S.T. Notes

- P PILL CATCH BASIN W/ OVERSPILL PROTECTION (TYP)
- (T) TURBINE ENCLOSURE TYP CONTAINS SUB-PUMPS VALVE DETECTION TANK PROBE FOR FUEL MONITORING INCLUDING THE INTERSTITIAL SENSOR AND TANK SURVEILLANCE
- V VENT EXTRACTOR W/ BALL FLOAT FOR OVERFILL PROTECTION
- SUMP SENSOR @ EACH DISPENSER

BRICK/EIFS FOUR SIDES - HIP ROOF  
SPECIAL BUILDING FACADES  
NO REAR BUILDING LIGHTING  
BRICK CANOPY COLUMNS  
SPECIAL CANOPY FACADE

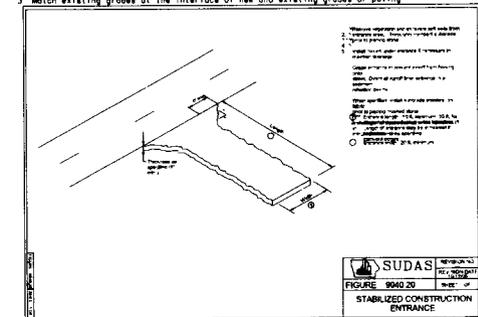
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Bldg P.O. Box 3001 Arney, IA 50221 515-965-8100		<b>SITE PLAN</b>
PELLA, IA #6 (REPLACEMENT)	07-17-15 07-11-16 02-15-16 02-16-16	
02" STYLE STORE - GABLE ROOF	02-15-16 02-16-16 07-14-16 08-16-16	<b>AL-101</b>
CONSTRUCTION DIVISION JACOB CLARK		



- GRADING NOTES:**
- 1 STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW
  - 2 ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHMARKED
  - 3 PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED ON WHICH SHOW EVIDENCE OF HEAVING ACTION SHALL BE UNDERLAIN AND RECOMPACTED WITH ON-SITE FILL MATERIALS
  - 4 ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR
  - 5 ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY
  - 6 MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE
  - 7 GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SOILZERING
  - 8 FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADES SHOWN ON THE PLAN
  - 9 THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES
  - 10 MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 4:1
  - 11 TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS
  - 12 THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL
  - 13 ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF PELLA
  - 14 ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF PELLA
  - 15 MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS

- SWAMP NOTES:**
- 1 LOCATION OF STAGING AREAS TO CONTAIN JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DISCHARGE TO SEDIMENT BASIN WHERE POSSIBLE
  - 2 ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN SEE EROSION CONTROL PLAN
  - 3 SEDIMENTATION OF SOIL ON DISTURBED AREAS NOT PAVED OR DEVELOPED
  - 4 ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS CONTRACTOR RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING
  - 5 A 4" LAYER OF TOPSOIL SHALL BE REPAIRED FROM THE STOCKPILE ON-SITE TO PVIOUS SURFACES
  - 6 WHERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE

- GRADING PLAN NOTES:**
- 1 All areas disturbed by construction shall be fertilized, seeded, mulched, and watered according to plans and specifications (specify seed mix, i.e. urban seed mix) after completion of construction
  - 2 Erosion control, install silt fence as specified. Additional silt fence may be required by the City of Pella. All silt fence to be installed by the grading contractor
  - 3 Match existing grades at the interface of new and existing grades or paving



<b>LEGEND</b> <b>STANDARD SYMBOLS</b> MATCH EXISTING ELEVATION GAS METER PARKING SPACE STREET LIGHT LIGHT POLE FINISHED FLOOR	CLEANOUT FIRE HYDRANT SANITARY SEWER MANHOLE STORM SEWER MANHOLE VALVE BOTTOM OF CURB ELEVATION TOP OF CURB ELEVATION TOP OF SLAB ELEVATION FLOWLINE ELEVATION	DOWNSPOUT PROPOSED UTILITY LINE UTILITY LINE OR PIPE WATER WATER METER GAS SANITARY SEWER STORM SEWER UNDERGROUND ELEC / TEL OVERHEAD ELEC / TEL CABLE TELEVISION

**A LFC ENGINEERING COMPANY**  
 Engineering | Planning | Surveying  
 2322 Dixon Street, Des Moines, IA 50316 P: 515.264.9196 F: 515.264.9198

**EXISTING UTILITIES NOTE:**  
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES SHOWN OR NOT SHOWN ARE NOT DAMAGED DURING CONSTRUCTION (FOR A Q&A CALL 1-800-292-8888).  
**DISCLAIMER:**  
 THIS DRAWING IS BEING MADE AVAILABLE BY A LFC ENGINEERING COMPANY (A LFC & C) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALL LFC'S AGREEMENTS WITH PROFESSIONAL SERVICES. ALL THE JOHNSON AND RESPONSIBILITY OR LIABILITY OF CONTRACTOR OR OTHERS FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

**STORMWATER AND SANITARY SEWER NOTES**

1. Contractor shall prevent entry of mud, dirt, debris, and other material into new and existing sewers. Any mud, dirt, debris, and other material entering into new sewer construction or existing sewers shall be removed by the contractor at no cost to the owner.
2. Keep existing sewer and water system in continuous operation. Provide temporary connections and piping as required. No bypassing of raw wastewater permitted. Temporary connections and piping are incidental to construction.
3. Unless shown otherwise, manholes shall be standard precast concrete manholes with self-sealing frame and covers as specified and shown on standard drawings. Install external type chimney seals, as specified, on each new manhole.
4. Maintain a minimum 10-foot horizontal separation distance between sanitary and storm sewer lines. Install external type chimney seals, as specified, on each new manhole.
5. Sanitary sewer pipe materials and construction shall be in accordance with sanitary sewer and water services.
6. Pipe locations shown on plans are approximate.
7. Elevations shown for manhole tops are approximate. Make final adjustments in field as directed by the Engineer. Rim elevations shall extend a minimum of nine inches above ground surface unless shown otherwise on the plans.

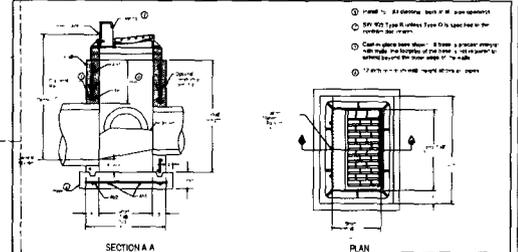
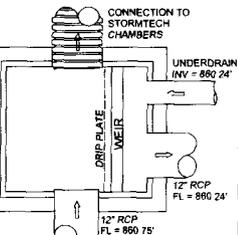
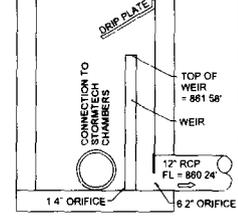
**WATER MAIN NOTES**

1. Install 1-inch corporation stop, curb stop and box, and a 1-inch water service line to 10 feet post easement line or lot line as shown. Locate each pipe as directed by owner.
2. Install new water main with a minimum of 5 feet earth cover.

**WATER MAIN NOTES**

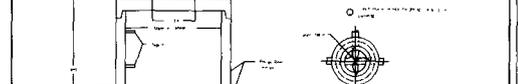
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2. Install new water main with a minimum of 5 feet earth cover.

**PROPOSED SW-501 CURB INTAKE - ST#2 DETAIL**



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08-16-2016
2	ISSUED FOR CONSTRUCTION	08-16-2016
3	ISSUED FOR CONSTRUCTION	08-16-2016
4	ISSUED FOR CONSTRUCTION	08-16-2016

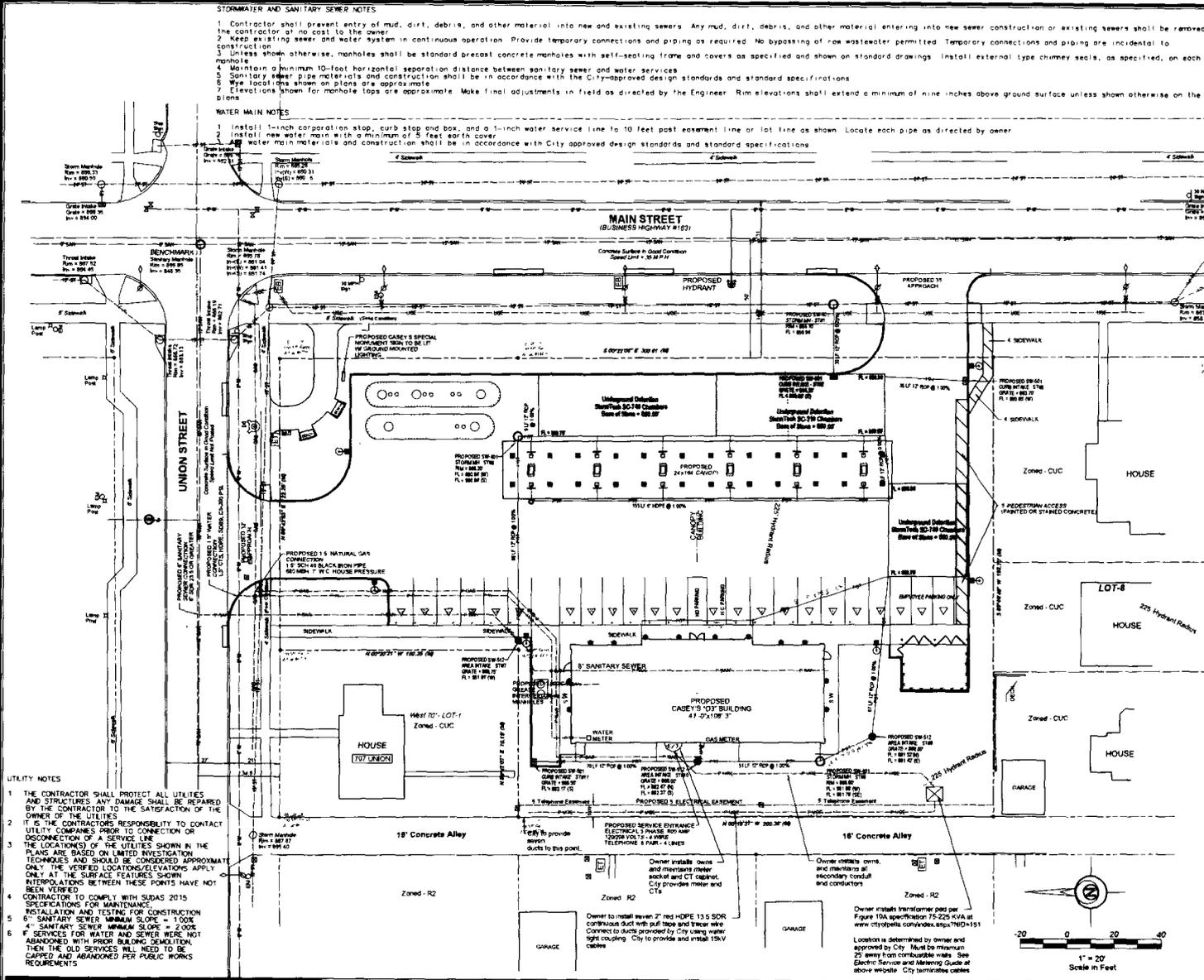
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08-16-2016
2	ISSUED FOR CONSTRUCTION	08-16-2016
3	ISSUED FOR CONSTRUCTION	08-16-2016
4	ISSUED FOR CONSTRUCTION	08-16-2016



NO.	DESCRIPTION	DATE
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4	ISSUED FOR CONSTRUCTION	08-16-2016



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2	ISSUED FOR CONSTRUCTION	08-16-2016
3	ISSUED FOR CONSTRUCTION	08-16-2016
4	ISSUED FOR CONSTRUCTION	08-16-2016



- UTILITY NOTES**
1. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
  3. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
  4. CONTRACTOR TO COMPLY WITH SDAS 2015 SPECIFICATIONS FOR MAINTENANCE.
  5. INSTALLATION AND TESTING FOR CONSTRUCTION:
    - 6" SANITARY SEWER MINIMUM SLOPE = 1:000'
    - 4" SANITARY SEWER MINIMUM SLOPE = 2:000'
    - 8" SERVICES FOR WATER AND SEWER WERE NOT ABANDONED WITH PRIOR BUILDING DEMOLITION, THEN THE OLD SERVICES WILL NEED TO BE CAPPED AND ABANDONED PER PUBLIC WORKS REQUIREMENTS.

**LEGEND**

- STANDARD SYMBOLS
- MATCH EXISTING ELEVATION
- GAS METER
- PARKING SPACE
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- FINISHED FLOOR
- CLEANOUT MORE OR LESS
- FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- BOTTOM OF CURB ELEVATION
- TOP OF CURB ELEVATION
- TOP OF SLAB ELEVATION
- FLOWLINE ELEVATION
- DOWNSPOUT PROPOSED UTILITY LINE
- UTILITY LINE OR PIPE
- WATER
- WATER METER
- GAS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELEC / TEL
- OVERHEAD ELEC / TEL
- CABLE TELEVISION

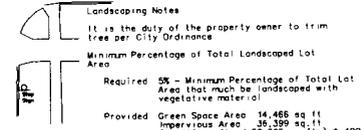
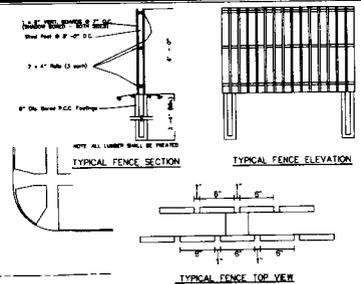
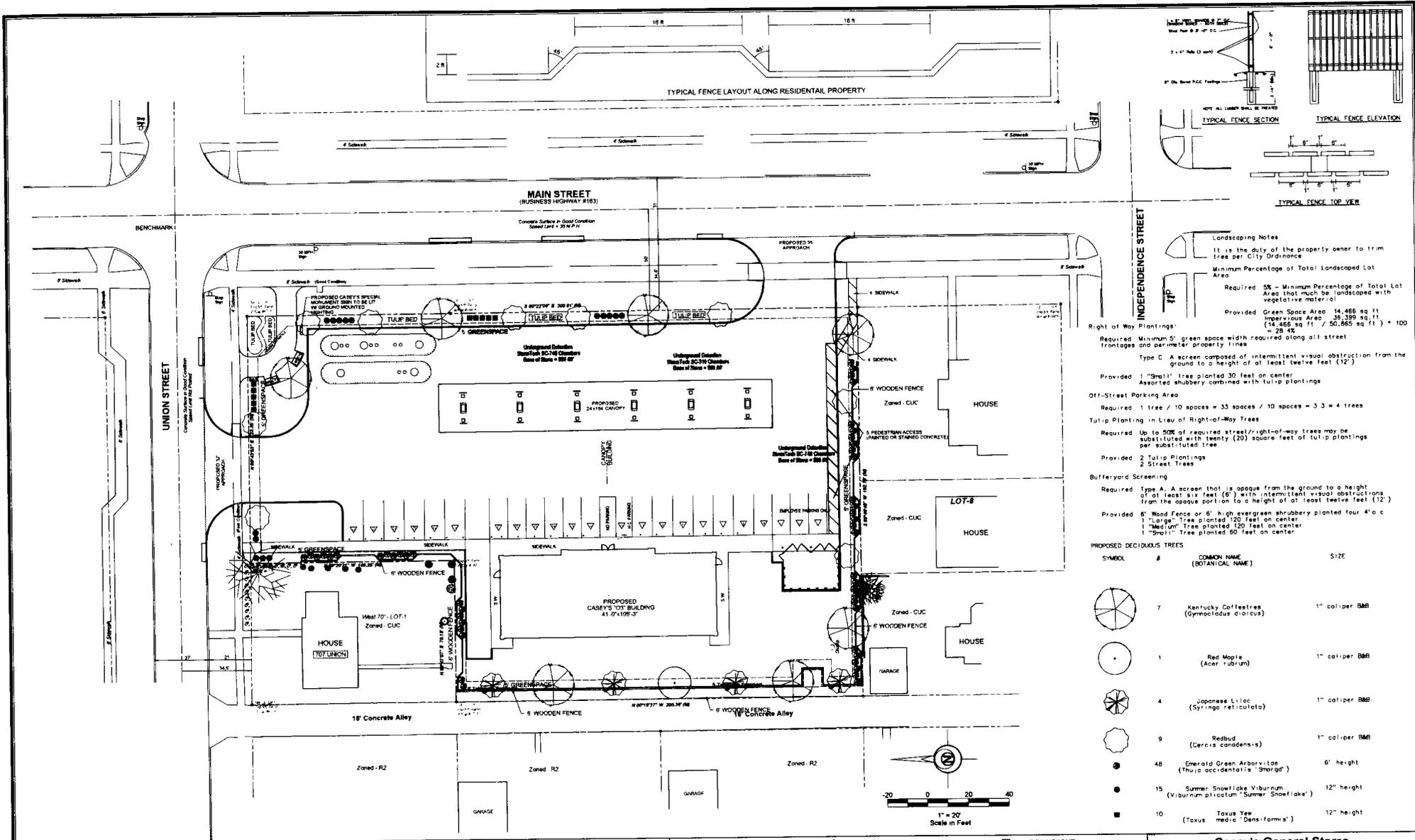
**ALCO ENGINEERING COMPANY**  
 Engineering Planning Surveying  
 2223 Olson Street, Des Moines, IA 50319 P 515.281.4200 F 515.281.4201  
 2223 Olson Street, Des Moines, IA 50319 P 515.281.4200 F 515.281.4201

**Casey's General Stores**  
 505-513 Main Street & 705 Union Street  
 Pella, Iowa

Marked R in @ Intersection of Olson & Main  
 Elevation = 865.97 (Dated 08/16/2016)

08-20-2016 - Layout - Esj  
 08-16-2016 - City Comments - CBJ

10-20-2016 E. Jendry 1" = 20' 08-16-2016 16-067



**Landscaping Notes**  
 It is the duty of the property owner to trim trees per City Ordinance.  
 Minimum Percentage of Total Landscaped Lot Area  
 Required 5% - Minimum Percentage of Total Lot Area  
 Provided Green Space Area 14,466 sq ft  
 Impervious Area 35,399 sq ft  
 (14,466 sq ft / 50,865 sq ft) \* 100 = 28.4%

**Right of Way Plantings:**  
 Required Minimum 5' green space width required along all street frontages and perimeter property lines  
 Type C: A screen composed of intermittent visual obstruction from the ground to a height of at least twelve feet (12')  
 Provided 1 "Small" tree planted 30 feet on center  
 Assorted shrubby combined with tulip plantings

**Off-Street Parking Area**  
 Required 1 tree / 10 spaces = 33 spaces / 10 spaces = 3.3 = 4 trees  
 Tulip Planting in Lieu of Right-of-Way Trees  
 Required Up to 50% of required street/right-of-way trees may be substituted with twenty (20) square feet of tulip plantings per substituted tree  
 Provided 2 Tulip Plantings  
 2 Street Trees

**Bufferyard Screening**  
 Required Type A: A screen that is opaque from the ground to a height of at least six feet (6') with intermittent visual obstructions from the opaque portion to a height of at least twelve feet (12')  
 Provided 6' Wood Fence or 6' high evergreen shrubby planted four 4' x 4' x 1' Large Tree planted 120 feet on center  
 1 "Medium" Tree planted 120 feet on center  
 1 "Small" Tree planted 50 feet on center

**PROPOSED DECIDUOUS TREES**

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	Kentucky Coffeetree (Gymnocladus dioica)	1" caliper B&B
	1	Red Maple (Acer rubrum)	1" caliper B&B
	4	Japanese Lilac (Syringa reticulata)	1" caliper B&B
	9	Redbud (Cercis canadensis)	1" caliper B&B
	48	Emerald Green Arborvitae (Thuja occidentalis 'Smaragd')	6' height
	15	Summer Snowflake Viburnum (Viburnum plicatum 'Summer Snowflake')	12" height
	10	Texas Yew (Taxus media 'densiformis')	12" height

**A L L E**  
**ENGINEERING COMPANY**  
 Engineering • Planning • Surveying  
 2323 Dixon Street, Des Moines, IA 50316 • P.O. Box 400, Des Moines, IA 50303 • (515) 264-8100 • (515) 264-2000

**EXISTING UTILITIES NOTE:**  
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**DISCLAIMER:**  
 THIS DRAWING IS BEING MADE AVAILABLE BY ALLEU ENGINEERING COMPANY (A L L E) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALLEU'S AGREEMENT FOR PROFESSIONAL SERVICES. ALLEU ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY OR LIABILITY, CONSEQUENTIAL OR OTHERWISE, FOR ANY USE OF THESE DRAWINGS (EXCEPT AS NOTED) OTHER THAN THAT INTENDED BY ALLEU ENGINEERING COMPANY.

**LEGEND**

STANDARD SYMBOLS	DESCRIPTION
	MATCH EXISTING ELEVATION
	GAS METER
	PARKING SPACE
	STREET LIGHT
	POWER POLE
	LIGHT POLE
	FINISHED FLOOR
	CLEANOUT
	MORE OR LESS FENCE LINE
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	VALVE
	BOTTOM OF CURB ELEVATION
	TOP OF SLAB ELEVATION
	FLOWLINE ELEVATION
	DOWNSPOUT
	PROPOSED UTILITY LINE OR PIPE
	UTILITY LINE OR PIPE
	WATER
	WATER METER
	GAS
	SANITARY SEWER
	STORM SEWER
	UNDERGROUND ELEC / TEL
	OVERHEAD ELEC / TEL
	CABLE TELEVISION

**Casey's General Stores**  
**505-513 Main Street & 705 Union Street**  
**Pella, Iowa**

10-20-2018 E. Janda 1" = 20' 06-10-2018 15-087

LANDSCAPING

**General Notes**

- 1 The contractor shall notify the City of Pella, Developer's engineer and One-Call 48 hours prior to commencing construction and prior to culvert construction and backfill utility construction subgrade prep, main line paving, roundabout paving and box-out paving
- 2 All construction shall be in accordance with the Statewide Urban Standard Specifications for Public Improvements, current at the commencement of construction
- 3 The contractor and developer's engineer shall attend a pre-construction conference as required with the Public Works Department prior to commencement of construction
- 4 The contractor shall verify the location and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor at the contractor's expense to the satisfaction of the city and the owner
- 5 The contractor shall be responsible for recording the as-built location of all sanitary sewer, sump and water main services
- 6 Reconnect any field tile that are interrupted during utility construction
- 7 The contractor shall be responsible for installing and maintaining traffic control in accordance with the manual on uniform traffic control devices
- 8 A representative from the cable concrete supplier, construction specialties, shall be on-site at all times to direct the placement, embedment, anchoring, grouting and clamping of the mats
- 9 The space between the cable concrete cells, located on the side slopes of the channel shall be backfilled with topsoil and seeded with crown vetch
- 10 The developer's engineer shall provide as-built meters and files in electronic format to the City of Pella prior to acceptance of the public improvements
- 11 Public sidewalk access will need to be maintained through construction by temporary sidewalks or approve signed detour routes
- 12 Roadway and sidewalk pavements damaged by construction operations will need to be replaced per City standard to the nearest joint line

**Sanitary sewer typical notes**

- 1 All 8" sanitary sewer shall be pvc truss pipe with class "B" bedding unless otherwise noted on the drawings
- 2 The contractor shall install sewer slope at the end of each sanitary sewer service
- 3 All inverts located at an elevation above the center line of the existing through pipe and less than 2' above the manhole floor shall have a poured-in-place sloped invert
- 4 All manholes within pavement shall have type "B" adjustable castings and internal chimney seals. All manholes not within pavement shall have type "A" non-adjustable castings and external chimney seals
- 5 All 4" and 6" sanitary sewer services shall be SDR 35.5 in accordance with Urban Standard Specifications. All services shall be extended 10' inside lot lines unless otherwise noted on plans
- 6 Manhole steps are required in all sanitary sewer manholes
- 7 Manhole covers shall have raised diamond roughness pattern
- 8 The contractor shall televise every sanitary sewer line and provide a copy of the video tape and file in WindCam format to Pella Public Works. Using a 500 gallon tank and garden hose, the contractor shall gravely flow water down the pipe during televising so dips and sags can be identified. The City shall notify the contractor of any necessary cleaning and/or repairs. The contractor shall jet clean and vacuum any section of pipe from manhole to manhole, with mud or debris more than 1" deep, along with any downstream segments as required due to this construction. These segments shall then be re-televised to demonstrate pipes are clean. If repairs, if necessary, and televising shall be of the contractor's expense
- 9 Special sanitary sewer connections shall be made with 441 style watermain clamp
- 10 Provide shop drawings for manhole inverts for approval by City prior to ordering or installing manholes

**Storm sewer notes**

- 1 All intake castings shall have Phase 2 environmental symbology or text
- 2 Additional rip-rap may be required at the SES based upon field review by City of Pella
- 3 Provide subdrain behind back of curb on public streets as required based on subgrade moisture conditions. Connect subdrain to storm sewer intake using RCP pipe beneath pavement
- 4 All intakes shall have vane gates
- 5 8-inch footing drains to be PVC, SDR 35
- 6 Footing drain services to be 4-inch PVC, SDR 35. Extend services 10' inside lot unless otherwise noted
- 7 All intakes shall be located a minimum of 7.5 feet from end of returns
- 8 The contractor shall provide a minimum of 3'-6" cover on all storm sewer, including sump services
- 9 All intakes shall be poured-in-place concrete structures

**Water main typical notes**

- 1 Pipe materials shall be MWMA C900 class 150 PVC
- 2 Install No. 10 thin strand copper tracer wire under pipe, bring tracer wire to surface at hydrant with receptacle box
- 3 Connect new tracer to existing using approved splice kit and provide a ground rod at end of tracer wire for location and extension in future. The City will test the tracer wire prior to acceptance of plot and repairs, if any, shall be at the contractor's expense
- 4 Hydrants shall be set 3'-6" feet from the water main
- 5 Hydrants, manhole covers and valve boxes shall be set to conform to finished pavement elevations
- 6 Hydrants to be Mueller or Clow fire hydrants, painted yellow
- 7 Services to be 1/2-inch copper
- 8 Stop boxes for 1" through 2" water service lines shall include a stainless steel self-centering rod with stainless steel cotter pin within the a stop box housing with an 1' extendible upper section and lid with 1" pentagon plug. All stop box installations shall be completed in such a manner that the lid is allow to raise with the frost and lower if driven over with out damage to curb valve. Finish grade of the lid shall be level with the surrounding surface and does not present a hazard to the public
- 9 Water main to have 3' feet bury, typical except at critical crossings
- 10 All valves shall have a valve box adapter installed to maintain alignment
- 11 The contractor shall remove chains on all hydrants
- 12 The contractor shall work with the City of Pella Water Department when operating existing valves. Water shall not be turned on without prior approval of the City of Pella
- 13 Water can not be used by the contractor unless it is part of the purification process of the new main. Water needed for any reason after bacteria testing has been completed and passed will need prior approval from the City of Pella
- 14 Provide 2" blow-off at the terminal end of the 8" water line



EXISTING UTILITIES NOTE  
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES SHOWN OR NOT SHOWN ARE NOT DAMAGED DURING CONSTRUCTION. (SEE ORIGINAL 11-80-20-000)

DISCLAIMER  
 THIS DRAWING IS BEING MADE AVAILABLE BY ALEO ENGINEERING COMPANY (A LEO E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A LEO E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A LEO E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONFIDENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS FOR ANY PART THEREOF EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND		STANDARD SYMBOLS		MORE OR LESS		P.C.C.		PORTLAND CEMENT CONCRETE	
+	IRON ROD OR PIPE FOUND	+	FENCE LINE	+	FIRE HYDRANT	+	UTILITY LINE OR PIPE	+	UTILITY LINE OR PIPE
o	CALCULATED CORNER	o	SANITARY SEWER MANHOLE	o	SANITARY SEWER MANHOLE	o	WATER	o	GAS
Δ	SECT. COR. MONUMENT FOUND	Δ	STORM SEWER MANHOLE	Δ	VALVE	Δ	UNDERGROUND ELEC./TEL.	Δ	STORM SEWER
Δ	SECT. COR. MONUMENT CALC.	Δ	VALVE	Δ	SPOT ELEVATION (● X)	Δ	OVERHEAD ELEC./TEL.	Δ	STORM SEWER
β	POWER POLE	β	NOT TO SCALE	β	H.M.A.	β	CABLE TELEVISION	β	CABLE TELEVISION
≡	LIGHT POLE	≡	H.M.A.	≡	H.M.A.	≡	H.M.A.	≡	H.M.A.
≡	FINISHED FLOOR	≡	H.M.A.	≡	H.M.A.	≡	H.M.A.	≡	H.M.A.

**Casey's General Stores**  
 505-513 Main Street & 705 Union Street  
 Pella, Iowa

<small>Standard Plan No. 15-067 of Item 1 Item                  (Revised 10/26/2015)</small>		NTS	02-15-2016	15-067
<small>10/26/2015</small>		NTS	02-15-2016	15-067
<small>10/26/2015</small>		NTS	02-15-2016	15-067

**Typical Notes**

Petition No.

160916

Name: Entered into the Record—Concerning Casey's

Date: September 20, 2016

Comment: Casey's

Medical News &amp; Perspectives

# Call to Action on Neurotoxin Exposure in Pregnant Women and Children

Jennifer Abbasi

Calling an alarming increase in childhood neurodevelopmental disorders such as autism and attention-deficit/hyperactivity disorder (ADHD), a group of scientists, health professionals, and children's health advocates is calling for increased monitoring, assessment, and reduction of neurotoxic chemicals. The Targeting Environmental Neuro-Developmental Risks (TENDR) Consensus Statement, published in July in *Environmental Health Perspectives*, is "a call to action to reduce exposures to toxic chemicals that can contribute to the prevalence of neurodevelopmental disabilities in America's children."

After reviewing evidence for brain and nervous system effects of more than 10 different chemical groups from studies of early life exposures and child development, the group—dubbed Project TENDR—called out "prime examples" of neurotoxic chemicals in its statement. The examples went beyond the usual suspects lead, mercury, and polychlorinated biphenyls (PCBs) to also include organophosphate pesticides, polybrominated diphenyl ether (PBDE) flame retardants, and combustion-related air pollutants.

These chemicals were singled out for strong evidence of neurotoxicity in humans,

along with widespread exposure and the feasibility of exposure reduction. But Irva Hertz-Picciotto, PhD, director of the University of California-Davis Environmental Health Sciences Center and Project TENDR codirector, emphasized that "these exemplar chemicals should not be misconstrued as the totality of the problem."

The group agreed that emerging research on other chemicals, particularly endocrine-disrupting ones such as phthalates, also raises serious safety concerns. Hertz-Picciotto also pointed out that thousands of chemicals have not yet been tested for long-term effects on brain function resulting from prenatal and early childhood exposures.

"There has been an explosion of knowledge in the past decade showing that quite a long list of commonly used chemicals are capable of causing neurodevelopmental damage to children, especially if the exposure occurs in utero during the 9 months of pregnancy or in the first few years after birth," said Philip J. Landrigan, MD, dean for Global Health at Icahn School of Medicine at Mount Sinai in New York and one of 47 coauthors on the consensus statement. Nine health organizations including the American College of

Obstetricians and Gynecologists and the Endocrine Society also endorsed or supported the statement.

## Evidence Mounts

According to current estimates from the Centers for Disease Control and Prevention, 1 in 10 US children has ADHD, while 1 in 68 has autism spectrum disorder (ASD). Intellectual disabilities, which are harder to measure, also appear to be on the rise, according to Linda S. Birnbaum, PhD, director of the National Institute of Environmental Health Sciences and the National Toxicology Program at the National Institutes of Health.

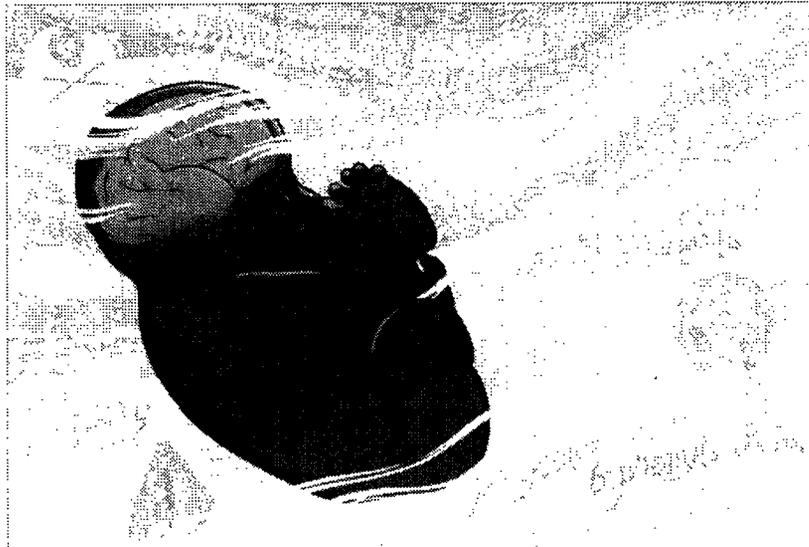
Factors like improved awareness and broadening of diagnostic criteria to include milder cases don't fully account for the increase in these conditions, Hertz-Picciotto said. A 2015 study in *JAMA Pediatrics* found that changes in diagnostic criteria and the inclusion of outpatient data accounted for only 60% of the increase in the observed prevalence of ASDs in Danish children born between 1980 and 1991, for example.

Although chemical exposures are only 1 component contributing to the increase in neurodevelopmental disorders, they are a factor that can be reduced, the TENDR coauthors said.

Many of the associations occur with prenatal exposures, when the brain is developing at an incredibly rapid rate, Hertz-Picciotto explained. "Neurons are being formed at a rate of 250 000 per minute on average over the course of a pregnancy—and that's a lot of opportunity for things to go awry," she said.

The results can be devastating if a toxic chemical gets into the developing brain at those vulnerable early stages, Landrigan said: "There could be loss of IQ, shortening of attention span, disruption of behavior—and those are effects that tend to last life long."

Landrigan has coauthored 2 systematic reviews in *Lancet* and *Lancet Neurology* that together identified 11 industrial



chemicals as developmental neurotoxins in humans. The links between chemicals and disorders in children have been established mainly through a combination of toxicological studies in rats and mice and prospective epidemiological studies in humans, he explained.

Although randomized controlled trials aren't possible in humans due to ethical concerns, causation is strongly suggested by animal research. "In almost all cases there's animal data that provides biological plausibility to what we're seeing in people," said Birnbaum, a coauthor on the consensus statement.

### Protecting the Vulnerable

One goal of Project TENDR is to break the industry habit of replacing a proven toxic chemical with a similar untested agent that may be as bad or worse—a strategy known as "regrettable substitution." The group asserts that regulators must also take into account the cumulative effects of exposures to multiple toxic chemicals and the fact that many chemicals have no established "safe" cutoff for exposure.

Because banning each potentially toxic substance altogether will likely be unrealistic, keeping levels under a certain limit could be an important piece to the regulatory

puzzle. For example, the group is calling for a target maximum blood lead level for children of 1 µg per deciliter.

Perhaps most importantly, the burden of proof for environmental chemical safety should be shifted to more closely resemble how drugs are assessed: "Safety has to be proven first," Hertz-Picciotto said.

A step in the right direction came in June, when Congress passed an amendment to the Toxic Substances Control Act that for the first time includes provisions to protect the health of children and pregnant women. "Now, EPA [Environmental Protection Agency] needs to be given the funds... to enforce that law," Landrigan said.

Toxicology testing must also evolve. With thousands of untested chemicals being pumped into the environment, "We've got to move to test faster, cheaper, smarter," Birnbaum said.

A movement toward contemporary approaches—such as high-throughput screening across multiple assays and testing in human cell cultures, human organoids, and vertebrate models in short-lifecycle species such as zebra fish—will accelerate research, she said. Studies should also routinely look for functional changes to behavior and cognition, not just birth defects, she added.

Project TENDR working groups are drafting recommendations for government agencies, lawmakers, manufacturers, retailers, health professionals, and consumers. The group is also working to increase physician awareness by incorporating questions about environmental chemicals on medical board examinations.

In the meantime, Birnbaum said physicians can ask questions about their patients' exposures and help mitigate them. Pregnant women can be instructed to follow fish advisories for mercury, for example, and farmworkers who are exposed to pesticides can be encouraged to change clothes before coming home. Because neurodevelopmental disorders tend to be multifactorial, reducing a single exposure can make a difference in disease development or severity, Hertz-Picciotto said.

Birnbaum acknowledged that stronger policy—something physicians can advocate for—will have a larger public health impact than individual behavioral changes.

"The fact that physicians in particular have been largely silent about this issue has created the sense that it's not real, and I think they can help shed light on the key importance of this," Hertz-Picciotto said. ■

**Note:** The print version excludes source references. Please go online to [jama.com](http://jama.com).



**CASEY'S GENERAL STORES, INC.**

P.O. Box 3001 • One SE Convenience Blvd • Ankeny, Iowa • 50021 • 515-965-6100

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Sender's Direct-Dial Telephone Number: 515.965-6543  
E-mail Address: leanne.krell@caseys.com  
Fax Number: 515.965.6160

September 20, 2016

Pella City Council  
City of Pella  
825 Broadway St.  
Pella, IA 50219

**RE: Casey's Proposed Site at Main Street/Union Street**

Council Members:

Casey's has received and reviewed a copy of the "FIRST DRAFT" of the report entitled, "Casey's Proposed for Pella, Iowa; An Analysis of Potential Quality of Life Impacts,<sup>1</sup>" prepared by Community & Environmental Defense Services (hereinafter "CEDS") on behalf of "Citizens Concerned for Pella's Future<sup>2</sup>" (hereinafter CCPF). Casey's objects to the receipt of the report into the record of the Pella City Council because the document notes it is merely in draft format and the document is unsigned. Additionally, the submission is not timely. It should have been made a part of the Public Hearing held on September 6, or at a minimum, the citizens holding themselves out as CCPF should have requested permission to submit the report for consideration by the Council once the initial report was received.

Notwithstanding its objections to the draft document, Casey's offers the following responses to the below-referenced claims it contains:

1. **CLAIM:** "It is important to note that the California Air Resources Board publication *Air Quality and Land Use Handbook: A Community Health Perspective*, recommends a minimum 300-foot separation distance between gas stations and 'sensitive land uses such as residences, schools, daycare centers, playgrounds, or medical facilities.'"

**RESPONSE:** The document cited for the above-noted claim is *Air Quality and Land Use Handbook: A Community Health Perspective*, California Environmental Protection Agency/California Air Resources Board, April 2005, *available at*

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<sup>1</sup> Casey's notes this document is labeled as "First Draft" and is unsigned.

<sup>2</sup> Casey's notes a search of the Iowa Secretary of State's website reveals no legally organized entities bearing the name "Citizens Concerned for Pella's Future."

<https://www.arb.ca.gov/ch/handbook.pdf> (hereinafter “Air Quality and Land Use Handbook”). The claim above is misleading, as the full text of the recommendation is as follows:

Gasoline Dispensing Facilities: Avoid siting new sensitive land uses within 300 feet of a large gas station (**defined as a facility with a throughput of 3.6 million gallons per year or greater**). **A 50 foot separation is recommended for typical gas dispensing facilities.**

*Air Quality and Land Use Handbook* at p. 4, Table 1-1 (emphasis and underlining added) (attached as Exhibit “A”). The presentation of this information inaccurately implies that the proposed store is a “large gas station” subject to this recommendation. The proposed store is not anticipated to dispense anywhere near that amount of fuel in a year. The average Casey’s station generally dispenses approximately 1 million gallons in a year. Even if all sales of the three stores slated for closure were combined, the total would not come close to the threshold to be considered a “large gas station” subject to California’s recommended 300 foot separation. Rather, because the proposed store will fall significantly below 3.6 million gallons of throughput per year, under the recommendations of the cited source, a 50 foot separation would be recommended. However, under Iowa Administrative Code Section 661-221.3(1)c-3403.6.14, the State Fire Marshall requires, and Casey’s has adhered to in its site plan, a 100 foot separation between the dispensers and the nearest residential dwellings. This represents a distance double that recommended by the cited source.<sup>3</sup>

It is important to note the graph included in Figure 1-6 of the draft document referencing cancer risk is again created in reference to a store with a minimum of 3.6 million gallons per year of throughput, a figure wholly inappropriate to apply to the proposed store.

2. **CLAIM:** “[T]he U.S. Environmental Protection Agency echoed the concerns about the health risk associated with fueling emissions in their *School Siting Guidelines*.”

**RESPONSE:** The document cited for the above-noted claim is *School Siting Guidelines*, EPA Office of Children’s Health Protection, October 2011, *available at [www.epa.gov/sites/production/files/2015-06/documents/school\\_siting\\_guidelines-2.pdf](http://www.epa.gov/sites/production/files/2015-06/documents/school_siting_guidelines-2.pdf)*. The claim above is again misleading, as the chart suggesting a 1,000 foot separation actually states the following:

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<sup>3</sup> The draft document suggests, “Three homes are located a mere 50 feet from the Casey’s proposed for Main and Union Streets in Pella. Another seven homes are within 150 feet.” These claims are misleading. As depicted on the site plan, no residential structure falls within the 100 foot separation required from any dispenser to the nearest residential structure.

Feature/Land Use	Description	Potential Hazard(s)	Recommendations		Additional Information <sup>2</sup>
			Screening Perimeter	Evaluation	
Gas stations and other fuel dispensing facilities	Large gas station dispense more than 3.6 million gallons per year.	<ul style="list-style-type: none"> <li>• Air pollution</li> <li>• Soil contamination</li> <li>• Ground water contamination</li> <li>• Vapor intrusion into structures</li> <li>• Heavy vehicular traffic</li> </ul>	<ul style="list-style-type: none"> <li>• Identify and evaluate gas stations and other fuel dispensing facilities within ~1,000 feet of prospective school locations</li> <li>• Applies to both onsite as well as adjacent or nearby locations</li> </ul>	<ul style="list-style-type: none"> <li>• Evaluate on a case- and site-specific basis. See Exhibit B for potential variables and mitigation options.</li> <li>• Consult with state, tribal and local authorities for applicable requirements.</li> <li>• Evaluate for spills, leaking underground storage tanks, potential air emissions.</li> </ul>	<ul style="list-style-type: none"> <li>• Air Pollution</li> <li>• Risk Assessment</li> <li>• Maps and Mapping</li> <li>• Underground Storage Tanks</li> <li>• Vapor Intrusion (VOCs)</li> </ul>

*School Siting Guidelines*, at p. 59 (attached as Exhibit “B”). As is clear from the chart, the 1000 foot screening only comes into play for “large gas station[s] dispense[ing] more than 3.6 million gallons per year.” The language of the draft document improperly implies this designation and the accompanying recommendations are appropriate for the proposed store when they are not, for the reasons outlined in Response 1.

3. **CLAIM:** The draft document suggests the Site Plan does not conform to the requirements of the *Pella Comprehensive Plan*.

**RESPONSE:** The Site Plan was reviewed by the Planning and Zoning Commission, found consistent with the *Pella Comprehensive Plan*, and was conditionally approved. The Site Plan is, therefore, not being considered by the City Council and has already been adjudged as consistent with the by the City of Pella

4. **CLAIM:** “Commercial uses in general can lower the value of nearby residential properties . . . Convenience stores and gas stations can lower the value of nearby residential properties due to the perceptions held by prospective home buyers. These perceptions may include concerns such as health risks, increased crime, and late-night noise.”

**RESPONSE:** The area in question has been zoned as CUC (Commercial Mixed Use) since 2001. Additionally, numerous commercial uses exist directly across the street from the properties in question. Additionally, the draft document offers no evidence of local trends related to this issue.

In contrast, Casey’s has previously submitted, and again attached as Exhibit C, a letter dated February 18, 2016, from James E. Hughes, a highly-experienced, Iowa-based real estate broker that spoke to this specific issue. In his letter, Mr. Hughes communicated his “firm belief,” *based on more than thirty-five years of experience in Iowa real estate*, that “commercial properties do not devalue adjoining residential properties.” Rather, Mr. Hughes noted, “adjoining property owners will benefit from a commercial property next door with residential homes selling at very high prices.”

Mr. Hughes did not limit his opinion to residential homes that were zoned commercial, however, the draft document suggests he does. Further, the draft document suggests that the “homes most affected by the proposed convenience store-gas station are zoned residential.” It is important to note that the home owned by the Hamans, and often referred to by community members as the home most-impacted by the proposed store, is zoned CUC (Mixed Use Commercial).

On one hand, the draft document raises concerns about decreased home values, and then immediately thereafter it goes on to state, property taxes could burden nearby property owners “if nearby commercial development causes an increase in assessed value.” It is disingenuous for the draft document and its authors to argue property values will both decrease and increase as a result of the proposed store.

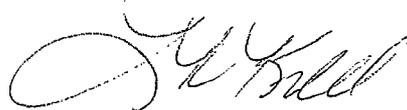
5. **CLAIM:** The emissions from the proposed store constitute a public health concern.

**RESPONSE:** The proposed store is in compliance with or exceeds the requirements of every state and federal emissions regulation. Phase 1 vapor recovery is now required in Iowa for certain retailers. Although Casey’s does not always fall under the parameters that require installation, Casey’s routinely installs Phase 1 vapor recovery at *all new locations*. An overview of Stage I Vapor Recovery in Iowa is available from Petroleum Marketers Management Insurance Company at the following link: [http://www.pmmic.com/documents/resources/Stage\\_I\\_Vapor\\_Recovery\\_in\\_Iowa\\_CCB6\\_3414DC641.pdf](http://www.pmmic.com/documents/resources/Stage_I_Vapor_Recovery_in_Iowa_CCB6_3414DC641.pdf). As a result of the Stage I Vapor Recovery system in place, there should be no emission of vapor, or odor, when the underground storage tanks are being filled.

For approximately the last decade, motor vehicles have been produced with an onboard refueling vapor recovery system (“ORVR”). An ORVR is a vehicle fuel vapor emission control system that captures volatile organic compounds (VOC, potentially harmful vapors) during refueling. An ORVR is able to retain those emissions, delivering them to the vehicle’s carbon-filled canister and then to dispose of those vapors by adding them to the engine intake manifold and the stream of fuel supplying the engine, during normal operation. As a result of the ORVR, no vapors are released into the atmosphere during vehicle refueling.

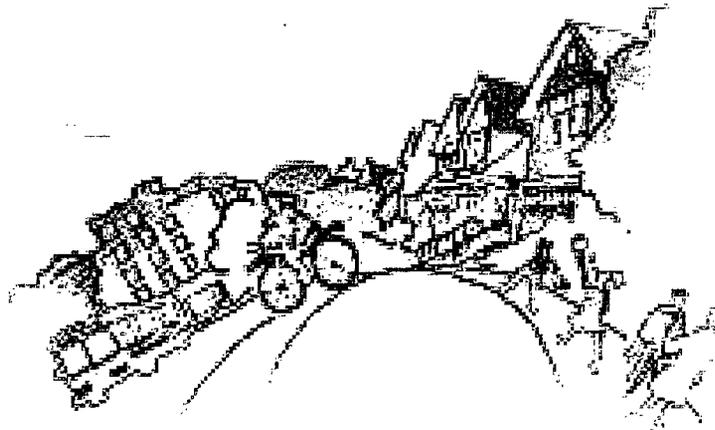
Should the Council or any members of City Staff have any questions as to applicable state or federal regulations or Casey’s adherence to the same, Casey’s is happy to address them at any time.

Sincerely,



LeAnne K. Krell  
Assistant General Counsel

# AIR QUALITY AND LAND USE HANDBOOK: A COMMUNITY HEALTH PERSPECTIVE



**April 2005**

California Environmental Protection Agency  
California Air Resources Board



**Table 1-1**

**Recommendations on Siting New Sensitive Land Uses  
Such As Residences, Schools, Daycare Centers, Playgrounds, or Medical  
Facilities\***

Source Category	Advisory Recommendations
Freeways and High-Traffic Roads	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.</li> </ul>
Distribution Centers	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating transport refrigeration units (TRUs) per day, or where TRU unit operations exceed 300 hours per week).</li> <li>• Take into account the configuration of existing distribution centers and avoid locating residences and other new sensitive land uses near entry and exit points.</li> </ul>
Rail Yards	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a major service and maintenance rail yard.</li> <li>• Within one mile of a rail yard, consider possible siting limitations and mitigation approaches.</li> </ul>
Ports	<ul style="list-style-type: none"> <li>• Avoid siting of new sensitive land uses immediately downwind of ports in the most heavily impacted zones. Consult local air districts or the ARB on the status of pending analyses of health risks.</li> </ul>
Refineries	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses immediately downwind of petroleum refineries. Consult with local air districts and other local agencies to determine an appropriate separation.</li> </ul>
Chrome Platers	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a chrome plater.</li> </ul>
Dry Cleaners Using Perchloro-ethylene	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 300 feet of any dry cleaning operation. For operations with two or more machines, provide 500 feet. For operations with 3 or more machines, consult with the local air district.</li> <li>• Do not site new sensitive land uses in the same building with perc dry cleaning operations.</li> </ul>
Gasoline Dispensing Facilities	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 300 feet of a large gas station (defined as a facility with a throughput of 3.6 million gallons per year or greater). A 50 foot separation is recommended for typical gas dispensing facilities.</li> </ul>

**\*Notes:**

- These recommendations are advisory. Land use agencies have to balance other considerations, including housing and transportation needs, economic development priorities, and other quality of life issues.



EDPA  
EPA

**Exhibit 6: Screening Potential Environmental, Public Health and Safety Hazards**

**IMPORTANT:** This table is intended to assist with the initial screening of candidate locations but is NOT a substitute for case- and site-specific evaluation of potential risks and hazards. It is intended to be used in conjunction with the example Environmental Review Process (see Section 5) and Evaluating Impacts of Nearby Sources of Air Pollution (see Section 6). For more information on typical environmental hazards that may be encountered during the school siting process, see the Quick Guide to Environmental Issues in Section 8). Existing applicable federal, state, tribal or local statutes, ordinances, codes or regulations take precedence over the recommendations contained in this table. Users should check with state, tribal and local authorities for applicable requirements or other recommendations.

Feature/Land Use	Description	Potential Hazard(s)	Recommendations		Additional Information <sup>51</sup>
			Screening Perimeter	Evaluation	
Onsite buildings or structures (including all leased space)	<ul style="list-style-type: none"> <li>• All onsite or adjacent buildings/structures slated for reuse, renovation or demolition.</li> </ul>	<ul style="list-style-type: none"> <li>• Legacy contaminants in existing structures including lead and other heavy metals, asbestos, PCBs, vapor intrusion/(VOCs), mold, radon, pesticides, pests</li> <li>• For existing school buildings, chemicals from laboratory, art, shop, drama, maintenance, cleaning, grounds</li> <li>• Structure may not meet current building codes (e.g., for seismic activity)</li> </ul>	<ul style="list-style-type: none"> <li>• All onsite structures slated for demolition, reuse or renovation</li> </ul>	<ul style="list-style-type: none"> <li>• Evaluate for the presence of hazardous materials or conditions. Age, location, condition and type of structure, and the history of use are critical factors to consider in assessing potential risks. Identify all potential hazards and remediate as appropriate.</li> </ul>	<ul style="list-style-type: none"> <li>• Lead</li> <li>• Heavy Metals</li> <li>• Asbestos</li> <li>• PCBs</li> <li>• Vapor Intrusion/(VOCs)</li> <li>• Mold</li> <li>• Radon</li> <li>• Mercury</li> <li>• Pesticides</li> <li>• Air Pollution</li> <li>• Risk Assessment</li> </ul>

<sup>51</sup> See the Resources page of the guidelines website for links related to the topics listed under the 'Additional Information.' ([www.epa.gov/schools/siting/resources](http://www.epa.gov/schools/siting/resources))

# James E. Hughes

(319) 440-6649  
hughesre@indytel.com

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Broker Associate  
RE/MAX Independence Realty

February 18, 2016

Ms. Leanne Krell  
Casey's General Stores, Inc.  
One Convenience Blvd.  
P.O. Box 3001  
Ankeny, IA 50021-0030

Dear Ms. Krell:

Using my thirty-five plus years of real estate sales experience, I have expressed my opinion below on whether or not commercial property devalues residential property next door or in the immediate area.

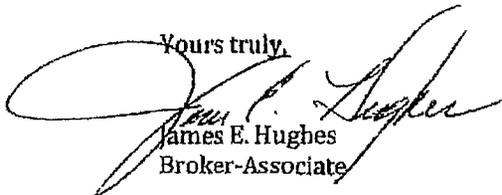
It is a known fact, even though it sounds unfair, commercial buyers customarily, and in a very large percentage of times, pay more for a property than a traditional home buyer. Most commercial buyers are interested in location, location, location and are willing to pay more for a desirable piece of ground. I have seen it hundreds of times where a \$100,000 home is assessed by the county at \$80,000 and a commercial buyer pays \$150,000 for it.

Residential properties located near commercial property will benefit simply because most commercial outlets attract each other. If it is good for me, then it will be very good for others. Consequently, adjoining property owners will benefit from a commercial property next door with residential homes selling at very high prices and bare ground selling at three to four times its value.

The residential properties that benefit the most are the older homes. There is limited demand for the older homes in residential markets, but sell exceptionally well to commercial buyers.

I firmly believe, after all my years in real estate sales, commercial properties do not devalue adjoining residential properties.

Yours truly,



James E. Hughes  
Broker-Associate

# James E. Hughes

(319) 440-6649  
hughesre@indytel.com

Broker Associate  
RE/MAX Independence Realty

## **JAMES E. HUGHES**

Real Estate Broker-Associate

### *EXPERIENCE*

Jim was born and raised in Independence and has practiced real estate in the Independence area since 1978 including ownership and management of numerous properties.

### *CERTIFICATIONS*

Real Estate Salespersons License, State of Iowa  
1978-1985

Real Estate Broker License, State of Iowa  
1985 to Present

2011, 2012 RE/MAX 100% Club Award Winner

2007, 2008 IAR Silver Achievement Award Winner

2002, 2003, 2004, 2005 IAR Diamond  
Achievement Award Winner

1994, 1995, 1996, 1997, 1998, 2000, 2001, 2006  
IAR Gold Achievement Award Winner

1999 IAR Platinum Achievement Award Winner

Former Member National Association of Master  
Appraisers

### *PROFESSIONAL AFFILIATIONS*

1983-2010 Owner & Broker of Hughes Real Estate

2001-2009 Chairman, State of Iowa Real Estate  
Commission

Backbone Board of Realtors

1998, 1999 President, Backbone Board of Realtors

Iowa Association of Realtors

National Association of Realtors

Independence Industrial Development Board

Northeast Iowa Multiple Listing Service

Waterloo-Cedar Falls Board of Realtors MLS

### *RELATED COMMUNITY ACTIVITIES*

Member of the Independence Area Chamber of  
Commerce

1999 Inducted into the Independence Area  
Chamber of Commerce Hall of Fame

1998 Inducted into the Independence Bowling  
Association Hall of Fame

1994, 1984 President of the Independence Area  
Chamber of Commerce

1985 Independence Citizen of the Year

Former Veterans Administration Property Manager

Former Member of the Independence Ambassadors

Former Member of the Independence City Council

Former Member of the Independence Rotary Club

Chairman of the Buchanan County Compensation  
Board

Former Member of the Buchanan County  
Substance Abuse Agency Board

Former Member of the Independence Schools  
Blue Ribbon Task Force

Past President of the Independence Parks and  
Recreation Department

Former 15 year Member of the Independence Fire  
Department

Former Board Member of the Wapsipinicon Golf  
Club

Former Board Member of Malone Creek Estate

Lifetime Member of VFW Post 2440

Member of American Legion Post 0009



September 19<sup>th</sup>, 2016

Dear City Council members,

I continue to write to you intent on persuading you to vote down the current request to allow a Casey's at the intersection of Main and Union. I appreciate all the work that the City Council does and especially your assurances at the last city council meeting that threats of lawsuit were not influencing your decisions. In the PNZ meeting, I attended, I got the impression that it did affect them, which is my recent letter reflected that notion.

I would also like to correct my previous letter, where I identified the two intersections most likely to experience storm drain backups. I meant the intersections of Main and Union as well as Main and Independence.

On September 9<sup>th</sup>, Central College hosted its annual Chair's Conference. The keynote speakers were Dr. Andrew Green, Dr. Shawn Wick and Dr. Brian Peterson. They had been asked by the Pella Area Development Commission to look into what factors are vital for ensuring a healthy and economically vibrant future for Pella. PADCO has been working with these professors for the last two years, engaging in demographic and economic studies. They studied 372 communities similar in size to Pella and at our conference, they shared some of their results.

There was a lot of data, and a number of surveys, but here's what stuck with me. Among the top four reasons that threaten an economically vibrant future for Pella, were the lack of affordable housing and the increasing number of young professionals moving out of Pella. Phase 3 of the research project will look, among other things, whether and how much those two factors are interrelated.

I was fascinated by this presentation, since it seemed to encapsulate everything that has been brought up to the City Council with regard to the debate regarding Casey's proposals. I am fascinated by the concept that an independent, data driven assessment ended up coming to the same conclusion that the comprehensive plan had laid out and a number of residents have been arguing in front of city council for the last few months. Affordable housing is necessary for an economically vibrant Pella now and to ensure its future.

Which brings me back to the question of the current Casey's proposal. It seems that the City Council is locked into thinking this discussion is about Casey's in this form or another. We are arguing that regardless of the form of Casey's, this is the wrong location. We are a community that is dependent on tourism, a community that prides itself in a "small town sense of community that creates a great place to live" with a focus on a walkable, community friendly downtown.

I agree that Casey's has issues. They opted to own 5 gas stations in Pella, some which they acquired, others which they constructed. I understand that it is in their best business interest to consolidate their stores, since it was a bad business decision to maintain so many open stations so close to each other. I just wonder why attempting to rectify Casey's original bad business decision needs be done via a bad development decision for the City of Pella.

To be clear – I have no problems with Casey's as a business establishment. I have a car with 321,000 miles on it, so I obviously like driving. But here's the reality: no one is forcing Casey's to maintain 5 stores within Pella. They could close the two downtown stores, and guess what: the closest gas station for the majority of Pella residents will continue to be a Casey's, so opting to close the two downtown stores does not lose them business. I understand that Casey's does not want to build their super-Casey's at the Oskaloosa street location – it's too close to their Clarke Street location. Again, though, I fail to see how Casey's geographical mismanagement of their stores means that we need to compromise our community values. There are myriad of other properties that a similar site plan could be developed for Casey – outside of the direct downtown area, but Casey's seems unwilling to explore them without prompting.

As City Council members, your job is to represent the City of Pella and its best interests. Interests that are clearly delineated in our comprehensive plan and in the PADCO study. Our best interests are served by protecting the heritage corridor.

At the last community meeting, the question was raised how residents could argue safety was an issue for the proposed site, but ignore the safety risks posed by the existing stores. One is the scale of the proposed site. Another is the location of the proposed site – so close to the public library, the community center, the ice cream store, El Charro and the bar. These are all high traffic walking attractions. The other stores are not amidst so many high traffic walking. Nor do the existing stores attract as much traffic, by virtue of being smaller. And again, realistically speaking, Casey's can close those stores to improve their bottom line without hurting their business. The fact that they are making the closing contingent upon Pella capitulating is a little insulting. This is a problem of their own making and they are asking us to sacrifice our community, our comprehensive plan, and it turns out, according to the PADCO study, our future as an economically vibrant and thriving city.

The question was also raised why we did not object to the current stores as eyesores in the downtown. The downtown square would certainly be enhanced without those stores, but given that they are smaller stores, they at least blend in better than the oversized Casey's will. It will be hard to overlook 50,000 + square feet. Scale matters. Any urban planner learns that in their first semester.

I ask you as elected representatives of the citizens of Pella to recognize the value of our downtown. I ask you to consider the long term future of our city. The City Council, as our elected official, should recognize that this location is inappropriate and vote this site plan down and counsel Casey's to a more appropriate location further away from downtown.

The current zoning laws appear to open a loophole for Casey's with their argument of being seen as "primarily a food convenience store". That speaks more to our need to update our zoning definitions, as well as strengthen our protections for the heritage corridor, than testing our ability to play word games of what "primarily" means. PADCO's study reveals a clearer path for our future. Casey's offers us the opportunity to become just like every other town with a "strip-mall" downtown.

All the students I have talked to are aghast at the thought: *"People want to come to Pella to see the history behind the buildings, not be distracted by a huge Casey's in the middle of it."* Central College is a tuition driven university, and Pella has been a wonderful community to be at home in. I feel that way and so do our students. Let's not throw away Pella's past and Pella's future with this vote.

Sincerely,

Anya Butt  
507 Lincoln St

Petition No.

160906

Name: Entered into the Record—Citizens Regarding Casey's

Date: September 6, 2016

Comment: Casey's

September 6, 2016

~~Are you ready~~

I appreciate the difficulty of your decision and I know you must be tired of hearing many of the same issues again and again. Unfortunately, I may be bringing up some of those same issues again. I also believe the threat of a lawsuit hanging over your heads, really over all of our heads, causes even more stress in making this decision. As a concerned group of citizens, we hired a consultant from Community & Environmental Defense Services. They have helped many communities in Iowa, such as Waterloo, deal with issues such as this. I would like to summarize some of their findings for you and hopefully lessen Casey's threats and make it easier to do what is right for our community rather than accommodate the wishes of a bully.

Mr. Klein, from CEDS, looked at the impacts to the city of Pella and its citizens of a convenience store in this location.

- 1) Release of emissions during vehicle fueling that pose a threat to the health of area residents. Maybe this could be compared to 2<sup>nd</sup> hand smoke.
- 2) Placing an incompatible use in a residential area
- 3) Lowering the value of nearby homes
- 4) Degrading the integrity of an area under consideration for historic designation - in fact I just received a letter from Sara Andre stating that we are close to finalizing this and thus residents would be eligible for tax credits now.
- 5) Causing blighting should the proposed store/gas station eventually close then deteriorate over time before development occurs.
- 6) Losing a site along the business corridor that could be developed with a use that better enhanced the economic core of Pella. I believe this is called a lost opportunity cost.

As councilmen, you are representatives of the citizens. Your job is to look out for the needs of the community. This duty is spelled out quite clearly in the city code 165.03 which lists the purposes of our zoning codes.

The first impact, threat to health, conflicts with Table 1.4 of the Comprehensive Plan which states that residential areas "should be insulated from adverse environmental effects including, noise, smell, air pollution, and light pollution." Traditionally, I think of insulation as a barrier that stops the transfer of cold air to warm air or vice versa in a structure. The small barrier Casey's proposes would not keep out noise, smell, air pollution or light pollution. Section 165.14.3.B of the City of Pella Zoning Ordinance requires conformance with the Comprehensive Plan to approve a PUD. The threat to public health posed by gas station emissions also conflicts with the following purposes set forth in 165.03 of the City of Pella Zoning Ordinance.

- 1) Serve the public health, safety and general welfare of the city and its jurisdiction.
- 4) Encourage compatibility of adjacent land uses
- 5) Protect environmentally sensitive areas
- 6) Further the objectives of the Comprehensive Development Plan

Johns Hopkins found that on average 40 gallons of gasoline a year are spilled at the pumps of a typical gas station. Gasoline can penetrate the concrete pads at fueling positions. This is an issue if even a small percentage reaches the soil. For most, this is just an issue of contaminated soil, which leads to a depreciation in property values. For Pella, the water table is very high in this area which could lead to soil contamination in much greater distances. The health risk is due to benzene which is a known carcinogen.

With reference to property value, we heard from Ms. Krell that property value actually increases next to a gas station. She sent a report to the city from Mr. Hughes to support this claim. His opinion is supported by an Atlanta, Ga study of the effects of commercial property on residential property. That study documented initial negative effects but then said there is an increase in value over the long term. The increase comes in to play if the homes are sold for commercial development. I don't see any future plans for most of the homes affected by this to be rezoned commercial. This study also does not specify what is located on the commercial property other than "retail." I tend to think that a convenience store is not what this study was discussing. A study that more specifically talks about residential property values associated with a convenience store is a 2006 study in King County Washington which noted a negative effect when residential property was located within 250' of commercial uses. Convenience stores and gas stations can lower property value of nearby residential properties due to the perceptions of prospective home buyers. These perceptions include concerns just like ours - health risks, increased crime, and late night noise. The property value experiences the most severe negative property value effect when a site becomes contaminated due to leaks. A study of 87 contaminated sites in Cincinnati, OH found that residential properties within 1000' suffered an average property value loss of 20%. That is the average. One would assume that homes closer to the site take a bigger hit.

Code 165.36 in the City of Pella Zoning Ordinance requires consistency with the comprehensive plan to grant site approval. Section 165.14.3.B requires conformance with the comprehensive plan to approve a PUD. The property value benefits of various actions are cited in the Pella Comprehensive Plan. Any action which has a negative effect on property value is therefore contrary to the plan.

The property value issues posed by the gas station also conflict with the following purposes set forth in 165.03 of the Zoning Ordinance

- 1) Serve the public health, safety, and general welfare of the city and its jurisdiction.
- 4) Encourage compatibility of adjacent land uses
- 6) Further the objectives of the comprehensive plan.

It is my understanding that district courts only overturn 1-2% of a city council's decisions because as the citizens' representatives, they are carrying out the will of the people. Generally a betting man doesn't bet on those kinds of odds and as our representatives, our voice, I don't see how you could deny our wishes in favor of Casey's for odds like those. Only if there is great negligence would they overturn that decision. Our city codes show that you certainly would NOT be negligent in denying Casey's request for a PUD.

I can understand the fear of a lawsuit. Even Casey's understands the fear of a lawsuit and cautions their stockholders in their 2016 annual report about things that can go wrong and reduce their dividends. One such warning is regarding inherent dangers and I quote, "Our operations are subject to significant hazards and risks inherent in transporting and storing motor fuel. These hazards and risks include but are not limited to, fires, explosions, traffic accidents, spills, discharge and other releases, any of which could result in distribution difficulties and disruptions, environmental pollution, government imposed fines or clean up obligations, personal injury or wrongful death claims and other damage to our properties and the properties of others." Please support your citizens and deny this PUD.

*Rhonda Kormode*



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**FW: Intensive Survey for Collegiate neighborhood historic district**

10/20/2016 10:10:10 AM

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**Andre, Sara [DCA]** <Sara.Andre@iowa.gov>  
To: "rskermode@gmail.com" <rskermode@gmail.com>

Tue, Sep 6, 2016 at 12:14 PM

Rhonda-

I sent this earlier this morning but I had a different email for you. I'm not sure which one is correct or better, so I'm forwarding it to this email as well. FYI, if homeowners are interested in the state tax credit program, they can start the process. I'd be happy to talk to you or homeowners about it if there are questions.

Sara

**From:** Andre, Sara [DCA]  
**Sent:** Tuesday, September 06, 2016 11:56 AM  
**To:** 'William Colgan Page'; Rhonda Kermode; Davis Folkerts  
**Cc:** Mohr, Paula [DCA]; Foster, Beth [DCA]  
**Subject:** Intensive Survey for Collegiate neighborhood historic district

All-

My apologies for the delays, I certainly did not intend for this much time to pass. I've reviewed the information provided in the updated survey forms. We think that the information supports an eligible historic district and recommend moving forward with the next step with the completion of a draft National Register (NR) nomination. Please see the attachment for the SHPO review schedule for National Register nominations, which outlines our review procedures and submission deadlines.

I'm sure Will is familiar with the benefits of listing in the NR, however here is some information from the National Register section our website:

A property listed in the National Register of Historic Places benefits from recognition of the property's historic, architectural or archaeological significance. Listed properties are also taken into account during various preservation and development projects.

Additional benefits include:

- National recognition of the value of the properties to the nation, state of Iowa and community
- A tool for local planning, heritage tourism and education

- Provides for review of any federally licensed, financed or assisted projects to determine its effect on historic properties
- Eligibility for federal and/or state income tax credit
- Provides consideration in the decision to issue a surface coal mining permit
- Provides qualification for federal assistance for historic preservation (such as planning and rehabilitation), when funds are available.

However, listing on the National Register of Historic Places:

- Does not ensure preservation or protection of a historic a property
- Does not restrict a property owner's private property rights or require that properties be maintained, repaired or restored; however, significant modifications may result in removal from the register
- Does not affect the use or sale of private property
- Does not stop federally assisted government projects
- Does not guarantee that grant funds will be available for all properties

#### Preservation Assistance

Private preservation efforts, spurred by a listing on the National Register of Historic Places, have resulted in a rise in the value of historic properties and in the creation of construction, business and employment opportunities. Documentation used for evaluating and registering historic properties is the basis for decisions about which properties merit tax incentives or state or federal assistance, in addition to how the properties should be treated to respect their historic character.

Please feel free to contact me with further comments or questions regarding this or the state tax credit program. Specific questions regarding the nomination process can be directed to Beth Foster at [beth.foster@iowa.gov](mailto:beth.foster@iowa.gov).

Sara

**Sara André**

Architectural Historian

State Historic Preservation Office

[sara.andre@iowa.gov](mailto:sara.andre@iowa.gov) | 515-242-6157 | [iowaculture.gov](http://iowaculture.gov)

***Save the Date!*** Preserve Iowa Summit: September 15-17, 2016 in Davenport

## My Perspective on the Pella Casey's Conflict

by Dale Van Donselaar

In the issue of the proposed construction of a new Casey's General Store at the corner of Main and Union Streets, I would like to lend some observations from my position as somewhat of an "outsider", that is, I don't really "have a dog in the fight" as do those whose residences are located in close proximity to the site.

**1. As it relates to the City of Pella** – it appears to me that the whole issue would be a moot point if the relevant personnel or committees would have brought the zoning regulations into compliance with the long range comprehensive plan. But since that is "water under the bridge", we need to seek a different solution.

**2. As it relates to the property owner** – I had understood that the parcel was going to be developed into some attractive condominium units, which would fit the comprehensive plan and add to the attractiveness of the Main Street corridor and the community as a whole.

**3. As it relates to Casey's** – I am a Casey's customer, both in Pella and when I am on the road. Casey's is one of those "familiar faces" that I gravitate to when I need gas, or coffee, or a quick lunch. So to have a shiny new Casey's store in Pella like the new one in Knoxville just 4 blocks from my home would be very convenient. And I can see why Casey's wants a centrally-located showcase establishment right in the heart of downtown Pella.

**4. As it relates to the owners of the properties adjacent to the site** – They have good reasons for opposing the placement of a very busy establishment next door. One by one the homes which had occupied the site, creating an historic established residential neighborhood, have been removed and the adjacent owners don't want their neighborhood turned into a commercial zone. And they along with other concerned citizens have worked very hard to communicate their opposition through the proper channels.

From all appearances, those voices are being ignored. The big Casey's Corporation has started to act like a bully – "We want that location or we'll take you to court!" And to save the city taxpayers thousands of dollars in legal fees, the city fathers appear to be caving under the pressure.

With the proposed plan the traffic from three locations would be funneled to one location in a block which already has entrance driveways to three other businesses plus a street intersection. And since there is not a turn lane on Main Street it is inevitable that the crossing and turning traffic would create traffic back-ups. Would Main Street need to be widened to accommodate a turn lane? Is the Main Street right-of-way even wide enough?

So, what is the solution? Obviously I don't have all the answers, but I would like to make some suggestions. I don't believe that all the options have been explored. It appears that once the proposed site was chosen, no other options were pursued.

Casey's wants to close three existing locations. Why not consider the possibility of retaining and updating the Main & Washington Street location, which is convenient for the central part of town. Then consider a redevelopment of the Oskaloosa & Clark Street facility. Perhaps you could work out a purchase of the Enterprise Rent-A-Car property and they could move to the old Dairy Queen property or the vacant property where the old Verrips Grocery store (that dates me!) was located.

Another possibility is the next block to the east – the old Boggie's service station – where Pella Motors at times displays vehicles but at other times the lot is vacant. There's also a vacant house at the east end of this parcel. I don't know if these properties are for sale, but I believe it would be worth exploring.

And one final possibility – there is now a large vacant property on the south side of Oskaloosa Street at the end of East First Street where the power plant had been. Unless the city already has plans for the future development of this property, I believe it should be given serious consideration for the new Casey's facility. These south end parcels are located in commercial areas and already have turn lanes on the street.

My conclusion is this – don't slam the door shut on possibilities other than the Main & Union location.

**From:** Don Ridder [<mailto:pastor@gracepella.org>]

**Sent:** Wednesday, August 31, 2016 9:41 AM

**To:** Pella Mayor <[mayor@cityofpella.com](mailto:mayor@cityofpella.com)>; Mike Nardini <[mnardini@cityofpella.com](mailto:mnardini@cityofpella.com)>

**Subject:** Casey's debacle

Good morning Mayor Mueller (and neighbor Jim) and Mr. Nardini,

Thank you for leading our city and struggling with this issue. I do not envy you! Here's my case:

SUMMARY: Casey's on Main Street will not be good for Pella

GROUNDS:

1. I'm a former architect and did a lot of urban planning – a building of this size and prominence (bright red, strong illumination) will forever change that primary corridor in town.
  - a. Traffic will increase
  - b. Although new, it is an eyesore no matter how they build it
  - c. The historic district nearby will have this in their backyard
  - d. It is not in the character of the buildings around it – community minded... library, community center, Molengracht, small businesses
2. As a lover of history and culture – and the Dutch roots of our city – this does not fit at all
3. As a supporter of locally owned businesses... this doesn't help
4. Assuming they will close 3 of their smaller stores, and in the best case fully redevelop them, we are taking too big of a gamble. Although the absence of 2 of them on the square would improve traffic and hopefully add eye-appeal when re-developed, the current stores fit better in a town of small businesses.
5. As a car owner, I am content to drive to one of the mega stores close to the bypass – we don't NEED one in town! We're talking ONE MILE!
6. As a convenience store consumer – well, I'm not... we don't really need more chips, smokes, cokes and lottery cards.
7. The City of Pella would do better to repurpose an existing building into a "welcome center" or "tourist info" spot with a number of convenient, clean, modern toilets – let's not rely on a gas station for this!
8. As a pastor, I can say the folks in our church who have worked there say they were treated well, but building a behemoth staffed with entry level wage earners is not the solution.
9. As a consumer, we need variety and competition (other gas stations) – not a monopoly.
10. As for the lawsuit... settle it and rezone the city carefully with a long term master plan.

Thank you again for taking the time to read this and for leading the city well!

Don Ridder (411 Lincoln)

**From:** "Triplett, Ryan" <tripletrc@Pella.com>  
**Subject:** **Concerned Pella Citizen**  
**Date:** August 31, 2016 at 12:27:39 PM CDT  
**To:** "[danvb@lisco.com](mailto:danvb@lisco.com)" <[danvb@lisco.com](mailto:danvb@lisco.com)>

Councilmember Vander Beek,

I went for a run this morning. I would not have been able to say that a year ago. You see, I have been on a journey over the last year. I have lost over 100 pounds the hard way. Through sheer determination, watching my diet, and beginning to exercise. It has not been an easy task. But, I now truly enjoy running. This morning I ran with a lot on my mind as I admired the tranquil nature of our community. The beautiful flower beds, Dutch architecture, small businesses & shops. What a wonderful place to live!

I have not lived in Pella my entire life. My wife & I moved here in 2004 when we were both 24. We are both originally from very small towns in NW Iowa. We both attended college & upon graduation we started our careers. When looking at communities to locate to we had some big decisions to make.

We fell in love with Pella. A beautiful city. It was much larger than the place we both grew up, but still has that small town feel. A great place to raise a family, and that is true now more than ever as we raise our now 8 year old daughter & 4 year old son.

I read the posting in the Town Crier last night regarding the new Casey's proposal. I ask you to deny Casey's request to build this new giant Casey's on Main Street that has been proposed – I agree, wrong size & wrong location. I implore you to not allow this to move forward. A Casey's of this size does not belong in downtown Pella. My daughter is getting to an age where we'd like to give her some freedoms such as riding her bicycle to the Library & Community Center. I'd like to offer those same freedoms to my son as he gets older. This is right on the Volksweg path, one used by so many walkers, runners, & bicyclists alike. I see the location of this Casey's as a real safety concern. Is there not another location that this can go that would make more sense? Has Casey's even looked at alternatives? I ask you, as a concerned citizen of our great community, to not allow this.

Thanks,

Ryan Triplett  
1st Shift Lumber/Metal/Service Parts Plant Quality Tech



**From:** Kent Beyer <[kent.beyer@student.pella.k12.ia.us](mailto:kent.beyer@student.pella.k12.ia.us)>

**Subject:** Casey's

**Date:** September 1, 2016 at 7:49:14 PM CDT

**To:** [mayor@cityofpella.com](mailto:mayor@cityofpella.com), [mark@dejonggreenhouses.com](mailto:mark@dejonggreenhouses.com),  
[tbokhoven@iowatelecom.net](mailto:tbokhoven@iowatelecom.net), [danvb@lisco.com](mailto:danvb@lisco.com), [elsvan@iowatelecom.net](mailto:elsvan@iowatelecom.net),  
[eagleelectric@iowatelecom.net](mailto:eagleelectric@iowatelecom.net), [ljpeterson60@gmail.com](mailto:ljpeterson60@gmail.com)

Dear Councilmen/Mayor

Hi, I am Kent Beyer. I am currently a senior at Pella High. I am enrolled in a government class and have talked about the Casey's dispute and our current views on this subject as citizens of Pella. As we discussed our views in class something kept crossing my mind. Why do we forbid the growth of businesses in our town. As I thought about this question many things crossed my thought process I would like to share it with you folks.

First I would just like to start off by giving you a little info about my self. By doing this I hope that it will show you a perspective on my thoughts. I currently live half way between Pella and Knoxville on T15. I live down a lane with my grandma living in the front part. My family is very proud of our local communities and the surrounding area. As I write this I hope that this info will help in your evaluation process of my letter.

Some time ago my father Daryl Beyer, tossed around the idea of putting up a hog shed. As he discussed the options he asked local friends for support by asking them questions about manure and general information about hogs. Once he started talking about the process the whole idea of a hog shed blew up in the public eye. The way he described to me it was a huge explosion of public dissatisfaction. He told me that all building rules/codes were within law, but the only things stopping him was the public outcry. To this day the topic of this hog shed still brings confusion to my family. Why would a community want to not expand the economic growth of a farmer. With the manure value and animal values it would hopefully increase our crop yield and overall our family income, in return providing more tax dollars for our local community. Now as we look forward to the Casey's dispute the same thing is happening. People didn't want a hog shed in the country where it belongs with all the right codes, and now the City does not want a public business in a public place. The way I see it I find something wrong with this. By not allowing Casey's we might be potentially scaring off future businesses by our tough and set in place ways of wanting just perfect.

Some of the issues I have heard about this proposed Casey's is confusing and quiet frankly dumb in my opinion. I have heard that it will make it unsafe for children to walk or get to uptown of Pella. I feel that we have 2 Casey's already on the square and we would actually be making our main drags safer by moving the busy traffic of pulling in and out of Casey's to one location. I think also that the issue of the gasoline smell is very silly. I don't understand why they can't have a new Casey's by houses when the current Casey's is next to houses anyway and not to mention a historical site. I think that the smell of gas would deter visitors from the local Schotte house, but it seems not to have bothered them at all because overtime I walk by their I always see visitors. Now the solution that the city is offering is affordable housing. I think that this idea is very detrimental to Pella's values and beliefs. An elderly friend of mine was talking

to me at my local church about this issue and he made a very valid point. Would you rather have someone go to Casey's for a small amount of time and get their alcohol and party and drink it at home, or would you rather have them bring it to their home where the Casey's would be and party and drink their where the whole town drives by. I personally would much rather have them make ruckus at a house not in the middle of town. Same goes for Tulip Time. I think that visitor would much rather see a big beautiful Casey's then a huge housing building where attendants could make messes and disruptive activity This also plays into the sound issue. When I heard the issue of sound being brought up in a town meeting I also thought, well we have two Casey's on the squared don't tell me they don't make sound.

I hope that my thoughts were helpful and reasonable. I will continue to pray for our town and you folks as you continue in your terms in public office.

Thanks,  
Kent Beyer

**From:** Roose, Linda [mailto:LJRoose@Pella.com]  
**Sent:** Friday, September 02, 2016 11:38 AM  
**To:** Mike Nardini <mnardini@cityofpella.com>  
**Subject:** New Casey's

Mr. Nardini,

I am not sure who I should contact...is the first petition that was signed regarding the new Casey's on Main Street still valid?

If so, I would like to remove my name from the protest petition as after having more facts, etc. I think the new Casey's on Main Street would be an asset to Pella.

Having been "caught" in the Casey lots downtown, trying to get back onto the street (without getting hit), I feel the new Casey's on Main Street would be much easier for access and leaving.

*Linda*

*Linda Roose*

Mike,

Alan Beyer called this morning while you were on another call. He declined to leave a voicemail but asked that I pass along his comments.

I'm paraphrasing all that he said, but essentially he is in favor of the Casey's being built on Main Street. If you would like to speak with him, he may be reached at 507.382.7436.

## Cynthia Vaske

Administrative Support Technician

City of Pella

825 Broadway Street

Pella, IA 50219

Phone: 641-628-4173

[cvaske@cityofpella.com](mailto:cvaske@cityofpella.com)

-----Original Message-----

From: Myron Laura Van Zee [mailto:[bopnma@hotmail.com](mailto:bopnma@hotmail.com)]

Sent: Tuesday, August 30, 2016 4:56 PM

To: Jennifer Elsloo

Subject: New Casey's store

Sorry if you aren't the correct person that this should go to, if not please forward to that person. This is in regards to the new Casey's store that is being proposed for Main Street across from Pizza Ranch.

I am not for or against the new Casey's. But I guess that I am confused about a bunch of things. If the property is zoned commercial and they are willing to put a Dutch front on it, how can the city refuse to let them build? It's zoned commercial. I understand that the people close to the location don't like it, but that's the way it is. Did these people that are against this the same people that didn't like the Molengrat, the new library, the new fire station, and the other new buildings that have been built because they aren't part of "historical" Pella?

I would think that the city would love to have a new Casey's built so that the other three old buildings could be tore down and improve the looks of the city. I would also think that the Historical Society would love to have the land of the Washington Street/Broadway Casey's and the city would love to have the land for parking of the Washington Street/Main Street Casey's.

Anyhow, I guess that I hope the city does the right thing because I would think that this isn't the first time that Casey's has run into something like this. I am afraid that the legal council of Casey's and the Des Moines press would love to make Pella look bad and that is the last thing that I want to see.

Thanks!

Myron Van Zee

**From:** Adam Hale [<mailto:haleaj1@gmail.com>]

**Sent:** Saturday, September 03, 2016 8:34 PM

**To:** Pella Mayor <[mayor@cityofpella.com](mailto:mayor@cityofpella.com)>; [mdejong@dejonggh.com](mailto:mdejong@dejonggh.com); [danvb@lisco.com](mailto:danvb@lisco.com); [eagleelectric@iowatelecom.net](mailto:eagleelectric@iowatelecom.net); [tbokhoven@iowatelecom.net](mailto:tbokhoven@iowatelecom.net); [elsvan@iowatelecom.net](mailto:elsvan@iowatelecom.net); Larry Peterson <[ljpeterston60@gmail.com](mailto:ljpeterston60@gmail.com)>; Mike Nardini <[mnardini@cityofpella.com](mailto:mnardini@cityofpella.com)>; Mike Brown <[mbrown@cityofpella.com](mailto:mbrown@cityofpella.com)>

**Subject:** Proposed Casey's

To whom it may concern:

We have seen the proposed site plan for this go round and have some concerns. First of all, we would like to remind you all that the primary issue that lead to a vote against the previous plan was a matter of size of the proposed facilities that lead to an unfavorable number on the city's compatibility chart. Our opinion is also that such a store is not compatible in said location, not only based on size, but also based on looks. Those two things would make such a location in violation of at least 165.03 parts 3 and 4.

We were told that this next issue was maybe partially addressed at the last meeting, but that part of the concerns were brushed aside so we would like to again express these concerns. The most recent drawing we've seen has markings that show the fire code's required 100 ft radius between tanks/pumps and nearby properties. It seems that at least two properties (ours being one) are probably either really pushing or actually within those limits and a third (house on corner of Independence and Main) is for sure inside that limit which would make this plan unfeasible. We would also like some clarification on those lines showing the radii as they seem to be drawn with the outside line being 100 ft from the center of the homes. Shouldn't those be drawn from the outer walls of the nearby homes in order to provide a more accurate distance? We were told that a representative from Casey's says that they fixed this issue, but we've yet to see or hear how exactly they did that. One more question regarding these pumps and tanks being so close: Does such a close proximity take away surrounding owners' option to someday build an addition? It seems that if it's unsafe to build pumps that close to homes, it would be just as unsafe to build homes that close to pumps. Taking that option away from people would not seem to be ethical.

Something that has been heavily touched on in the past is the issue pertaining to what this structure would do to the values of surrounding properties. We have been told that it is just speculation and that we do not have proof that the value of our properties will drop. Is it possible that it's difficult to find the numbers to support this because there are not stations this size that have been built in similar neighborhoods? We would like to ask you to imagine a situation where there are two identical homes for sale, one has a mega-Casey's in its backyard, the other has nice apartments (or homes, a park, stores similar to those on the square, etc). Which house do you think would sell for more? Which house would you prefer? One thing that we would also like to see/hear in this whole ordeal is how a Casey's in this spot would be a benefit to the community. What's obvious is how this would benefit the landowner and even a large corporation such as Casey's, but it is very difficult to see how this would benefit the city (let alone the surrounding neighborhood) even if other Casey's locations are closed. As has been mentioned in prior meetings and letters, it seems there are more appropriate and beneficial uses of this land.

We also can't help but feel that Casey's is working hard to push this through in beautiful Pella in order to feed their agenda. If this passes here, they will be able to go to other primarily residential neighborhoods in other cities and say, "Look, even Pella was fine with this."

Please continue to stay strong as you stand up to such a large corporation. Please continue working to preserve the charm of Pella and it's main corridor.

Thank you again for your time,  
Adam and Jacqueline Hale  
704 Independence Street, Pella, IA

**From:** Bruce Boertje [<mailto:boertje@windstream.net>]

**Sent:** Monday, September 05, 2016 12:37 PM

**To:** Mike Nardini <[mnardini@cityofpella.com](mailto:mnardini@cityofpella.com)>

**Subject:** Casey's PUD and Data From Current Traffic Survey

Dear Honorable Mayor and City Council Members,

First of all I want to thank each of you for your hard work and especially for agonizing over your upcoming decision regarding the proposed zoning changes for Casey's on Tuesday night.

By profession I am a Measurement Technician at Pella Corp. As such, I perform numerous studies requiring accurate data to make an informed decision. Unfortunately, many people make irrational decisions based only on their intuitions. As W. Edwards Deming (1900-1993) famously said, "In God we trust, all others bring data". To that end I decided to perform my own two-day, ten-hour traffic study that focused on the three stores that Casey's wants to close as well as their proposed building location.

I studied these Casey's locations at the following times:

- Oskaloosa Street: (3) hours (Thursday, September 1: 3 – 6 pm);
- Main Street: (4) hours (Friday, September 2: 6 – 8 am; 3 – 4:30 pm; 5:30 – 6 pm);
- Broadway: (1) hour (Friday, September 2: 4:30 – 5:30 pm);
- Proposed Site 500 Main: (2) hours (Thursday, September 1: 6 – 8 am)  
(**Note:** For those interested the actual survey data is contained in the attached spreadsheet.)

My first conclusion is that it is fully understandable why Casey's wants to replace these three existing locations with a larger facility: Each one is incredibly busy. At each current location there were times when *every* gas pump was simultaneously in use – sometimes with a waiting line. The second conclusion is that I am more convinced than ever that a 12-pump mega-Casey's does *not* belong on Main Street - especially along the Volksweg Trail.

Combining the traffic volume count from the three stations, I found that by 4:00 pm on an *average*, middle-of-the-week afternoon, we can expect to have approximately 390 vehicles crossing either the Volksweg Trail or the Union Street sidewalk. **One vehicle every 9.2 seconds will be either entering or exiting the proposed Casey's.** The morning numbers are nearly as

frightening: **By 7:30 am, a vehicle will be entering or exiting Casey's every 11.5 seconds.**

From 6 – 8 am, I also measured pedestrian traffic at the proposed site on Main Street. There were 27 pedestrians or bicyclists using either the Volksweg or Union Street sidewalk (plus another 10 on the east side of Main Street that could presumably chose to use either side of the street). That is an amazing number of vehicle/pedestrian interactions on a daily basis. Weekends or special events (Tulip Time, Thursday's in Pella, Harvest Fest, etc.) could easily be busier. This study should raise several safety points that may not have been considered regarding the proposed Volksweg/Main Street entrance:

- There are no turning lanes, traffic lights, or four way stop signs in the proposed location. The current three Casey's stores are at least positioned near traffic lights. The Broadway and Oskaloosa Street locations have an additional lane to assist in traffic flow. The traffic from the three existing stores will now be funneled to a two-lane street with no traffic lights or additional turning lanes.
- With no turning lanes or traffic lights, northbound traffic on Main will be obstructed as cars await an opening to turn left into the proposed Casey's gas station.
- Similarly, snarled traffic could easily present obstacles when police, ambulance or fire equipment is deployed south on Main Street.
- The Volksweg was ingeniously designed so that it does not cross the entrance of a single commercial business. The only place the Volksweg crosses anything as busy as the proposed Casey's entrance is at University Street, where a flashing light, warning signs and painted crosswalk alert motorists to the crossing pedestrian traffic.
- Vehicles - including longer ones like trucks, semi-trailers and a surprising number of vehicles pulling trailers - do not enter and exit businesses at evenly spaced intervals; they tend to exit in bunches. From my personal experience (I have walked a daily 2-½ mile round-trip route along Main Street to Pella Corp. for years) vehicles will not wait behind a sidewalk to allow approaching pedestrians to pass – they pull forward as far as possible in order to turn onto the street – and in so doing **they block the sidewalk**. Nearly Every. Single. Time!
- Casey's primary exit would be east onto Main Street – meaning drivers will have the morning sun shining directly into their eyes as they drive cross the Volksweg.
- When turning to the right to enter a street, many drivers (not only those in a hurry or those trying to beat oncoming traffic or those on a repeat beer-

run) will *only* check for vehicles approaching from the left. Since they are not crossing a lane of oncoming traffic they fail to see/look for pedestrians approaching from the right. In the past couple of years I have witnessed two pedestrians struck by vehicles that were entering Main Street under this exact situation. I have personally had to leap backwards when crossing University Street at its intersection with Main Street under protection of a green light. An approaching driver stopped their car for the red light, only looked left, saw no approaching cars and then proceeded to turn right as I was legally crossing in front of them – never seeing me. It will only be a matter of time before a child is injured or killed in this exact type of accident, which *will* occur if Casey's is allowed to build in this location.

Common sense dictates that a vehicle attempting to enter or exit a commercial driveway every nine or ten seconds is bound to create severe problems – both to pedestrians and through-traffic alike. One further point to bear in mind was recently brought to light through a study performed by Jim Nieboer. He found that there is not another Iowa town of similar size to Pella that has this large of a Casey's located on a two-lane street. Every other one is situated on at least a three or four-lane road.

I believe that the safety items I have listed are reasons for very real concern. If you doubt my survey results, then I encourage the city to perform better, more in-depth traffic and safety studies. Until that time, *please* do not approve Casey's PUD rezoning request. Further, Pella's outdated zoning ordinances (ones so old that they don't even define a gas station canopy, let alone allow it to be considered in making zoning decisions) desperately need to be updated. For these reasons, plus the many other concerns already related by other Pella citizens, I plead with the council to deny Casey's rezoning requests and place a moratorium on all further rezoning while there is still time.

I sincerely thank you for your faithful consideration regarding the future and safety of our community.

Bruce Boertje

614 Monroe St.

Pella, Iowa

**From:** Nieboer, James

**Sent:** Monday, September 05, 2016 7:52 AM

**To:** 'mark@dejonggreenhouses.com' <[mark@dejonggreenhouses.com](mailto:mark@dejonggreenhouses.com)>;

'tbokhoven@iowatelecom.net' <tbokhoven@iowatelecom.net>; 'elsvan@iowatelecom.net' <elsvan@iowatelecom.net>; 'ljpeterson60@gmail.com' <ljpeterson60@gmail.com>  
Cc: 'eagleelectric@iowatelecom.net' <eagleelectric@iowatelecom.net>;  
'mayor@cityofpella.com' <mayor@cityofpella.com>  
**Subject:** Casey's PUD

Dear Members of Pella City Council,

Attached please find a comparison of Casey's General Stores located across the state of Iowa. I reviewed 15 small towns similarly sized to Pella and compared the number of fuel pump islands of existing Casey's Stores with the number of traffic lanes of adjacent streets. When I did the analysis, I was looking for how many of these small towns have a Casey's General Store with six fuel pump islands.

In the tab titled "Comparable Town Locations," please note that 36 of the 37 locations have just two to four pump islands. Only one store out of the 37 locations has six pump islands and that one serves the traffic coming off of Interstate 80, Exit 164 in Newton, IA. In fact there is a nearly a 1:1 correlation of the number of traffic lanes and the number of pump islands.

The attached file also includes a worksheet showing examples of the Iowa locations of Casey's Stores with six pump islands. Again, please note that these stores are located on major thoroughfares in major metro areas such as Des Moines, Cedar Rapids, and Council Bluffs. They are usually co-located with large high impact commercial entities like a Wal-Mart, Lowe's and Home Depot or with strip malls such as the one in Ankeny at the intersection of Oralabor Road and Highway 69.

It is quite clear from this analysis that the Casey's PUD proposed for the 500 block of Main Street is massively oversized and completely inappropriate for a street with only 2 traffic lanes. Obviously Casey's business model is incompatible with the proposed site as indicated by their own business practices and preferences for siting such a large store. If such a development was allowed in Pella, it should be only at a location adjacent to one of the Pella exits along Highway 163.

This is an opportunity for the Council to demonstrate visionary leadership. I urge the Council to disapprove of the Casey's PUD and then encourage development more aligned with the city's Comprehensive Plan that meets the city's housing needs, encourages a pedestrian friendly corridor and preserves Pella's unique Main Street aesthetics which attracts so many visitors to our town.

Respectfully,

Jim Nieboer  
514 Broadway Street  
Pella, IA

**From:** Nieboer, James [mailto:JDNieboer@Pella.com]

**Sent:** Monday, September 05, 2016 8:49 PM

**To:** Mike Nardini <mnardini@cityofpella.com>

**Subject:** PUD process questions

Hi Mike,

I had a couple of process questions regarding the Casey's PUD.

1. Is a member of the public allowed to request all three readings of the ordinance? At what point during the meeting can a request be made? Can the applicant request a waiver of the second and third readings?
2. Can a member of the public request that a full comprehensive traffic study be conducted?
3. We noticed that some aspects of the Casey's site plan have changed such as the height of the fence being dropped to just 6 feet when earlier site plans had a higher fence. If the PUD is approved, is there opportunity for further input to the site plan? Does such input have to occur prior to approval or anytime during development? Who is involved: Public Works, adjacent property owners? How does that process work? We're not conceding that the PUD will be approved and we're working hard to oppose it; however, we want to be aware of what the next steps could be if the results are not in our favor.

Thanks for all the work you do for the citizens of Pella. We appreciate your fairness and professionalism in this controversial issue.

Best Regards,

Jim Nieboer  
514 Broadway Street  
Pella, IA

**Mike Brown**

---

**From:** Renee <patragreek@yahoo.com>  
**Sent:** Sunday, August 21, 2016 8:30 PM  
**To:** Mike Brown  
**Subject:** Fwd: Concerned resident

Dear Mr. Brown,

I'm forwarding my letter to you. Sorry, didn't know who to send it to.

Thank you,  
Renee and Kosta Bastas

Sent on the new Sprint Network from my Samsung Galaxy S@4

----- Original message -----

**From:** Renee <patragreek@yahoo.com>  
**Date:** 08/21/2016 5:30 PM (GMT-06:00)  
**To:** jbyers@cityofpella.com  
**Subject:** Concerned resident

Dear Mr. Byers,

My name is Renee Bastas and my husband is Kosta Bastas. We live on 706 Independence St. In beautiful downtown Pella. But unfortunately this could all change and we could be smelling fumes, shining lights in our restored home and many other factors that we have brought before the board in the pass meetings.

It states in first paragraph of the Planning and Zoning website how Pella should be preserved.

We are not against Casey's we are against the location.

Please forward this letter to the rest of the members on the Planning and Zoning .

Thank you,

Renee Bastas

Sent on the new Sprint Network from my Samsung Galaxy S@4

## Mike Brown

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**From:** Jerry Byers  
**Sent:** Monday, August 22, 2016 7:04 AM  
**To:** Mike Nardini; Mike Brown  
**Subject:** FW: Proposed PUD zoning

**From:** Adam Hale [mailto:haleaj1@gmail.com]  
**Sent:** Sunday, August 21, 2016 6:01 PM  
**To:** Jerry Byers <jbyers@cityofpella.com>  
**Subject:** Proposed PUD zoning

Dear Pella Planning and Zoning,

We are emailing you today in regards to the proposed rezoning of the lot on the corner of Main and Union. Our first question/concern, would this PUD classification conflict with the City Council's recent rezoning of the same parcel of land?

We also noticed something in the City Zoning Codes that mentions if 20% of surrounding landowners submit a protest, such a change would require a 75% favorable vote by the City Council in order to be approved. Do we need a specific form to put this in action, or if we get names, signatures, and addresses on a paper does that suffice?

We have seen the proposed site plan for this go round and have some concerns. First of all, we would like to remind you all that the primary issue that lead to a vote against the previous plan was a matter of size of the proposed facilities that lead to an unfavorable number on the city's compatibility chart. Our opinion is also that such a store is not compatible in said location, not only based on size, but also based on looks. Those two things would make such a location in violation of at least 165.03 parts 3 and 4. The new drawing also has markings that show fire code's required 100 ft radius between tanks/pumps and nearby properties. It seems that at least two properties (ours being one) are really pushing those limits and a third (house on corner of Independence and Main) is actually for sure inside that limit which would make this plan unfeasible. We would also like some clarification on those lines showing the radii as they seem to be drawn with the outside line being 100 ft from the center of the homes. Shouldn't those be drawn from the outer walls of the nearby homes in order to provide a more accurate distance? One more question regarding these pumps and tanks being so close: Does such a close proximity take away surrounding owners' option to someday build an addition? It seems that if it's unsafe to build pumps that close to homes, it would be just as unsafe to build homes that close to pumps. Taking that option away from people would not seem to be ethical.

One thing that we would also like to see/hear in this whole ordeal is how a Casey's in this spot would be a benefit to the community. What's obvious is how this would benefit the landowner and even a large corporation such as Casey's, but it is very difficult to see how this would benefit the city (let alone the surrounding neighborhood) even if other Casey's locations are closed. As has been mentioned in prior meetings and letters, it seems there are more appropriate and beneficial uses of this land.

We also can't help but feel that Casey's is working hard to push this through in beautiful Pella in order to feed their agenda. If this passes here, they will be able to go to other primarily residential neighborhoods in other cities and say, "Look, even Pella was fine with this."

Please continue to stay strong as you stand up to such a large corporation. Please continue working to preserve the charm of Pella and it's main corridor.

Thank you for your time,

**Adam and Jacqueline Hale, 704 Independence Street**

August 21, 2016

Dear Planning and Zoning Commission members:

I would like to thank you for the work you have done on this commission and let you know that I appreciate the difficulty of your job in the past months. For all of our sakes, I hope that this matter is resolved soon.

In considering a change in zoning to a PUD in the 500 block of Main St., I think there are a number of things in our city code to consider.

- First, I would like to present a protest that has been signed by every property owner on the block with the exception of Casey's.
- Second, I would first like to read the meaning of Compatible from the City Code 165.10 #35
  - "Compatibility" means the degree to which two or more different land use types are able to exist together in close proximity, with no one use having significant negative effects on any other use.
  - We have addressed the significant negative effects of the lights from Casey's glaring in our bedroom windows, the noise from additional traffic, the smell from gas, garbage, and grease interceptors, and safety for pedestrians and bicyclists to name a few.
- Third, I would like to site several city codes to help show that Casey's should not be in the vacant lot on Main St.
  - Code 165.18
    - \* B. Parking areas shall be located along the side of buildings or in the rear of the building *In no case* shall off-street parking be allowed in any front yard setback or in the front of buildings except for the following:
      - (1) Existing industrial parking areas in the front of buildings or required front yards are exempt from this requirement, including additions to existing industrial parking areas.
      - (2) New industrial parking areas may be located in the front of buildings or in the required front yard provided that berming and a Type A screen with evergreen trees is planted in accordance with Section 165.31.
    - \* I think this makes is pretty clear that there should be no parking in front of the building. I believe the Board of Adjustments denied one variance based upon this code already.
  - Code 165.18 #3 states
    - \* (3) New Commercial Construction.
      - a. The total square footage (building footprint area) of any new

commercial building shall not exceed 125% of the average of the square footage of buildings within one block on both sides of the property in question.

- \* It is my understanding that the size of the new Casey's has been based upon the average of buildings across the street which would be in front of the building. To be consistent perhaps the size should be based on 125% average of the buildings within 200' (the same buildings which received the letter)
- o Code 165.04 CONSISTENCY WITH COMPREHENSIVE PLAN states
  - \* The City of Pella intends that this Zoning Ordinance and any amendments to it shall be consistent with the City's Comprehensive Plan. It is the City's intent to amend this chapter whenever such action is deemed necessary to keep regulatory provisions in conformance with the Comprehensive Plan.
  - \* It would seem to me that this section states that ANY AMENDMENTS TO ZONING need to be consistent with the Comprehensive Plan not the other way around. This leads me to question why city council ignored city staff's presentation regarding zoning and the comprehensive plan and changed the comprehensive plan to match zoning rather than changing the zoning of this area to match the zoning.
  - \* Given that the Comprehensive Plan was changed, on what seems to be the whim of the city council, the Comprehensive Plan still states that the Zoning Area CUC

Land Use Category	Use Characteristics	Features and Location Criteria
Mixed Use  (Includes Medical & Assisted Living)	<p>Can include a range of low-impact commercial uses, higher-density residential uses, and small office.</p> <p>Provides for daily convenience shopping and service needs of nearby residents.</p>	<p>Typically located at intersections of higher order streets: collectors and arterials.</p> <p>Developments should relate well to adjacent properties and provide appropriate transitions from higher intensity uses to lower intensity uses</p> <p>Pedestrian traffic should be encouraged, using a neighborhood scale design where appropriate</p> <p>Signage, landscaping and site features should respect neighborhood scale and quality Avoid large expanses of parking visible from major streets</p> <p>Could be located in areas zoned as CUC (Commercial Mixed Use Urban</p>

		Corridor) or PUD or CPD (Planned Unit Development and Commercial PUD)
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- Some have argued that Main St. being business 163 is a higher order street. I would maintain that because it is a 2-lane street and cannot be enlarged to even include a turning lane that it is not a higher order street. In addition, Union Street is not a higher order street and was not built for heavy truck traffic but would need to be used by semi's to refill gas tanks and refill the store's inventory.

- **165.05 CONFLICTING PROVISIONS**

- \* The Zoning Ordinance shall be held to provide the minimum requirements necessary for the promotion of the public health, safety and welfare. If any provision of the Zoning Ordinance conflicts with any other provision of the Zoning Ordinance, any other Ordinance of the City of Pella, or any applicable State or Federal law, the more restrictive provision shall apply.
- \* G. Conflicts. Where there is conflict between this subsection and any other code or ordinance of the City, the more specific provisions shall apply.
- \* In this case the more specific provision would be the " "Overlay district"[which] means a district established by this Ordinance to prescribe **special regulations** to be applied to a site only in combination with a base district" In this case we would be referring to the Gateway District Overlay Zone and as I have read earlier this zoning code restricts parking to the side and back of the building.
- \* As you know, the council just recently passed a change to this overlay zone that requires new houses built in that zone to be built in keeping with the style of the other houses in that area, specifically the style of houses that were built when Pella was first established. This, by the way, does not mean houses that look like they do in Holland but houses that reflect what our ancestors built when they came to **this** country. One would assume that if we would like the houses to reflect the charm of our community, we would not want a hyper-Casey's to be

built in this zone, which would completely conflict with the charm of this area. If we would allow these two types of structures to be built side-by-side we would look like a cobbled together community, which is what the Comprehensive Plan and zoning should protect against.

- 165.14 talks specifically about PUDs and states “When an area of land is developed under this section, various provisions of the platting and subdivision requirements may be waived, zoning district requirements pertaining to area, height and spacing may be modified, and various land use mixtures may be permitted with appropriate screening, landscape buffers and setback restrictions. ... However, it is not the intent of this section either to permit a mixture of totally unrelated uses to be developed or to allow the fundamental purposes of the zoning, platting and subdivision provisions of this Code to be ignored. It is the intent of this section to permit the establishment of unified developments with differing land uses arranged so as to be compatible with one another, with the site to be developed, and with the surrounding area. In no event shall the basic purpose or intent of the zoning, platting and subdivision provisions of this Code of Ordinances be violated.”
- 165.03 talks about the purpose of zoning  
The purposes of the Zoning Ordinance of the City of Pella are to:
  1. Serve the public health, safety and general welfare of the City and its jurisdiction.
  2. Classify property in a manner that reflects its suitability for specific uses.
  3. Provide for sound, attractive development within the City and its jurisdiction.
  4. Encourage compatibility of adjacent land uses.
  5. Protect environmentally sensitive areas.
  6. Further the objectives of the Comprehensive Development Plan of the City of Pella.
    - \* It would take a lot of twisting of words and intentions for Casey’s attorneys to convince me and I hope you, that their store would not violate the intent of a PUD, the purpose of our zoning codes, or the purpose of the Comprehensive Plan.
    - \* Casey’s, and I might add councilman Bokhoven, twisted the words of the Comprehensive Plan for their own intents and purposes. Their arguments DO NOT reflect what our zoning codes and the Comprehensive Plan intend for this community.
- Finally, the area that Casey’s would like to move to is slated to be the city’s first National Register Historic District. Our city encourages tourism. Heritage tourism brings money to the community. It brings money to local businesses. Homes in this National Register Historic District would be eligible for state tax credits. Historic tax credits are beneficial to states and communities. This government program generates far more money than it gives out. This program also creates jobs...good job.

I urge you to turn down Casey's request. They are not located within a two blocks of the square in Knoxville and I do not believe they are located within two blocks of the square in Oskaloosa. They removed themselves from their location near the square in Monroe. If they were close to the square in Grinnell, they would be located on a 4-lane street, which I believe has a turning lane. Why is it so urgent that they are close to our square? Why do they need the foot traffic from our square and not the foot traffic from the squares of other communities? Why must we bow to the wishes of a corporation owned by mutual fund companies, when the success of our community is because of LOCAL corporations and businesses?

Respectfully,

Rhonda Kermode  
510 Broadway Street  
Pella, Iowa 50219

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## Mike Brown

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**From:** Mike Nardini  
**Sent:** Monday, August 22, 2016 8:21 AM  
**To:** Mike Brown; Ronda Brown  
**Subject:** FW: Hyper caseys

Mike and Ronda –

Please include the following e-mail in our written records.

Mike

Mike Nardini  
City Administrator  
City of Pella  
825 Broadway  
Pella, Iowa 50219  
Phone (641) 628-4173  
Fax (641) 628-3120

**From:** Cathy Haustein [mailto:hausteinc@gmail.com]  
**Sent:** Saturday, August 20, 2016 4:01 PM  
**To:** Mike Nardini <mnardini@cityofpella.com>  
**Subject:** Fwd: Hyper caseys

For the records. Forwarded with permission.

----- Forwarded message -----  
**From:** Denny McDaniel <denmcd@gmail.com>  
**Date:** Sat, Aug 20, 2016 at 2:52 PM  
**Subject:** Hyper caseys  
**To:** [hausteinc@gmail.com](mailto:hausteinc@gmail.com)

My name is Dennis McDaniel and I live at 606 Independence St. near where the new hyper caseys would like to build.

I am 60 years old and retired from 3M, and have lived in this community for 24 years. My wife and I are opposed to the hyper caseys in our neighborhood. We are now looking to downsize and find a nice place to live out our lives in a safe and quite neighborhood.

We visit the community center for senior meals and often visit the public library. Will putting a hyper caseys between our home and these sites provide a safe route to these buildings?

City zoning codes.  
165.03 PURPOSE.

"The purposes of the Zoning Ordinance of the City of Pella are to:

1. Serve the public health, safety and general welfare of the City and its jurisdiction."

The site of the hyper caseys would be a much better fit as public housing for people just like me and my wife.

In reading the Pella comprehensive plan I see by far the fastest growing group of people in our city is from age 50 - 59.

People nearing retirement age.

(see figure A2 "Pella population by age 2000-2010")

This clearly shows that any planning for the city of Pella should include retirement living or housing development.

In reading the Pella zoning codes further

I find this;

165.05 CONFLICTING PROVISIONS.

35. "Compatibility" means the degree to which two or more different land use types are able to exist together in close proximity, with no one use having significant negative effects on any other use."

As a member of this community I can tell you having a hyper Caseys in my neighborhood is NOT compatible with my family and all the many others in my community.

Please consider what would you like to have in your backyard does a hyper Caseys fit in your community?

Thank You

Dennis McDaniel

641-629-6428

## Mike Brown

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**From:** Mike Nardini  
**Sent:** Monday, August 22, 2016 8:25 AM  
**To:** Ronda Brown; Mike Brown  
**Subject:** FW: PUD -- Casey's  
**Attachments:** PlanningCriteriaLocationPetrolFillingStation.pdf; Hyper gas station images.pdf

Please include this e-mail in the written record for the PUD public hearing.

Mike

Mike Nardini  
City Administrator  
City of Pella  
825 Broadway  
Pella, Iowa 50219  
Phone (641) 628-4173  
Fax (641) 628-3120

**From:** Mansueto, Jim [mailto:MansuetoJJ@pella.com]  
**Sent:** Sunday, August 21, 2016 9:35 PM  
**To:** Mike Nardini <mnardini@cityofpella.com>; Pella Mayor <mayor@cityofpella.com>; mark@dejonggreenhouses.com; tbokhoven@iowatelecom.net; elsvan@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; cagan@co.marion.ia.us; jgchome@jcl1.com; hausteinc@gmail.com; robinpfa@msn.com; vandermolten@mahaskacounty.org; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com  
**Cc:** Haman <haman.haman@gmail.com>; Rhonda Let mode <rskermode@gmail.com>; Nieboer, James <JDNieboer@Pella.com>; 'Jody Mansueto' <jodymansueto@gmail.com>  
**Subject:** PUD -- Casey's

Dear Planning & Zoning and City Council Members,

I remain completely flabbergasted that a hyper gas station continues to be considered for the 500 block of Main Street in Pella. Of all plans presented, this latest layout is the most detrimental to the nearby neighborhoods and downtown area.

I was astounded to see the 6 pumps are now in a single file layout. Has anyone staked out this layout or visited other sights where such a large and obtrusive canopy is in existence? I have never seen a layout for a gas station like this one. Does one even exist? Has anyone from P&Z or City Council visited a site of this layout to understand the size and impact on the community? Especially within a residential neighborhood?

I have attached an image of a Casey's with 6 pumps that are "doubled up". It is still totally inappropriate for a downtown area. Notice how insignificant a semi-truck looks in the image. A filling station of this size is best suited for the location it is in – off an interstate highway.

I have also attached the guidelines the EPA recommends for petroleum stations. Casey's does not meet the minimum setback requirements, greenspace requirements, or site fencing requirements. In addition, it violates the EPA requirements for its proximity to the Pella Public Library and Community Center.

As a reminder, other developers are interested in this land for developments that fit within the comprehensive plan for the city of Pella. I have an attached an image of a development by an interested party in Des Moines.

Please understand, I very much love this community. My passion is only borne out of concern for this special place we all call home. We cannot make a mistake and permit this development. I urge all P&Z members and City Council members not to approve the PUD request for the Casey's hyper gas station.

Sincerely,  
Jim Mansueto  
1304 Main St  
641 629 6279

P.S. Please forward to Mr. David Landon. His email link was not working on the city website.

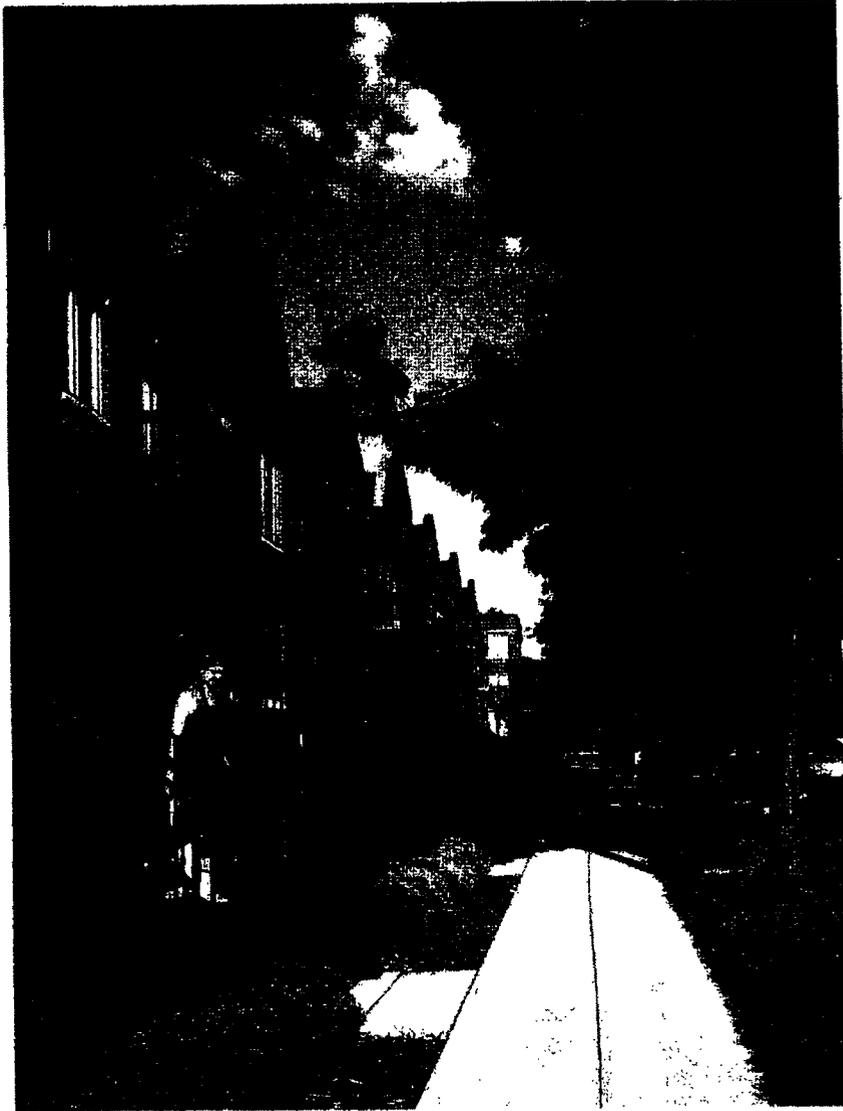


***The proposed canopy  
for the proposed hyper  
gas station in Pella  
would be twice as wide  
as this canopy. --  
practically the entire  
city block!***

***Note how small a semi  
truck looks.***



*Is a lit canopy twice as  
wide as this one what  
we want for "Our Touch  
of Holland"?*



***The developers of this development in historic Sherman Hills area of Des Moines is interested in building something similar on the site. It could be a win-win situation for all parties involved, but first this PUD for a hyper market gas station has to be denied.***

## **PLANNING CRITERIA FOR LOCATION OF PETROL FILLING STATIONS**

1. Stations should be located within a growth center or an urban area except in circumstances where it can be shown through appropriate studies that the need exists otherwise.
2. Land should be zoned for commercial/industrial use or be designated specifically for the purpose in a subdivision.
3. Stations should be located at a minimum of 500 ft. from any public institution such as schools, churches, public libraries, auditoriums, hospitals, public playgrounds, etc.
4. Area of land to be developed should be sufficient to allow maneuvering of vehicles within its cartilage but should not be less than 12,000 sq. ft. with a minimum frontage of 300 ft. on the primary street.
5. Filling Stations will not be allowed in any area where the traffic situation is such that it will cause obstructions in entering or leaving a station, or on tight curves where visibility is not adequate.
6. Vehicular access/egress/crossover should be reasonably safe with adequate approach distances especially where main roads and intersections are involved.
7. Wherever possible, stations should be erected on level rather than sloping site to prevent rolling or discarded materials such as cans, drums, etc.
8. When sited in shopping centers, stations should be located in an isolated area of the development as long as planning criteria are met, example, set back.

9. Environmental impact on streams, lakes, ponds, aquifer, etc., will be taken into consideration. An Environmental Impact Assessment may be required from the applicant.
10. Buildings are to be located a minimum of 40 ft. from road property boundaries to provide adequate area for maneuvering of vehicles in the service area.
11. Canopies and supports over pumps and service equipment when located less than 20 ft. from interior residential lot lines or building or structure should be constructed of non-combustible material.
12. Petrol pumps shall be located a minimum of 100 ft. from any residential building.
13. No fuel pumps or other mechanical equipment shall be installed so as to permit servicing of motor vehicles standing in a public street or highway.
14. All service areas should be paved to avoid dust nuisance.
15. Exterior design of the building should be compatible with adjacent development and should be such that it is not detrimental to property values in the area.
16. In a residential area a landscaped open area 10 ft. wide shall be provided along the rear property boundary and 15 ft. wide along the side proper boundaries, and be separated from paved area by curb or other barrier.
17. Where the site adjoins the side or rear boundary of a residential lot, a solid wall 10 ft. in height should be constructed and maintained along that lot boundary.
18. A raised curb of at least 6" in height should be erected along street property lines except for driveway openings so as to prevent operation of vehicles on sidewalks, and to define entrance/exit points.

19. Signs should be accordance with the Advertisement Regulations and should be located so as not to reflect the sun into the face of motorists and should be large enough so that they can be seen from a reasonable distance at a reasonable speed.
20. Stations are to be equipped with fire-fighting and fire protection equipment installed in accordance with the requirements of the Fire Department.
21. Each tank shall be vented to the atmosphere outside of buildings by means of an independent vent pipe which should not be less than 12 ft. in height or 2 ft. above the top of the nearest adjacent building.
22. All volatile flammable liquid storage tanks shall be installed below ground in compliance with the requirements of the Ministry of Construction (Works).
23. Integral containers of adequate design and capacity should be provided for solid waste, such as discarded cans, bottles, etc.
24. Proper facilities for storage and disposal of used and waste oil and gas must be provided.
25. Waste water from the washing of motor vehicles et cetera and sewage disposal should be to the satisfaction of the Health Authorities.
26. Notice of intent to construct and operate a Petrol Filling Station should be posted on the site and gazetted to enable ad to enable adjacent owners within a specified radius to object if they so desire.
27. Fuel should be stored in double walled container to minimize leakage and prevent contamination of ground water.
28. Normally no access to nor egress from a filling station shall be closer than 150 ft. to any road intersection or 250 ft. from the intersection of two main roads.

29. Other development criteria are given in the Filling Station Development Orders.

### **GUIDELINES TO APPLICANTS**

1. Filling Station is defined as any land, building or equipment used for the sale or dispensing of petrol or oils for motor vehicles or incidental thereto and includes the whole of the land, building or equipment whether or not the use as a petrol station is the predominant use or is only a part thereof.
2. Any erection or alteration of building or equipment for the sale of petrol or oils for motor vehicles on any land or the change of use of land or buildings from any other use to that of a filling station shall be in accordance with the provisions of the Development Order and permission granted by the Town and Country Planning Authority thereunder.
3. All applications for permission to erect a filling station should be made to the local planning authority/Parish Council in the parish in which the proposal is to be located on a form issued and obtainable from that authority.
4. Each application is to be accompanied by at least five (5) copies, or the number printed on the application forms, of:
  - a) A Plan sufficient to identify the land to which it relates;
  - b) Plans and drawings as are necessary to describe and illustrated the development in detail.
5. The Planning Authority may request an applicant to produce evidence to verify any particulars of information given in an application.
6. In dealing with applications, the Authority will afford the applicant, if he/she so desires, an opportunity of appearing before and being heard by a person appointed by the Authority for the purpose.
7. The decision of the Authority can be appealed to the Minister responsible for Planning as set out in the Development Order.
8. Under the Law it is a requirement that permission for the erection of a filling station anywhere in the island be obtained from the Planning Authority.

To: City Administrator, Mayor, and Councilmen, City of Pella

Re: Proposed Casey's New Location

Gentlemen,

I have followed closely what has been developing with regard to Casey's building a Mega Store at the corner of Main and Union. There are questions, we as Citizens certainly have, that we are not getting answers to. Hopefully this will be corrected. As you consider your decision in this regard, I hope you will consider the following questions carefully:

- **Why are you considering ignoring the Comprehensive Plan for which the City spent \$85,000 taxpayer dollars and many of us spent countless hours giving input?**
- **If the Comprehensive Plan is to be ignored, can we assume our leaders will never commission another such plan??**
- **Has Council considered how Councilman VanderBeek misled those living near the proposed site by telling them there would not be a Casey's put there?**
- **Do you "really" have a grasp of what traffic is going to be like at the new site???**
- **Why has Council refused to acknowledge the need for a Comprehensive "Traffic" and "Environmental" study?**
- **Were other sites suggested to Casey's for this store, some that are already zoned properly for such?**
- **Do you "honestly" feel it makes good sense to place this kind of high traffic gas and beer sales business right next to our Community Center, Library, and Bike Trail?**
- **Why does Casey's, if they want to be a good partner with the city, fail to belong to the Chamber or to contribute to the many causes we always need funding for?**
- **Is the "real" reason you appear to support this is because of Casey's threat of a law suit?**
- **If we buckle to Casey's now, how long before others will try the same tactic?**
- **If we give into them, are we to assume they are more important for Pella's future than are our leaders whom we elected?**

- If "any" of you had a nice home next to such a property, would you "really" be voting the same way?
- If this establishment is built, are you confident that when your time on Council ends, that you will be able to look back proudly at your decision in this matter?

Thank you for your time and effort on behalf of we Citizens and I sincerely hope that you will vote against allowing this store to be put in definitely a wrong location.

Sincerely,



Lynne L. Henry  
lynne42655@yahoo.com  
1710 W. 3RD ST.  
PELLA, IA 50219

TO: City of Pella Clerk

August 22, 2016

Per Iowa Code Section 414.4, we, the affected homeowners within 200 feet of the 500 block of Main Street, Pella, Iowa hereby formally protest any changes to the zoning ordinances of the area.

<u>Name</u>	<u>Address</u>	<u>Date</u>
✓ Rhonda Kermode	510 Broadway Pella, IA 50219	8/21/16
David Karsick	510 Broadway Pella, IA 50219	8/21/16
<del>John</del>	704 Independence St. Pella, IA 50219	8/21/16
Anna Van Dyke	708 Independence St. Pella, IA 50219	8/21/16
Maria Van Dyke	708 Independence St. Pella, IA 50219	8/21/16
JOSHUA VISSER	516 BROADWAY ST. PELLA IA 50219	8/21/16
✓ Annie Stebbins	514 Broadway St Pella IA 50219	8/21/16
Wendy Visser	516 Broadway St Pella IA 50219	8/21/16
Scott Butler	714 INDEPENDENCE ST PELLA, IA 50219	8/21/16
Bonnie Bradshaw	706 INDEPENDENCE ST PELLA, IA 50219	
K. Hamer	707 Union St Pella IA 50219	
J. Hamer	506 BROADWAY ST. PELLA, IA 50219	8/21/16
Emily Winters	504 BROADWAY PELLA IA 50219	8/22/16



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THE  
**CITY of PELLA**  

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**STAFF MEMO TO COUNCIL**

ITEM NO: I-3

SUBJECT: Rezoning for DaVita Healthcare Partners Inc. & Pella Regional Health Center

DATE: October 4, 2016 (2nd Reading)

**BACKGROUND:**

DaVita Healthcare Partners Inc. and Pella Regional Health Center are requesting to rezone four vacant properties, previously identified as 307 and 309 Jefferson Street and 1117 and 1121 Hazel Street, from R2 medium density residential to Institutional (INS). The purpose of the rezoning request is to support a medical building which would serve dialysis patients. A conceptual site plan for the property is included for Council's review.

**Current Zoning**

The current zoning for the four parcels is R2 (two family medium density residential). This district is intended to provide locations for medium density residential areas for single-family and two-family dwellings on moderate to small lots with supporting community facilities and urban services.

**Proposed Zoning**

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

The adjacent zoning immediately to the north is INS (Institutional). The adjacent zoning immediately to the west, south and east is R2 (two family medium density residential). Staff does not believe there are any spot zoning concerns associated with this request as these properties are adjacent and in close proximity to an existing institutional use.

In considering this request, it is important to note, Institutional Zoning is in close proximity to the property with Pella Regional Health Center to the north. In addition, the applicant has provided a properly completed rezoning petition for properties within 300' of the proposal consisting of forty-three (43) properties. Sixteen (16) properties have signed the petition notification indicating their consent to the rezoning, (37%).

**Comprehensive Plan**

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Medical and Assisted uses. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses. Therefore, staff believes the proposed request is consistent with the City's Comprehensive Plan.

**Summary**

The proposed ordinance would amend the boundaries of the INS District to include four parcels of land (307 and 309 Jefferson Street and 1117 and 1121 Hazel Street) from R2 Medium Density Residential to INS Institutional District.

Staff believes the proposed dialysis/medical use is an allowable use within the City's INS zoning district. Furthermore, we also believe this request is consistent with the City's comprehensive plan. Based upon these findings, staff recommends approval of the rezoning request.

Finally, it should be noted, the Planning and Zoning Commission at their August 22, 2016 meeting approved the rezoning on a vote of 9 yes and 1 abstention.

ATTACHMENTS: Ordinance, Zoning Map, Comp Plan map, Location Map, Concept Plan

REPORT PREPARED BY: Planning and Zoning

REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve Ordinance

ORDINANCE NO. 916

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. ZONING AMENDMENT. The Zoning Ordinance of the City of Pella, Iowa, is hereby amended by amending the boundaries of the INS District to include parcels of land owned by Pella Regional Healthcare Center described in Exhibit A that is within the zoning jurisdiction of the City of Pella, Iowa, from an "R2" (Two Family Residential Zoning District) to an "INS" (Institutional Zoning District) for all parcels.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance on the Official Zoning Map.

SECTION 3. COMPREHENSIVE PLAN UPDATE. Council hereby instructs staff to proceed with a resolution that updates the Future Land Use Map of the Comprehensive Plan to reflect the Institutional Zoning of the applicable properties, if appropriate.

SECTION 4. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and After its final passage, approval and publication as provided by law.

Passed and adopted this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
James Mueller, Mayor

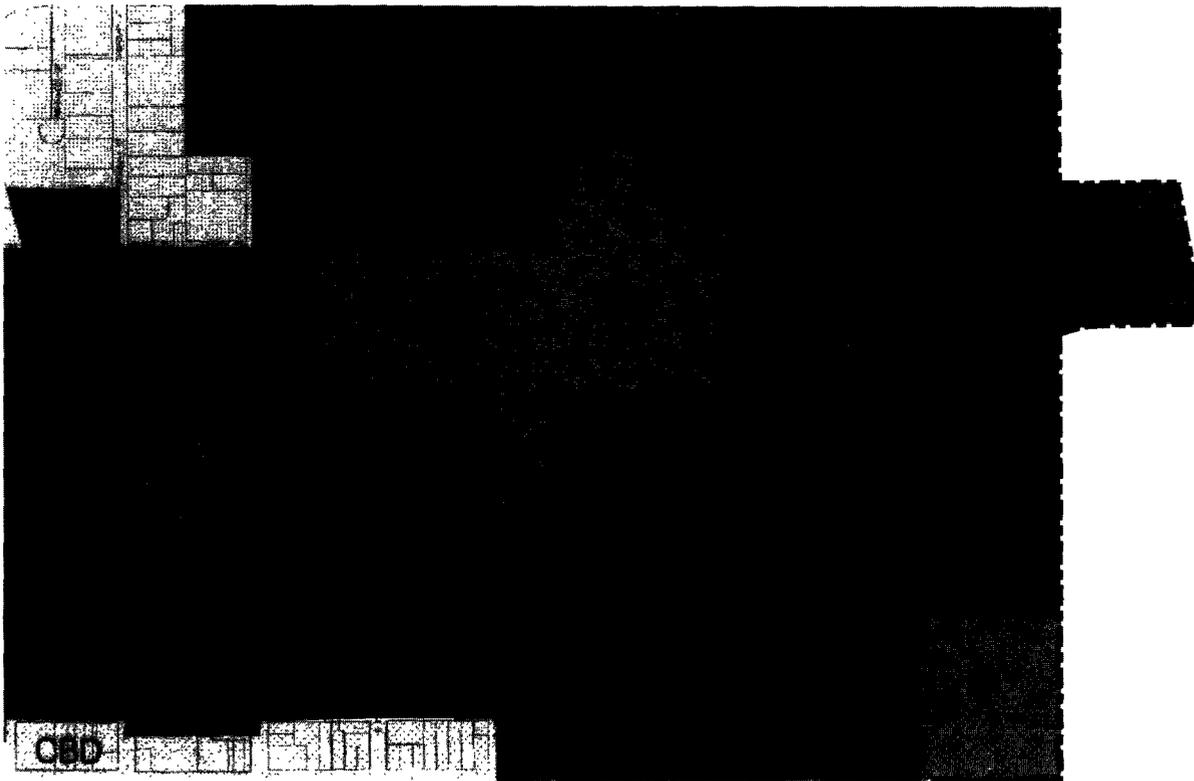
ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk

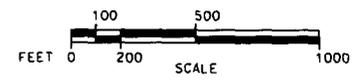
## Exhibit A

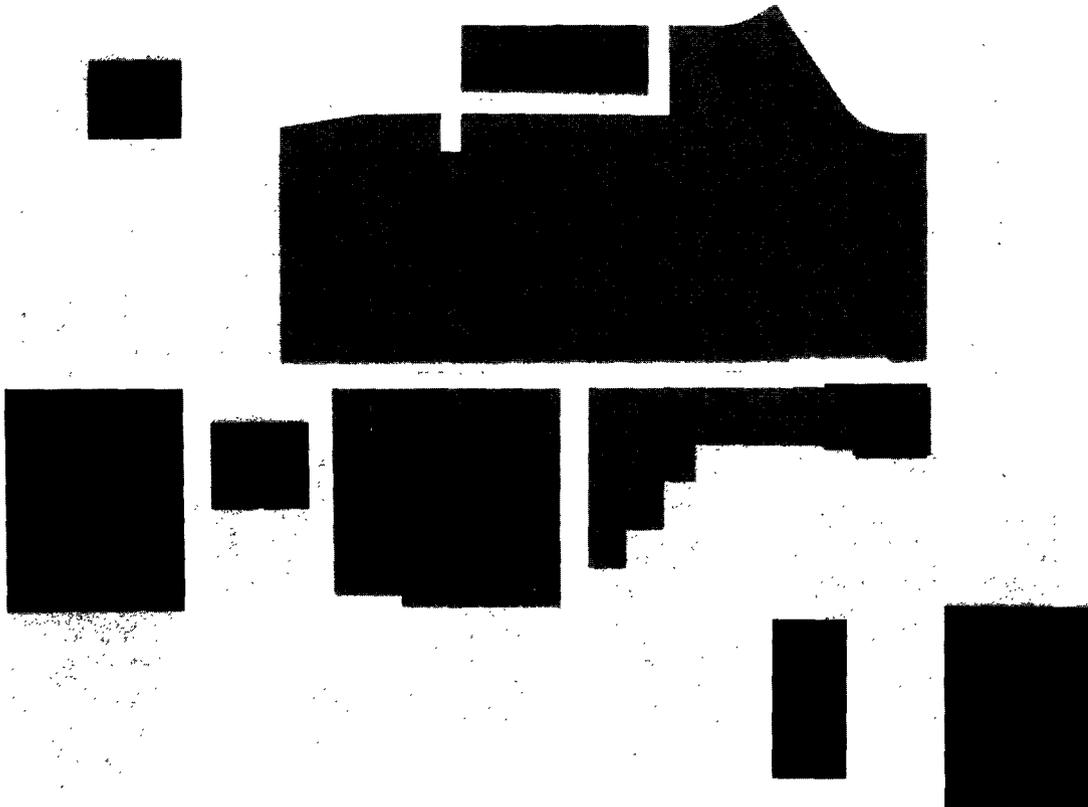
**Legal Description:**

Lot 1, Lot 3, Lot 7, and Lot 2, and the north 20 feet of the east 40 feet of Lot 10 all in, De Vries Plainview Addition, City of Pella, Marion County, Iowa.

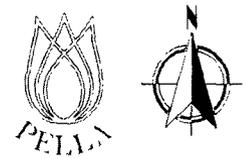
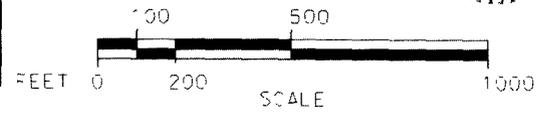


-  RR = Rural Residential District
-  R1 = Low-Density Single-Family Residential
-  R1A = Moderate-Density Single-Family Residential
-  R1B = Medium-Density Single-Family Residential
-  R1C = Neotraditional Single-Family Residential
-  R2 = Two-Family Residential
-  R3 = Multiple-Family Residential District
-  R4 = Mobile Home Park District
-  CBD = Commercial - Central Business District
-  CUC = Commercial - Mixed Use Urban Corridor
-  CC = Community Commercial District
-  CPD = Commercial - Planned Development District
-  INS = Institutional District
-  M1 = Limited/Light Industrial District
-  M2 = Heavy Industrial District
-  A1 = Agricultural District
-  PUD = Planned Unit Development
-  Property





- AG & AG RESIDENTIAL
- PRESERVE
- LOW DENSITY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL
- FLOOD PLAIN
- PARKS AND RECREATION
- ENVIRONMENTALLY SENSITIVE
- MIXED USE
- COMMERCIAL
- DOWNTOWN MIXED USE
- MEDICAL & ASSISTED LIVING
- CENTRAL COLLEGE
- CIVIC & PUBLIC
- SCHOOL
- LIGHT INDUSTRIAL
- GENERAL INDUSTRIAL
- URBAN RESERVE
- I-80 CORRIDOR
- WATER
- PROPERTY BOUNDARY



DAVITA  
LOCATION MAP

LINCOLN ST

HAZEL ST

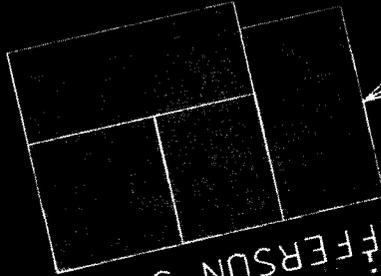


PLAN



JACKSON ST

AREA TO BE  
REZONED



JEFFERSON ST

E 2ND STREET





JH

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
<b>AHLERS &amp; COONEY P C (1048)</b>						
717922	VERMEER AGREEMENT	09/22/2016	10/04/2016	2,097.00	09/16	310.5.05.8154.6790
Total AHLERS & COONEY P C (1048)				2,097.00		
<b>ALLIANT-IES (GAS) (1060)</b>						
09092016 - IN POO	NATURAL GAS - IN POOL	09/09/2016	10/04/2016	321.15	09/16	100.5.04.4300.6371
09092016 - PK	MOLENGRACHT HEATERS - PK	09/09/2016	10/04/2016	18.63	09/16	100.5.09.4250.6371
09132016 - PK A	MOLENGRACHT HEATERS - PK	09/13/2016	10/04/2016	18.63	09/16	100.5.09.4250.6371
09192016 - OUT P	NATURAL GAS FINAL BILL - OUT POO	09/19/2016	10/04/2016	304.97	09/16	100.5.04.4301.6371
09232016 - CC	NATURAL GAS - CC	09/23/2016	10/04/2016	67.76	09/16	100.5.04.4100.6371
09232016 - CC - A	NATURAL GAS - CC	09/23/2016	10/04/2016	17.43	09/16	100.5.04.4100.6371
Total ALLIANT-IES (GAS) (1060):				748.57		
<b>AMAZON (1070)</b>						
008319071667	INFANT CHANGING STATION	08/29/2016	10/04/2016	205.49	09/16	100.5.09.4200.6310
033138373964	AIR PRESSURE RELIEF VALVE - EL	08/19/2016	10/04/2016	28.33	09/16	400.5.06.8588.9300
053053179944	FIRST AID KIT	08/29/2016	10/04/2016	69.50	09/16	100.5.01.1030.6546
062680983887	FIBER TERMINATION TOOL KIT - EL	08/11/2016	10/04/2016	760.70	09/16	400.5.06.8588.9950
097713732449	MEDICAL SUPPLIES	08/30/2016	10/04/2016	54.57	09/16	100.5.01.1030.6546
100025562066	PRINTER TAPE	08/16/2016	10/04/2016	59.99	09/16	100.5.00.6310.6544
127155098816	WIRELESS ACCESS POINTS - EL	08/14/2016	10/04/2016	637.30	09/16	400.5.06.8588.9950
152763979264	PATCH CABLES - EL	08/11/2016	10/04/2016	16.84	09/16	410.5.06.8955.3900
152766659087	FIBER PATCH CABLES - EL	08/11/2016	10/04/2016	87.65	09/16	410.5.06.8955.3900
152769044931	PATCH CABLES/ MODULES - EL	08/11/2016	10/04/2016	221.63	09/16	410.5.06.8955.3900
159119923450	INK CARTRIDGE - EL	08/29/2016	10/04/2016	68.07	09/16	400.5.06.8588.9920
164342856043	FIBER PATCH CABLES- EL	08/13/2016	10/04/2016	25.64	09/16	410.5.06.8955.3900
164346372747	FIBER PATCH CABLE - EL	08/14/2016	10/04/2016	12.82	09/16	410.5.06.8955.3900
164347501852	FIBER PATCH CABLES- EL	08/12/2016	10/04/2016	12.82	09/16	410.5.06.8955.3900
164349804715	FIBER PATCH CABLE - EL	08/12/2016	10/04/2016	12.82	09/16	410.5.06.8955.3900
165925940516	SPEAKER SHELF	07/19/2016	10/04/2016	156.97	09/16	100.5.09.4200.6551
207792989379	COMPUTER MONITORS	08/29/2016	10/04/2016	259.98	09/16	201.5.00.7090.6725
207799086861	COMPUTER MONITORS	08/29/2016	10/04/2016	389.97	09/16	201.5.00.7090.6725
231834971199	FIBER SC TERMINATORS - EL	08/18/2016	10/04/2016	28.28	09/16	410.5.06.8955.3900
239349322678	PICKUP SPOT LIGHT - EL	08/11/2016	10/04/2016	604.23	09/16	400.5.06.8588.9660
242063230582	DOOR LOCK REPAIR	08/08/2016	10/04/2016	104.94	09/16	100.5.04.4100.6310
253121574431	PICKLEBALL SUPPLIES	08/25/2016	10/04/2016	160.55	09/16	100.5.09.4200.6510
264397268927	PARKS COMPUTER	09/07/2016	10/04/2016	279.98	09/16	201.5.00.7090.6725
264824450147	PICKUP TOOL BOX CLAMP - EL	08/19/2016	10/04/2016	9.03	09/16	400.5.06.8588.9660
264826357480	WIRELESS ACCESS POINT MANAGE	08/20/2016	10/04/2016	79.95	09/16	400.5.06.8588.9920
271956587308	STEERING WHEEL COVER - EL	09/08/2016	10/04/2016	53.98	09/16	400.5.06.8588.9660
294210431950	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
294210862743	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
294211812382	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
294212596586	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
294218347349	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
294219683452	SAFETY FENCE - EL	09/09/2016	10/04/2016	29.97	09/16	400.5.06.8588.9720
295970643567	SHOP TOWELS - EL	08/19/2016	10/04/2016	110.08	09/16	400.5.06.8588.9950
295973719520	SHOP TOWELS - EL	08/18/2016	10/04/2016	110.08	09/16	400.5.06.8588.9950
295974826049	SHOP TOWELS - EL	08/18/2016	10/04/2016	110.08	09/16	400.5.06.8588.9950
Total AMAZON (1070):				4,912.09		
<b>AMERICAN TEST CENTER INC (5617)</b>						
2162316	YEARLY AERIAL & LADDER TESTS	09/08/2016	10/04/2016	885.50	09/16	100.5.02.1100.6330

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total AMERICAN TEST CENTER INC (5617):				885.50		
<b>ARNOLD MOTOR SUPPLY (1126)</b>						
37-514509	VEHICLE SUPPLIES	09/15/2016	10/04/2016	19.00	09/16	115.5.05.2100.6330
37-514511	VEHICLE SUPPLIES	09/15/2016	10/04/2016	22.16	09/16	115.5.05.2100.6330
37-514590	ST-4	09/16/2016	10/04/2016	47.84	09/16	115.5.05.2100.6350
37-514629	BATTERIES	09/17/2016	10/04/2016	284.97	09/16	100.5.02.1100.6330
37-514966	ST-4	09/22/2016	10/04/2016	101.83	09/16	115.5.05.2100.6350
37-514967	AIRPORT EQUIPMENT	09/22/2016	10/04/2016	26.20	09/16	100.5.05.2200.6350
Total ARNOLD MOTOR SUPPLY (1126):				502.00		
<b>AUTOMATIC DATA PROCESSING INC (1139)</b>						
1313310-09-2016	BACKGROAUND CHECKS	09/25/2016	10/04/2016	30.40	09/16	100.5.00.6320.6416
Total AUTOMATIC DATA PROCESSING INC (1139):				30.40		
<b>AW DIRECT INC (1141)</b>						
SI02760897	HOT STICK TUBE KITS - EL	08/03/2016	10/04/2016	182.91	09/16	400.5.06.8588.9660
Total AW DIRECT INC (1141):				182.91		
<b>BITUMINOUS MATERIALS AND SUPPLY LP (5169)</b>						
2213132907	SPRAY PATCHER	09/16/2016	10/04/2016	176.26	09/16	115.5.05.2100.6549
2213133477	SPRAY PATCHER	09/21/2016	10/04/2016	204.96	09/16	115.5.05.2100.6549
Total BITUMINOUS MATERIALS AND SUPPLY LP (5169):				381.22		
<b>BLOMMERS CONSTRUCTION (1256)</b>						
WASHINGTONSTP	WASHINGTON STREET PROJECT-PP5	09/24/2016	10/04/2016	131,352.70	09/16	215.5.05.2179.6761
Total BLOMMERS CONSTRUCTION (1256):				131,352.70		
<b>BRAAFHART, JOEY (1318)</b>						
092716	FORWARD DONATION CHECKS	09/27/2016	09/27/2016	110.00	09/16	100.5.00.6100.6502
Total BRAAFHART, JOEY (1318):				110.00		
<b>C L CARROLL CO INC (1407)</b>						
JORDANWELLPP1	JORDAN WELL PP14	09/26/2016	10/04/2016	110,418.94	09/16	310.5.05.8152.6780
Total C L CARROLL CO INC (1407):				110,418.94		
<b>CARPENTER UNIFORM CO (1428)</b>						
419735	UNIFORM EXPENSE - PD	08/01/2016	10/04/2016	620.83	09/16	100.5.01.1030.6510
421817	UNIFORM EXPENSE - PD	08/30/2016	10/04/2016	375.97	09/16	100.5.01.1030.6510
422734	UNIFORM EXPENSE - PD	09/13/2016	10/04/2016	63.00	09/16	100.5.01.1010.6510
423306	UNIFORM EXPENSE - PD	09/21/2016	10/04/2016	265.65	09/16	100.5.01.1030.6510
423308	UNIFORM EXPENSE - PD	09/21/2016	10/04/2016	155.65	09/16	100.5.01.1030.6510
423309	UNIFORM EXPENSE - PD	09/21/2016	10/04/2016	155.65	09/16	100.5.01.1030.6510
Total CARPENTER UNIFORM CO (1428):				1,636.75		
<b>CENTRAL IA WATER ASSOC (1462)</b>						
8/11/16-9/9/16	WATER BILLS - ANNEXED AREA	09/23/2016	10/04/2016	1,138.43	09/16	300.5.05.8100.6416

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total CENTRAL IA WATER ASSOC (1462):				1,138.43		
<b>CHEMSEARCH (1483)</b>						
2434806	PENETRANT FOR NUTS & BOLTS - PK	09/09/2016	10/04/2016	189.65	09/16	100.5.09.4200.6590
2434806	TOILET & SINK CLEANER - PK	09/09/2016	10/04/2016	160.65	09/16	100.5.09.4200.6555
2434812	BUILDING SUPPLIES - PK	09/09/2016	10/04/2016	251.75	09/16	100.5.04.4300.6590
Total CHEMSEARCH (1483):				602.05		
<b>CLASSIC AVIATION INC (1519)</b>						
10012016	AIRPORT MANAGER PAYMENT	10/01/2016	10/04/2016	3,447.50	10/16	100.5.05.2200.6405
Total CLASSIC AVIATION INC (1519):				3,447.50		
<b>COMPREHENSIVE EMISSION SERVICE (1544)</b>						
3357	NESHAP RICE TESTING - PP	08/08/2016	10/04/2016	19,000.00	09/16	400.5.06.8548.9030
Total COMPREHENSIVE EMISSION SERVICE (1544):				19,000.00		
<b>CONTINENTAL FIRE SPRINKLER COM (1555)</b>						
240763	SPRINKLER INSPECTION -IN POOL	09/08/2016	10/04/2016	255.00	09/16	100.5.04.4300.6416
Total CONTINENTAL FIRE SPRINKLER COM (1555):				255.00		
<b>CONTINENTAL RESEARCH CORPORATI (1556)</b>						
439637-CRC-1	SAFETY VESTS	09/14/2016	10/04/2016	200.57	09/16	300.5.05.8100.6546
439637-CRC-1	SAFETY VESTS	09/14/2016	10/04/2016	200.57	09/16	350.5.05.8330.6546
Total CONTINENTAL RESEARCH CORPORATI (1556):				401.14		
<b>CUSTOMIZED ENERGY SOLUTIONSLTD (1622)</b>						
1041896	TRANSMISSION - FTR'S	09/12/2016	10/04/2016	1,000.00	09/16	400.5.06.8565.9520
Total CUSTOMIZED ENERGY SOLUTIONSLTD (1622):				1,000.00		
<b>D &amp; D PUMP INC (1624)</b>						
06282016	SUNKEN GARDENS FOUNTAIN REPAI	06/28/2016	10/04/2016	366.42	09/16	100.5.09.4200.6320
Total D & D PUMP INC (1624):				366.42		
<b>D.J. GONGOL &amp; ASSOCIATES INC (1629)</b>						
12208	AIR RELEASE DIAPHRAGM	09/07/2016	10/04/2016	222.00	09/16	350.5.05.8320.6350
12208	SHIPPING - WWTP	09/07/2016	10/04/2016	10.15	09/16	350.5.05.8300.6531
Total D.J. GONGOL & ASSOCIATES INC (1629):				232.15		
<b>DAVE SCHMITT CONSTRUCTION CO. INC (4747)</b>						
090816WTP	RO WASTE & RAW WATER MAIN	09/08/2016	10/04/2016	112,643.40	09/16	310.5.05.8182.6727
Total DAVE SCHMITT CONSTRUCTION CO. INC (4747):				112,643.40		
<b>DE LAGE LANDEN PUBLIC FINANCE LLC (4658)</b>						
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	148.93	09/16	100.5.00.6100.6550
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	32.18	09/16	100.5.00.6100.6550
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	27.90	09/16	100.5.04.4100.6543
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	67.08	09/16	100.5.05.6500.6418
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	51.05	09/16	400.5.06.8549.9020

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51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	50.34	09/16	100.5.01.1010.6550
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	50.34	09/16	100.5.01.1030.6550
51409932	624974-COPIER LEASE	09/03/2016	10/04/2016	32.18	09/16	300.5.05.8120.6543
Total DE LAGE LANDEN PUBLIC FINANCE LLC (4658):				460.00		
<b>DGR ENGINEERING (1706)</b>						
00220658	CONSULT - WEST SUB 69 KV IMPRO	09/13/2016	10/04/2016	5,731.50	09/16	410.5.06.8955.3900
00220659	CONSULT. - WEST SUB 15KV DISTR. I	09/13/2016	10/04/2016	9,120.00	09/16	410.5.06.8955.3900
00220660	CONSULT. - 2016 DISTRIBUTION IMPR	09/13/2016	10/04/2016	5,668.86	09/16	410.5.06.8952.3670
Total DGR ENGINEERING (1706):				20,520.36		
<b>DUTCH MEADOWS LANDSCAPING INC (1832)</b>						
1661	WATER MAIN-DIST PREP SEEDING	09/09/2016	10/04/2016	2,350.00	09/16	310.5.05.8183.6790
1662	WATER MAIN GROUND PREP SEEDIN	09/09/2016	10/04/2016	3,600.00	09/16	310.5.05.8183.6790
1663	SEEDING & DIRT WORK	09/09/2016	10/04/2016	1,200.00	09/16	310.5.05.8183.6790
Total DUTCH MEADOWS LANDSCAPING INC (1832):				7,150.00		
<b>DUTCH MILL SUPPLY (1834)</b>						
167220	MORTAR FOR SAFETY FENCE POSTS	08/23/2016	10/04/2016	27.29	09/16	400.5.06.8588.9720
Total DUTCH MILL SUPPLY (1834):				27.29		
<b>ELECTRONIC ENGINEERING (1878)</b>						
80005935	PAGER - EL	09/25/2016	10/04/2016	83.65	09/16	400.5.06.8588.9950
Total ELECTRONIC ENGINEERING (1878):				83.65		
<b>ERIKSEN CONSTRUCTION CO INC (5709)</b>						
090216WTP	RO WATER TREATMENT PLANT	09/02/2016	10/04/2016	469,426.54	09/16	310.5.05.8182.6727
Total ERIKSEN CONSTRUCTION CO INC (5709):				469,426.54		
<b>FAEGRE BAKER DANIELS (4736)</b>						
24013974	LEGAL FEES	06/20/2016	10/04/2016	2,277.00	09/16	141.5.05.2200.6414
24014812	LEGAL FEES	09/15/2016	10/04/2016	3,223.00	09/16	141.5.05.2200.6414
Total FAEGRE BAKER DANIELS (4736)				5,500.00		
<b>FASTENAL COMPANY (1929)</b>						
IAPEA96331	CAUTION TAPE - SOCCER PARKING -	08/29/2016	10/04/2016	6.36	09/16	100.5.09.4205.6590
IAPEA96394	METAL FUEL CAN - PK	09/01/2016	10/04/2016	74.99	09/16	100.5.09.4200.6590
IAPEA96394	METAL FUEL CAN - SPORTS PARK	09/01/2016	10/04/2016	74.99	09/16	100.5.09.4245.6590
IAPEA96397	WIRE TERMINALS - EL	09/02/2016	10/04/2016	6.57	09/16	400.5.06.8588.9950
IAPEA96506	SHOP SUPPLIES	09/07/2016	10/04/2016	12.94	09/16	115.5.05.2100.6330
IAPEA96551	SHOP TOOLS	09/09/2016	10/04/2016	49.17	09/16	115.5.05.2100.6510
IAPEA96605	VOLTS/ HARDWARE - EL	09/14/2016	10/04/2016	19.40	09/16	400.5.06.8588.9950
IAPEA96666	SHOP TOOLS	09/16/2016	10/04/2016	82.44	09/16	115.5.05.2100.6510
Total FASTENAL COMPANY (1929):				326.86		
<b>FERRER, JOHN (6042)</b>						
1611580105	EE REBATE - AC TUNE-UP - EL	09/19/2016	10/04/2016	30.00	09/16	400.2215
Total FERRER, JOHN (6042):				30.00		

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<b>FIRE SERVICE TRAINING BUREAU (1954)</b>						
001668 - A	FFI CLASS	03/29/2016	10/04/2016	50.00	09/16	100.5.02.1100.6230
Total FIRE SERVICE TRAINING BUREAU (1954):				50.00		
<b>FORTERRA PIPE &amp; PRECAST (5899)</b>						
WD00004707	WASHINGTON ST PROJECT	09/19/2016	10/04/2016	540.00	09/16	215.5.05.2179.6761
Total FORTERRA PIPE & PRECAST (5899):				540.00		
<b>FOUR SEASONS YARD CARE (1980)</b>						
9854	CHEMICALS - PK	08/28/2016	10/04/2016	736.00	09/16	100.5.09.4200.6503
9854	SPRAYER RENTAL	08/28/2016	10/04/2016	250.00	09/16	100.5.09.4245.6418
9855	CHEMICALS - PK	08/28/2016	10/04/2016	422.50	09/16	100.5.09.4205.6503
9855	SPRAYER RENTAL - SOCCER	08/28/2016	10/04/2016	250.00	09/16	100.5.09.4205.6418
Total FOUR SEASONS YARD CARE (1980):				1,658.50		
<b>FRANK DUNN CO (1984)</b>						
091616PWS	HIGH PERFORMANCE PATCH	09/16/2016	10/04/2016	390.00	09/16	115.5.05.2100.6549
Total FRANK DUNN CO (1984):				390.00		
<b>GARDEN &amp; ASSOCIATES LTD (2026)</b>						
34574	WASHINGTON STREET PROJECT	09/21/2016	10/04/2016	9,599.09	09/16	215.5.05.2179.6761
34629	OSKALOOSA ST RECON	09/22/2016	10/04/2016	18,775.45	09/16	215.5.05.2191.6761
Total GARDEN & ASSOCIATES LTD (2026):				28,374.54		
<b>GENERAL FIRE &amp; SAFETY (2050)</b>						
24557	FIRST AID SUPPLIES	09/06/2016	10/04/2016	52.10	09/16	115.5.05.2100.6546
24559	FIRST AID SUPPLIES	09/06/2016	10/04/2016	56.70	09/16	300.5.05.8100.6546
36352	FIRST AID SUPPLIES - PD	09/06/2016	10/04/2016	81.80	09/16	100.5.01.1030.6546
Total GENERAL FIRE & SAFETY (2050):				190.60		
<b>GIFT, DAVID (2061)</b>						
1611580107	EE REBATE - AC TUNE-UP - EL	09/27/2016	10/04/2016	30.00	09/16	400.2215
Total GIFT, DAVID (2061):				30.00		
<b>GRAYMONT WESTERN LIME INC. (2093)</b>						
79590 RI	LIME	09/14/2016	10/04/2016	4,136.95	09/16	300.5.05.8120.6503
Total GRAYMONT WESTERN LIME INC. (2093):				4,136.95		
<b>GRITTERS ELECTRIC (2104)</b>						
20403	WINTERIZE LAZY RIVER PUMPS - OU	09/09/2016	10/04/2016	715.00	09/16	100.5.04.4301.6310
Total GRITTERS ELECTRIC (2104):				715.00		
<b>HACH COMPANY (2136)</b>						
10112463	LAB SUPPLIES - WTP	09/16/2016	10/04/2016	646.74	09/16	300.5.05.8120.6590
Total HACH COMPANY (2136):				646.74		
<b>HANSEN, JIM (6038)</b>						
092716FAA	FAA AIRPORT COST REIMB	09/27/2016	09/27/2016	270.98	09/16	141.5.05.2200.6240

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Total HANSEN, JIM (6038):				270.98		
<b>HAWKEYE PAVING CORPORATION (5795)</b>						
092316PP7	OSKALOOSA ST PROJECT-PP7	09/23/2016	10/04/2016	487,785.35	09/16	215.5.05.2191.6761
Total HAWKEYE PAVING CORPORATION (5795):				487,785.35		
<b>HD SUPPLY WATERWORKS (ST LOUIS) (2204)</b>						
F981705	VERMEER RD UTILITY PROJECT	08/26/2016	10/04/2016	53,750.16	09/16	310.5.05.8154.6790
F981742	VERMEER RD UTILITY PROJECT	08/26/2016	10/04/2016	44,016.00	09/16	310.5.05.8154.6790
G041221	VERMEER RD UTILITY PROJECT	09/06/2016	10/04/2016	5,700.00	09/16	310.5.05.8154.6790
G067704	VERMEER RD UTILITY PROJECT	09/01/2016	10/04/2016	44,016.00	09/16	310.5.05.8154.6790
G102191	VERMEER RD UTILITY PROJECT	09/09/2016	10/04/2016	44,016.00	09/16	310.5.05.8154.6790
G152124	VERMEER RD UTILITY PROJECT	09/20/2016	10/04/2016	16,244.00	09/16	310.5.05.8154.6790
Total HD SUPPLY WATERWORKS (ST LOUIS) (2204):				207,742.16		
<b>HY-VEE (2328)</b>						
3036045135	SPORTS PARK CONCESSIONS	09/10/2016	10/04/2016	59.89	09/16	100.5.09.4245.6530
3036075991	SPORTS PARK CONCESSIONS	09/10/2016	10/04/2016	7.96	09/16	100.5.09.4245.6530
3039202879	LUNCH FOR BOARD - CC	09/15/2016	10/04/2016	61.99	09/16	100.5.04.4100.6240
3041137847	LETTUCE - SPORTS PARK CONCESSIONS	09/18/2016	10/04/2016	4.00	09/16	100.5.09.4245.6530
3042582387	SNACKS FOR ADULT ART CLASS	09/20/2016	10/04/2016	16.82	09/16	100.5.04.4110.6544
Total HY-VEE (2328)				150.66		
<b>IA ASSN MUNICIPAL UTILIT (2335)</b>						
YM200002325	UG ELECTRIC WORKSHOP - EL	08/19/2016	10/04/2016	690.00	09/16	400.5.06.8588.9720
Total IA ASSN MUNICIPAL UTILIT (2335):				690.00		
<b>IA ASSOC OF COUNTY MEDICAL EXAMINERS (5127)</b>						
092716PD	TRAINING REGISTRATION FEE - PD	10/04/2016	10/04/2016	300.00	09/16	100.5.01.1030.6230
Total IA ASSOC OF COUNTY MEDICAL EXAMINERS (5127):				300.00		
<b>IA CODIFICATION INC (2343)</b>						
09222016	CODE SUPPLEMENTS	09/22/2016	10/04/2016	450.00	09/16	100.5.00.6000.6495
Total IA CODIFICATION INC (2343)				450.00		
<b>IA INSURANCE DIVISION (2375)</b>						
509A-063016	509A FILLING FEE	09/13/2016	09/21/2016	100.00	09/16	191.5.08.9200.6199
Total IA INSURANCE DIVISION (2375):				100.00		
<b>IA ONE CALL (2385)</b>						
184167	LOCATES-EL	09/08/2016	10/04/2016	248.60	09/16	400.5.06.8588.9810
184759	LOCATES-WTP	09/08/2016	10/04/2016	107.10	09/16	300.5.05.8100.6405
184759	LOCATES WWTP	09/08/2016	10/04/2016	107.10	09/16	350.5.05.8330.6405
Total IA ONE CALL (2385):				462.80		
<b>IA PRISON INDUSTRIES (2392)</b>						
941340	SIGN POSTS - SOCCER COMPLEX LO	08/31/2016	10/04/2016	365.55	09/16	100.5.09.4205.6549
941481	SIGNS	09/20/2016	10/04/2016	77.50	09/16	115.5.05.2100.6532

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Total IA PRISON INDUSTRIES (2392):				443.05		
<b>IDEAL READY MIX COMPANY (2429)</b>						
488104	WOODLAWN/PINE	09/03/2016	10/04/2016	1,115.00	09/16	115.5.05.2100.6549
488105	SIDEWALKS	09/03/2016	10/04/2016	390.25	09/16	201.5.05.7115.6790
488105	LIBERTY-OFF ST	09/03/2016	10/04/2016	1,115.00	09/16	201.5.05.7116.6790
488106	CALDWELL WATER LINE CEMENT RE	09/03/2016	10/04/2016	318.00	09/16	100.5.09.4200.6320
488107	CONCRETE	09/03/2016	10/04/2016	784.38	09/16	300.5.05.8130.6398
488725	FRANKLIN ST/BROADWAY	09/10/2016	10/04/2016	1,593.50	09/16	201.5.05.7116.6790
488726	CONCRETE	09/10/2016	10/04/2016	304.50	09/16	310.5.05.8183.6790
Total IDEAL READY MIX COMPANY (2429):				5,620.63		
<b>IDEXX DISTRIBUTION CORPORATION (2432)</b>						
3007400224	LAB TESTING SUPPLIES	09/20/2016	10/04/2016	624.71	09/16	300.5.05.8120.6590
3007400226	LAB TESTING SUPPLIES	09/20/2016	10/04/2016	202.06	09/16	300.5.05.8120.6590
Total IDEXX DISTRIBUTION CORPORATION (2432):				826.77		
<b>INSURANCE STRATEGIES CONSULTIN (2455)</b>						
06302016	509A AUDIT EXPENSE	09/13/2016	10/04/2016	500.00	09/16	191.5.08.9200.6199
Total INSURANCE STRATEGIES CONSULTIN (2455):				500.00		
<b>IOWA HEALTHY HOMES (2476)</b>						
3196	INDOOR POOL CARPET CLEANING	08/18/2016	10/04/2016	219.50	09/16	100.5.04.4300.6310
Total IOWA HEALTHY HOMES (2476):				219.50		
<b>JEFF ELLIS &amp; ASSOCIATES INC. (2518)</b>						
20078506	ELLIS FEE	10/01/2016	10/04/2016	934.58	10/16	100.5.04.4300.6416
Total JEFF ELLIS & ASSOCIATES INC. (2518):				934.58		
<b>JIMMY JOHNS (2523)</b>						
08162016	MEETING EXPENSE - HOUSEACC	08/16/2016	10/04/2016	50.00	09/16	100.5.00.6100.6240
09272016	MEETING EXPENSE - HOUSEACC	09/27/2016	10/04/2016	57.50	09/16	100.5.00.6100.6240
Total JIMMY JOHNS (2523):				107.50		
<b>JOHN DEERE FINANCIAL (2528)</b>						
2693708	TAPE AND GLUE - PD	09/07/2016	10/04/2016	10.78	09/16	100.5.01.1000.6310
2694938	HAND TOWELS, SCREEN, FILTERS	09/09/2016	10/04/2016	53.95	09/16	300.5.05.8120.6590
2696395	SHOP SUPPLIES	09/12/2016	10/04/2016	17.59	09/16	115.5.05.2100.6330
2696475	ELECTRICAL LUGS	09/12/2016	10/04/2016	30.24	09/16	350.5.05.8300.6350
2697034	RAKES/SHOVEL - PK	09/13/2016	10/04/2016	60.95	09/16	100.5.09.4245.6510
2697478	MARKING FLAGS - PK	09/14/2016	10/04/2016	15.98	09/16	100.5.09.4200.6590
2697908	LIGHT BULBS	09/15/2016	10/04/2016	14.95	09/16	350.5.05.8310.6544
2697974	DOOR SWEEP AND SCREWS - PD	09/15/2016	10/04/2016	22.47	09/16	100.5.01.1000.6310
2698554	TOWELS, SEALER, PLUMBING - PK	09/16/2016	10/04/2016	15.27	09/16	100.5.09.4200.6590
2700254	GLUE, CLAMP - CH	09/19/2016	10/04/2016	12.88	09/16	100.5.00.6100.6310
2700405	ST-11	09/19/2016	10/04/2016	9.99	09/16	115.5.05.2100.6330
2700678	SHOP SUPPLIES	09/20/2016	10/04/2016	7.90	09/16	115.5.05.2100.6330
2700842	SAFETY APPAREL - PP	09/20/2016	10/04/2016	120.88	09/16	400.5.06.8549.9020
2700842	MISC. SUPPLIES - PP	09/20/2016	10/04/2016	8.55	09/16	400.5.06.8549.9020
2701174	PAINT, SANDING DISK, & LINER - CC	09/21/2016	10/04/2016	32.90	09/16	100.5.04.4100.6590
2701224	FENCE POSTS - SAFETY FENCE - EL	09/21/2016	10/04/2016	243.32	09/16	400.5.06.8588.9720

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2701288	KILZ FOR WALL IN OLD KITCHEN - CC	09/21/2016	10/04/2016	15.99	09/16	100.5.04.4100.6310
2701904	BALL VALVE - POOL	09/22/2016	10/04/2016	7.59	09/16	100.5.04.4301.6310
2703829	ANTIFREEZE - PK	09/26/2016	10/04/2016	35.88	09/16	100.5.09.4200.6330
2704564	PPE	09/27/2016	10/04/2016	20.97	09/16	115.5.05.2100.6546
2704564	SMALLL TOOLS	09/27/2016	10/04/2016	35.98	09/16	115.5.05.2100.6510
Total JOHN DEERE FINANCIAL (2528):				795.01		
<b>KELLY SUPPLY CO (2579)</b>						
8164731-0	LIGHT BULBS - PK	09/02/2016	10/04/2016	12.88	09/16	100.5.09.4200.6310
8164908-0	LIGHT BULBS - CC	09/13/2016	10/04/2016	12.73	09/16	100.5.04.4100.6590
8164962-0	BULDING MAINTENANCE & REPAIR -	09/21/2016	10/04/2016	217.55	09/16	100.5.04.4300.6310
8165136-0	WIRE TERMINALS - METERING - EL	09/22/2016	10/04/2016	11.20	09/16	400.5.06.8586.9030
Total KELLY SUPPLY CO (2579):				254.36		
<b>KENNEDY, H. RAY (6040)</b>						
1611580102	EE REBATE - AC TUNE UP - EL	09/19/2016	10/04/2016	30.00	09/16	400.2215
Total KENNEDY, H. RAY (6040):				30.00		
<b>KEYSTONE LABORATORIES (2590)</b>						
1Z07479	LEAD & COPPER TESTING	08/30/2016	10/04/2016	1,304.00	09/16	300.5.05.8100.6405
Total KEYSTONE LABORATORIES (2590):				1,304.00		
<b>KLK CONSTRUCTION (2621)</b>						
16074	WATER MAIN BORE	09/20/2016	10/04/2016	1,200.00	09/16	310.5.05.8183.6790
Total KLK CONSTRUCTION (2621):				1,200.00		
<b>KRIZ-DAVIS COMPANY (2667)</b>						
S101401340.001	STREET LIGHT HAND HOLES - EL	09/09/2016	10/04/2016	862.69	09/16	410.5.06.8952.3670
Total KRIZ-DAVIS COMPANY (2667):				862.69		
<b>LANPHIER EXCAVATING LLC (6031)</b>						
214	STORM SEWER REPAIR	08/31/2016	10/04/2016	700.00	09/16	115.5.05.2120.6548
Total LANPHIER EXCAVATING LLC (6031):				700.00		
<b>LAW ENFORCEMENT TARGETS INC (6045)</b>						
0323961-IN	TARGETS - PD	09/22/2016	10/04/2016	146.51	09/16	100.5.01.1030.6230
Total LAW ENFORCEMENT TARGETS INC (6045):				146.51		
<b>LINCOLN NATIONAL (2752)</b>						
3312470674	LIFE & LTD INSURANCE PREMIUM	10/01/2016	10/04/2016	496.80	10/16	191.5.08.9200.6154
3312470674	LIFE & LTD INSURANCE PREMIUM	10/01/2016	10/04/2016	94.40	10/16	191.5.08.9200.6154
3312470674	LIFE & LTD INSURANCE PREMIUM	10/01/2016	10/04/2016	82.80	10/16	191.5.08.9200.6154
3312470674	LIFE & LTD INSURANCE PREMIUM	10/01/2016	10/04/2016	1,253.79	10/16	191.5.08.9200.6155
Total LINCOLN NATIONAL (2752):				1,927.79		
<b>LIND, TAYLOR (2753)</b>						
12-03200-05	CREDIT BALANCE REFUND	09/26/2016	10/04/2016	222.99	10/16	001.1199

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total LIND, TAYLOR (2753):				222.99		
<b>LISCO (2761)</b>						
1650423	RDSL - POLICE	09/07/2016	10/04/2016	51.00	09/16	100.5.01.1040.6373
1653040	RDSL - POLICE	09/07/2016	10/04/2016	5.00	09/16	100.5.01.1040.6373
Total LISCO (2761):				56.00		
<b>LOGAN CONTRACTORS SUPPLY (2769)</b>						
C44897	SPRAY PATCHER	09/14/2016	10/04/2016	3,850.00	09/16	115.5.05.2100.6549
Total LOGAN CONTRACTORS SUPPLY (2769):				3,850.00		
<b>MAHASKA BOTTLING/PEPSI-COLA (2803)</b>						
0122504	CONCESSION ITEMS - SPORTS PARK	09/14/2016	10/04/2016	113.10	09/16	100.5.09.4245.6530
1009265	CONCESSION ITEMS - SOCCER	09/07/2016	10/04/2016	260.70	09/16	100.5.09.4245.6530
1009266	RETURN CONCESSION ITEMS - SOCC	09/07/2016	10/04/2016	37.60-	09/16	100.5.09.4245.6530
Total MAHASKA BOTTLING/PEPSI-COLA (2803):				336.20		
<b>MARION COUNTY PUBLIC HEALTH DEPT (4785)</b>						
091516PD	TRAINING - PD	09/15/2016	10/04/2016	210.00	09/16	100.5.01.1030.6230
Total MARION COUNTY PUBLIC HEALTH DEPT (4785):				210.00		
<b>MARTIN MARIETTA MATERIALS (2842)</b>						
18494751	SOCCER COMPLEX LOT GRAVEL	08/25/2016	10/04/2016	283.21	09/16	100.5.09.4205.6549
18559259	ROCK BILL	08/31/2016	10/04/2016	417.67	09/16	115.5.05.2100.6549
18670862	SPRAY PATCHER/ROCK PILE	09/16/2016	10/04/2016	390.01	09/16	115.5.05.2100.6549
Total MARTIN MARIETTA MATERIALS (2842):				1,090.89		
<b>MARTISOVITSOVA, DANIELA (2847)</b>						
9/19-9/21/16TRAVE	TRAVEL TECHNOLOGY DAYS - EL	09/23/2016	10/04/2016	234.15	09/16	400.5.06.8921.9900
Total MARTISOVITSOVA, DANIELA (2847):				234.15		
<b>MEDIACOM (5331)</b>						
091416PW	INTERNET BILL	09/14/2016	10/04/2016	143.80	09/16	100.5.05.6500.6373
Total MEDIACOM (5331):				143.80		
<b>MENNINGA PEST CONTROL (2913)</b>						
49650	PEST CONTROL - PP	09/21/2016	10/04/2016	59.92	09/16	400.5.06.8549.9020
50054	PEST CONTROL - CC	09/16/2016	10/04/2016	92.00	09/16	100.5.04.4100.6310
50093	PEST CONTROL - CH	09/19/2016	10/04/2016	32.50	09/16	100.5.00.6100.6310
Total MENNINGA PEST CONTROL (2913):				184.42		
<b>METERING &amp; TECHNOLOGY SOLUTIONS (4934)</b>						
7191	WATER METERS	09/08/2016	10/04/2016	2,437.85	09/16	300.5.05.8140.6350
7212	WATER METERS	09/09/2016	10/04/2016	703.07	09/16	300.5.05.8140.6350
Total METERING & TECHNOLOGY SOLUTIONS (4934):				3,140.92		
<b>MID-AM TEXTILES INC (2955)</b>						
090916WTP	JANITORIAL SUPPLIES-TOWELS	09/09/2016	10/04/2016	97.00	09/16	300.5.05.8100.6411

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total MID-AM TEXTILES INC (2955):				97.00		
<b>MIDTOWN TIRE COMPANY (2961)</b>						
163316	ST-15	09/08/2016	10/04/2016	20.00	09/16	115.5.05.2100.6350
163496	TIRE REPAIR	09/14/2016	10/04/2016	32.71	09/16	115.5.05.2100.6350
Total MIDTOWN TIRE COMPANY (2961):				52.71		
<b>MILLIGAN, JOHN (6032)</b>						
79-20112-01	UB REFUND	09/21/2016	09/21/2016	336.92	09/16	001.1100
Total MILLIGAN, JOHN (6032):				336.92		
<b>MISSOURI RIVER ENERGY SERVICES (3001)</b>						
092916	PURCHASED POWER	09/29/2016	09/29/2016	1,549,911.35	09/16	400.5.06.8555.9500
092916	TRANSMISSION	09/29/2016	09/29/2016	142,860.11	09/16	400.5.06.8565.9520
SM00000003638	TECH DAYS REGISTRATION - EL	09/23/2016	10/04/2016	50.00	09/16	400.5.06.8921.9900
Total MISSOURI RIVER ENERGY SERVICES (3001):				1,692,821.46		
<b>MTI DISTRIBUTION INC (3042)</b>						
1087966-00	TORO 4000 REPAIR - #309 - SPORTS	09/08/2016	10/04/2016	399.26	09/16	100.5.09.4245.6350
Total MTI DISTRIBUTION INC (3042):				399.26		
<b>MUNICIPAL SUPPLY INC (3052)</b>						
0634297-IN	DISTRIBUTION SUPPLIES	09/08/2016	10/04/2016	2,490.20	09/16	310.5.05.8183.6790
0634557-IN	VALVE KEY	09/09/2016	10/04/2016	289.00	09/16	300.5.05.8130.6399
0635219-IN	DISTRIBUTION SUPPLIES	09/16/2016	10/04/2016	1,331.25	09/16	310.5.05.8183.6790
0635220-IN	DISTRIBUTION SUPPLIES	09/16/2016	10/04/2016	1,483.88	09/16	310.5.05.8183.6790
0635221-IN	DISTRIBUTION SUPPLIES	09/16/2016	10/04/2016	107.00	09/16	310.5.05.8183.6790
Total MUNICIPAL SUPPLY INC (3052):				5,701.33		
<b>N C L OF WISCONSIN INC (3063)</b>						
378680	STANDARD METHODS MANUEL, THE	09/14/2016	10/04/2016	301.70	09/16	350.5.05.8300.6547
378680	SHIPPING	09/14/2016	10/04/2016	8.08	09/16	350.5.05.8300.6531
Total N C L OF WISCONSIN INC (3063):				309.78		
<b>NACOLATABUA, ALLISON B (6037)</b>						
69-16008-21	CREDIT BALANCE REFUND	09/26/2016	10/04/2016	78.55	10/16	001.1199
Total NACOLATABUA, ALLISON B (6037):				78.55		
<b>NORGAARD, SAMUEL E (6034)</b>						
30-03100-15	DEPOSIT REFUND	09/23/2016	10/04/2016	157.04	09/16	400.2210
Total NORGAARD, SAMUEL E (6034):				157.04		
<b>NORRIS ASPHALT PAVING (3134)</b>						
100627	ASPHALT	09/17/2016	10/04/2016	838.42	09/16	115.5.05.2100.6549
Total NORRIS ASPHALT PAVING (3134):				838.42		
<b>NORTHWAY WELL &amp; PUMP CO (3145)</b>						
14807	REPAIR SHALLOW WELL	08/31/2016	10/04/2016	5,065.75	09/16	310.5.05.8196.6799

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
14808	REPAIR SHALLOW WELL	08/31/2016	10/04/2016	7,196.00	09/16	310.5.05.8196.6799
14809	ABANDON SHALLOW WELL	08/31/2016	10/04/2016	1,245.00	09/16	310.5.05.8196.6799
Total NORTHWAY WELL & PUMP CO (3145):				13,506.75		
<b>NUNNIKHOVEN, CHANDLER (3159)</b>						
00098584	FERTILIZER SPREADER BLADES - REI	09/14/2016	10/04/2016	41.30	09/16	100.5.09.4200.6350
Total NUNNIKHOVEN, CHANDLER (3159):				41.30		
<b>O'HALLORAN INTERNATIONAL INC (3176)</b>						
R100043136:02	ST-17/25	09/20/2016	10/04/2016	575.95	09/16	115.5.05.2100.6350
Total O'HALLORAN INTERNATIONAL INC (3176)				575.95		
<b>OSKALOOSA HERALD (3200)</b>						
083116PZ	LEGAL ADVERTISEMENTS-PZ	08/31/2016	10/04/2016	344.75	09/16	100.5.05.5000.6414
Total OSKALOOSA HERALD (3200):				344.75		
<b>PAYMENTUS GROUP INC (5756)</b>						
US16080274	JULY & AUGUST 2016 TRANSACTION	08/31/2016	10/04/2016	821.84	09/16	100.5.00.6310.6403
Total PAYMENTUS GROUP INC (5756):				821.84		
<b>PELLA CAR CARE (3257)</b>						
0222581	'91 TRUCK REPAIR - PK	09/22/2016	10/04/2016	260.25	09/16	100.5.09.4200.6330
Total PELLA CAR CARE (3257):				260.25		
<b>PELLA COOP ELECTRIC ASSN (3268)</b>						
090816AIR	ELEC BILL-AIRPORT	09/08/2016	10/04/2016	988.46	09/16	100.5.05.2200.6370
Total PELLA COOP ELECTRIC ASSN (3268):				988.46		
<b>PELLA ENGRAVING CO (3272)</b>						
139772	LOCKER NAME TAG - EL	06/22/2016	10/04/2016	13.37	09/16	400.5.06.8588.9950
Total PELLA ENGRAVING CO (3272):				13.37		
<b>PELLA REGIONAL HEALTH CT (3296)</b>						
08052016-EL	RANDOM DRUG SCREENING - EL	08/05/2016	10/04/2016	30.00	09/16	400.5.06.8925.9700
08122016-A	HEP B TITER	09/07/2016	10/04/2016	155.00	10/16	100.5.02.1100.6546
090416PD	HEPATITIS TITER - PD	09/04/2016	10/04/2016	155.00	09/16	100.5.01.1030.6546
090416PWS	DRUG TEST	09/04/2016	10/04/2016	30.00	09/16	115.5.05.2100.6546
09042016-A	VACCINATION & PRE-WORK SCREENI	09/04/2016	10/04/2016	243.00	10/16	100.5.04.4300.6546
Total PELLA REGIONAL HEALTH CT (3296):				613.00		
<b>POMMER, MARY (3363)</b>						
1620580028	EE REBATE - DEHUMIDIFIER - EL	09/27/2016	10/04/2016	10.00	09/16	400.2215
Total POMMER, MARY (3363):				10.00		
<b>POST OFFICE (3371)</b>						
092216	MAIL 12 DAY NOTICES	09/22/2016	09/22/2016	49.57	09/16	300.5.05.8100.6531
092216	MAIL 12 DAY NOTICES	09/22/2016	09/22/2016	44.61	09/16	195.5.05.8400.6531
092216	MAIL 12 DAY NOTICES	09/22/2016	09/22/2016	44.61	09/16	350.5.05.8310.6531

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
092216	MAIL 12 DAY NOTICES	09/22/2016	09/22/2016	59.49	09/16	400.5.06.8921.9020
093016	MAILING UTILITY BILLS	09/30/2016	09/30/2016	1,632.89	09/16	100.5.00.6310.6531
Total POST OFFICE (3371):				1,831.17		
<b>POWER LINE SUPPLY COMPANY (5705)</b>						
56054932	FR SAFETY CLOTHING - EL	08/01/2016	10/04/2016	226.31	09/16	400.5.06.8588.9720
56071982	WIRE TIE #6 ALUMINUM - EL	09/21/2016	10/04/2016	154.74	09/16	400.5.06.8583.9030
Total POWER LINE SUPPLY COMPANY (5705):				381.05		
<b>PRIVATE HOUSING (3395)</b>						
45-13001-08	CREDIT BALANCE REFUND	09/26/2016	10/04/2016	14.74	10/16	001.1199
Total PRIVATE HOUSING (3395):				14.74		
<b>QUILL CORPORATION (3420)</b>						
8928808	OFFICE SUPPLIES-PW	09/07/2016	10/04/2016	100.64	09/16	100.5.05.6500.6543
8928808	OFFICE SUPPLIES-PZ	09/07/2016	10/04/2016	32.55	09/16	100.5.05.5000.6543
9009818	BINDERS - PD	09/09/2016	10/04/2016	51.60	09/16	100.5.01.1050.6543
9093970	FILE FOLDERS - PD	09/13/2016	10/04/2016	60.78	09/16	100.5.01.1030.6543
9287305	CHARGER - CC	09/20/2016	10/04/2016	12.99	09/16	100.5.04.4100.6543
9298099	FILE JACKETS - CC	09/20/2016	10/04/2016	45.99	09/16	100.5.04.4100.6543
Total QUILL CORPORATION (3420)				304.55		
<b>RACOM CORPORATION (3429)</b>						
5B120714	PAGER BATTERY	09/16/2016	10/04/2016	68.00	09/16	100.5.02.1100.6510
Total RACOM CORPORATION (3429):				68.00		
<b>RDG PLANNING &amp; DESIGN (3444)</b>						
30611	CONSULTING SERVICES	07/31/2016	10/04/2016	4,260.00	09/16	100.5.05.5000.6405
Total RDG PLANNING & DESIGN (3444)				4,260.00		
<b>RECYCLE AWAY LLC (5987)</b>						
18273	RECYCLE CONTAINERS FOR PARKS	09/22/2016	10/04/2016	221.25	09/16	100.5.09.4200.6320
18273	RECYCLE CONTAINERS FOR PARKS	09/22/2016	10/04/2016	960.00	09/16	195.5.05.8400.6545
Total RECYCLE AWAY LLC (5987):				1,181.25		
<b>RESCO (3480)</b>						
655926-00	CONDUIT & WIRE - EL	09/09/2016	10/04/2016	2,551.69	09/16	400.5.06.8549.9020
656725-00	DISCONNECT FUSES - EL	09/20/2016	10/04/2016	291.04	09/16	400.5.06.8549.9020
Total RESCO (3480):				2,842.73		
<b>RICHARDS, SARA (6043)</b>						
1620580029	EE REBATE - ES DRYER - EL	09/27/2016	10/04/2016	80.00	09/16	400.2215
1620580030	EE REBATE - ES WASHER - EL	09/27/2016	10/04/2016	50.00	09/16	400.2215
Total RICHARDS, SARA (6043):				130.00		
<b>RSM US LLP (5657)</b>						
R-4913128-019	SCADA ACCESS AUTHENTICATION -	09/06/2016	10/04/2016	15.00	09/16	400.5.06.8588.9950

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total RSM US LLP (5657):				15.00		
<b>RYKEN CONCRETE LIFTING (3580)</b>						
2423	CONCRETE LIFTING	09/16/2016	10/04/2016	1,600.00	09/16	115.5.05.2100.6549
Total RYKEN CONCRETE LIFTING (3580):				1,600.00		
<b>SADLER SIGN/DESIGN (3584)</b>						
15301	BRINKHOFF SIGN - PK	09/20/2016	10/04/2016	881.00	09/16	176.5.09.4220.6544
Total SADLER SIGN/DESIGN (3584):				881.00		
<b>SAFE BUILDING COMPLIANCE &amp; TEC (3587)</b>						
2014	BACK UP BUILDING INSPECTION	08/25/2016	10/04/2016	623.35	09/16	100.5.05.5000.6405
Total SAFE BUILDING COMPLIANCE & TEC (3587):				623.35		
<b>SCHUMACHER ELEVATOR COMPANY (3633)</b>						
90395200	ELEVATOR MAINTENANCE - CH	09/01/2016	10/04/2016	212.12	09/16	100.5.00.6100.6310
90395200	1007552 ELEVATOR MAINT-CC	09/01/2016	10/04/2016	212.11	09/16	100.5.04.4100.6310
Total SCHUMACHER ELEVATOR COMPANY (3633):				424.23		
<b>SCHWEITZER ENGINEERING LABORATORIES INC (4506)</b>						
INV-000058136	SUBSTATION FIBER SWITCHES - EL	09/15/2016	10/04/2016	4,452.00	09/16	400.5.06.8588.9950
INV-000058136	SUBSTATION FIBER SWITCHES - EL	09/15/2016	10/04/2016	4,452.00	09/16	410.5.06.8955.3900
Total SCHWEITZER ENGINEERING LABORATORIES INC (4506):				8,904.00		
<b>SECRETARY OF STATE (3653)</b>						
091616PD	NOTARY - SLYCORD - PD	09/16/2016	10/04/2016	30.00	09/16	100.5.01.1050.6405
Total SECRETARY OF STATE (3653):				30.00		
<b>SISCO (3718)</b>						
180363	FIXED INSURANCE COSTS	09/21/2016	09/21/2016	170.00	09/16	191.5.08.9200.6157
180363	FIXED INSURANCE COSTS	09/21/2016	09/21/2016	54,072.40	09/16	191.5.08.9200.6152
180363	FIXED INSURANCE COSTS	09/21/2016	09/21/2016	683.06	09/16	191.5.08.9200.6196
180363	FIXED INSURANCE COSTS	09/21/2016	09/21/2016	1,500.00	09/16	191.5.08.9200.6196
2213-092016-F	FLEX SPENDING CLAIMS	09/21/2016	09/21/2016	849.97	09/16	191.5.08.9200.6157
2213-092016-M	MEDICAL CLAIMS	09/21/2016	09/21/2016	471.11	09/16	191.5.08.9200.6153
2213-092716-F	FLEX SPENDING CLAIMS	09/27/2016	09/27/2016	931.71	09/16	191.5.08.9200.6157
2213-092716-M	MEDICAL CLAIMS	09/27/2016	09/27/2016	7,120.37	09/16	191.5.08.9200.6153
Total SISCO (3718):				65,798.62		
<b>SMILEY RENTAL, DOUG (6036)</b>						
18-03400-04	CREDIT BALANCE REFUND	09/26/2016	10/04/2016	61.26	10/16	001.1199
Total SMILEY RENTAL, DOUG (6036):				61.26		
<b>SNACK EXPRESS (5397)</b>						
1272	CONCESSION FOOD - SPORTS PARK	09/15/2016	10/04/2016	1,022.00	09/16	100.5.09.4245.6530
1273	CONCESSION FOOD - SOCCER	09/15/2016	10/04/2016	410.00	09/16	100.5.09.4245.6530
Total SNACK EXPRESS (5397):				1,432.00		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
<b>SPORTS PAGE TEAM (3777)</b>						
3148	4 FOOTBALL SHIRTS	09/16/2016	10/04/2016	68.50	09/16	100.5.04.4446.6530
Total SPORTS PAGE TEAM (3777):				68.50		
<b>STAR EQUIPMENT CO (3800)</b>						
01536920	FLOW COLD PLANER RENTAL	09/15/2016	10/04/2016	550.00	09/16	115.5.05.2100.6418
Total STAR EQUIPMENT CO (3800):				550.00		
<b>STRAVERS TRUE VALUE (3838)</b>						
A235492	TOILET CLEANER - CC	09/13/2016	10/04/2016	32.50	09/16	100.5.04.4100.6590
A235503	TOILETRIES - PP	09/13/2016	10/04/2016	41.73	09/16	400.5.06.8549.9020
A235803	TOILET CLEANER - CC	09/20/2016	10/04/2016	32.50	09/16	100.5.04.4100.6590
E58136	HAND TOWELS	08/30/2016	10/04/2016	102.18	09/16	350.5.05.8310.6544
E58280	TOWELS & TRASH LINERS - POOL	09/09/2016	10/04/2016	124.38	09/16	100.5.04.4300.6590
E58450	TAPE - PK	09/23/2016	10/04/2016	18.99	09/16	100.5.09.4200.6590
Total STRAVERS TRUE VALUE (3838):				352.28		
<b>SUMMIT COMPANIES (5585)</b>						
1144097	MONTHLY INSPECTION - EL	09/08/2016	10/04/2016	55.00	09/16	400.5.06.8588.9300
1244611	EXTINGUISHER FILL	09/22/2016	10/04/2016	49.50	09/16	100.5.02.1100.6510
Total SUMMIT COMPANIES (5585):				104.50		
<b>TERRY-DURIN CO (3928)</b>						
335262	2" RED HDPE DUCT - EL	09/12/2016	10/04/2016	7,999.32	09/16	400.5.06.8584.9030
335366	DISTRIBUTION HAND HOLES - EL	09/14/2016	10/04/2016	7,575.60	09/16	410.5.06.8952.3670
Total TERRY-DURIN CO (3928):				15,574.92		
<b>TITAN MACHINERY (3959)</b>						
8294581	GP ASPHALT MILL SUPPLIES	09/14/2016	10/04/2016	43.85	09/16	115.5.05.2100.6549
Total TITAN MACHINERY (3959):				43.85		
<b>TONY'S AUTO PARTS (3968)</b>						
5797-225151	SHOP SUPPLIES	09/07/2016	10/04/2016	43.09	09/16	115.5.05.2100.6330
5797-225522	SHOP TOOLS	09/12/2016	10/04/2016	38.64	09/16	115.5.05.2100.6510
5797-225534	GEAR OIL FOR KUBOTA #302 - PK	09/12/2016	10/04/2016	11.50	09/16	100.5.09.4200.6590
5797-225684	ST-15	09/14/2016	10/04/2016	2.99	09/16	115.5.05.2100.6350
5797-225796	TOOLS AND LINKS - SPORTS PARK	09/15/2016	10/04/2016	25.84	09/16	100.5.09.4245.6510
5797-225836	SHOP SUPPLIES	09/15/2016	10/04/2016	25.56	09/16	115.5.05.2100.6330
5797-226224	AIRPORT-SNOW REMOVAL	09/21/2016	10/04/2016	52.81	09/16	100.5.05.2200.6350
5797-226334	AIR HANDLING UNIT CLEANER - PD	09/22/2016	10/04/2016	8.68	09/16	100.5.01.1000.6310
5797-226335	FUEL FILTER	09/22/2016	10/04/2016	13.37	09/16	350.5.05.8320.6350
5797-226712	WHEEL LOADER REPAIR PARTS - EL	09/28/2016	10/04/2016	54.96	09/16	400.5.06.8588.9660
Total TONY'S AUTO PARTS (3968):				277.44		
<b>TOWN CRIER (3979)</b>						
29750	MANAGER AD - POOL	08/10/2016	10/04/2016	55.00	09/16	100.5.04.4300.6402
29751	HYDRANT FLUSHING AD	08/10/2016	10/04/2016	22.00	09/16	300.5.05.8100.6402
Total TOWN CRIER (3979):				77.00		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
<b>TRAFFIC SAFETY STORE (5217)</b>						
INV000314868	SAFETY CONES - EL	09/26/2016	10/04/2016	661.53	09/16	400.5.06.8588.9720
Total TRAFFIC SAFETY STORE (5217):				661.53		
<b>TRANS-IOWA EQUIPMENT INC (3988)</b>						
P00431	ST-22 PARTS	09/06/2016	10/04/2016	302.38	09/16	115.5.05.2100.6350
Total TRANS-IOWA EQUIPMENT INC (3988):				302.38		
<b>TREASURER STATE OF IOWA (3989)</b>						
00002481	TANK REGISTRATION - PP	09/27/2016	10/04/2016	40.00	09/16	400.5.06.8549.9020
Total TREASURER STATE OF IOWA (3989):				40.00		
<b>UNITED PARCEL SERVICES (4036)</b>						
0000536050396	536050-UPS	09/24/2016	10/04/2016	59.51	09/16	115.5.05.2100.6330
Total UNITED PARCEL SERVICES (4036):				59.51		
<b>UNIVAR USA INC (4040)</b>						
BR564722-1	FERRIC- TRANSPORTATION SURCHA	07/07/2016	10/04/2016	150.00	09/16	300.5.05.8120.6503
Total UNIVAR USA INC (4040):				150.00		
<b>US CELLULAR (4047)</b>						
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	44.90	09/16	400.5.06.8588.9920
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	10.14	09/16	400.5.06.8549.9020
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	65.13	09/16	100.5.05.6500.6373
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	34.13	09/16	300.5.05.8100.6373
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	46.91	09/16	400.5.06.8584.9030
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	23.45	09/16	350.5.05.8330.6373
0155200269	491953432-CELL PHONES	09/12/2016	10/04/2016	23.46	09/16	300.5.05.8100.6373
Total US CELLULAR (4047):				248.12		
<b>USA BLUE BOOK (4050)</b>						
057610	DISTRIBUTION TOOLS	09/12/2016	10/04/2016	448.84	09/16	300.5.05.8130.6510
Total USA BLUE BOOK (4050):				448.84		
<b>VAN BERKUM APPLIANCE (4061)</b>						
7766	SHOP/CONCESSION VACUUM BAGS	08/31/2016	10/04/2016	224.90	09/16	100.5.09.4200.6590
Total VAN BERKUM APPLIANCE (4061):				224.90		
<b>VAN ESSEN AUTO (4075)</b>						
080216PD	VEHICLE EXPENSE - PD	08/02/2016	10/04/2016	142.63	09/16	100.5.01.1030.6330
080816PD	VEHICLE EXPENSE - PD	08/08/2016	10/04/2016	196.84	09/16	100.5.01.1030.6330
080916PD	VEHICLE EXPENSE - PD	08/09/2016	10/04/2016	42.15	09/16	100.5.01.1030.6330
081016PD	VEHICLE EXPENSE - PD	08/10/2016	10/04/2016	41.90	09/16	100.5.01.1030.6330
081216PD	VEHICLE EXPENSE - PD	08/12/2016	10/04/2016	825.36	09/16	100.5.01.1030.6330
081516PD	VEHICLE EXPENSE - PD	08/15/2016	10/04/2016	104.10	09/16	100.5.01.1030.6330
Total VAN ESSEN AUTO (4075):				1,352.98		
<b>VAN MAANEN SEED &amp; CHEM (4117)</b>						
090116PWS-CR	CREDIT-VEG CONTROL	09/01/2016	10/04/2016	152.25	09/16	115.5.05.2100.6545

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
091316PWS	VEG CONTROL	09/13/2016	10/04/2016	176.25	09/16	115 5.05.2100.6545
Total VAN MAANEN SEED & CHEM (4117):				24 00		
<b>VAN ROEKEL, NANCY (4127)</b>						
1611580103	EE REBATE - HVAC - EL	09/19/2016	10/04/2016	425.00	09/16	400.2215
Total VAN ROEKEL, NANCY (4127):				425.00		
<b>VAN SITTERT PLBG &amp; HTG (4131)</b>						
2559	HOOK UP WATER LINE AT CALDWELL	09/09/2016	10/04/2016	508.53	09/16	100 5.09.4200.6310
Total VAN SITTERT PLBG & HTG (4131):				508.53		
<b>VANDER PLOEG BAKERY (4209)</b>						
50252	BIRTHDAY CAKE - POOL	09/10/2016	10/04/2016	17.00	09/16	100.5.04 4300.6590
Total VANDER PLOEG BAKERY (4209)				17.00		
<b>VAN-WALL EQUIPMENT (5434)</b>						
402605	JD 2720GLASS REPAIR - PK	09/15/2016	10/04/2016	664.73	09/16	100.5.09.4200.6350
Total VAN-WALL EQUIPMENT (5434):				664.73		
<b>VDB ENTERPRISES (4233)</b>						
3406	NEW AMERICAN FLAGS - PK	07/12/2016	10/04/2016	682.50	09/16	100.5.09.4200.6590
3427	FLAGS - PK	08/02/2016	10/04/2016	396 30	09/16	100.5.09.4200.6590
Total VDB ENTERPRISES (4233)				1,078 80		
<b>VEENSTRA, SHAWN (4242)</b>						
092216PD	MEALS - PD	09/22/2016	10/04/2016	16 11	09/16	100.5.01.1030.6260
092216PD	FUEL - PD	09/22/2016	10/04/2016	46.90	09/16	100.5.01.1030.6514
Total VEENSTRA, SHAWN (4242):				63.01		
<b>VISSER, KACI (4270)</b>						
092616PD	LODGING - PD	09/26/2016	10/04/2016	199.82	09/16	100.5.01.1030.6260
092616PD	LODGING/MEALS - PD	09/26/2016	10/04/2016	215.62	09/16	100.5.01.1010.6260
Total VISSER, KACI (4270):				415 44		
<b>VOS, ADRIAN (6039)</b>						
1620580027	EE REBATE - EL	09/19/2016	10/04/2016	20.00	09/16	400.2215
Total VOS, ADRIAN (6039):				20.00		
<b>VRIEZELAAR, VIVIAN (4300)</b>						
09192016	CIVIC SYMPOSIUM REIMBURSEMENT	09/19/2016	10/04/2016	779.77	09/16	100.5.00.6100.6260
Total VRIEZELAAR, VIVIAN (4300):				779.77		
<b>WALMART COMMUNITY (4312)</b>						
000230	SOCCER CONCESSION ITEMS	09/09/2016	10/04/2016	31.55	09/16	100.5.09.4245.6530
002274	MISC. SUPPLIES	08/19/2016	10/04/2016	15.17	09/16	100.5.00.6100.6543
003049	RETURN FOOTBALL	08/26/2016	10/04/2016	9.97-	09/16	100.5.04.4446.6510
003465	MOUTH GUARDS	08/24/2016	10/04/2016	7.76	09/16	100.5.04.4446.6530
003465	FOOTBALLS	08/24/2016	10/04/2016	59.82	09/16	100.5.04.4446.6510

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
003981	HEADLIGHT - PD	08/26/2016	10/04/2016	10.97	09/16	100.5.01.1030.6330
004451	SPORTS PARK CONCESSION ITEMS	09/10/2016	10/04/2016	6.67	09/16	100.5.09.4245.6530
005314	MISC. SUPPLIES	08/31/2016	10/04/2016	29.99	09/16	100.5.00.6100.6543
005735	PLASTIC BAGS - PD	08/20/2016	10/04/2016	1.96	09/16	100.5.01.1000.6310
006504	OFFICE SUPPLIES	09/06/2016	10/04/2016	49.70	09/16	100.5.05.6500.6543
006624	FOOTBALLS	08/24/2016	10/04/2016	69.79	09/16	100.5.04.4446.6510
007008	TRASH BAGS - PD	08/29/2016	10/04/2016	59.40	09/16	100.5.01.1000.6411
007343	BUILDING SUPPLIES	09/07/2016	10/04/2016	46.67	09/16	300.5.05.8120.6590
008023	CITIZEN POLICE ACADEMY FOOD - P	09/12/2016	10/04/2016	31.88	09/16	100.5.01.1050.6240
008024	MTGS & CONFERENCES- PZ	09/08/2016	10/04/2016	43.72	09/16	100.5.05.5000.6240
008124	BATTERIES - PD	09/07/2016	10/04/2016	41.91	09/16	100.5.01.1030.6544
008163	FOOTBALLS	08/24/2016	10/04/2016	49.85	09/16	100.5.04.4446.6510
009580	MOUTH GUARDS	08/15/2016	10/04/2016	9.70	09/16	100.5.04.4446.6530
024616	OFFICE SUPPLIES	08/24/2016	10/04/2016	13.13	09/16	300.5.05.8120.6543
030882	BUILDING SUPPLIES	08/30/2016	10/04/2016	27.29	09/16	300.5.05.8120.6590
Total WALMART COMMUNITY (4312):				596.96		
<b>WARD, WALTER T (6041)</b>						
1611580104	EE REBATE - AC TUNE-UP - EL	09/19/2016	10/04/2016	30.00	09/16	400.2215
Total WARD, WALTER T (6041):				30.00		
<b>WEDEKIND, MICHAEL (6044)</b>						
1611580106	EE REBATE - HVAC - EL	09/27/2016	10/04/2016	425.00	09/16	400.2215
Total WEDEKIND, MICHAEL (6044):				425.00		
<b>WESCO DISTRIBUTION INC (4357)</b>						
474196	METERING VOLTAGE TRANSFORMER	09/13/2016	10/04/2016	2,818.12	09/16	400.5.06.8586.9030
475717	STREET LIGHT FUSE KITS - EL	09/14/2016	10/04/2016	721.98	09/16	400.5.06.8585.9030
477646	FIBER TERMINATION CASSETTES - EL	09/16/2016	10/04/2016	2,001.37	09/16	410.5.06.8955.3900
478876	2 1/2" EXPANSION COUPLINGS - EL	09/19/2016	10/04/2016	255.00	09/16	400.5.06.8584.9030
480915	STREET LIGHT FUSES - EL	09/21/2016	10/04/2016	299.60	09/16	400.5.06.8585.9030
Total WESCO DISTRIBUTION INC (4357):				6,096.07		
<b>WESSELHOFT, GEORGE (4359)</b>						
09232016	SUPPLEMENTAL LIFE REIMBURSEME	09/23/2016	10/04/2016	12.75	09/16	100.5.05.5000.6010
Total WESSELHOFT, GEORGE (4359):				12.75		
<b>WINDSTREAM IOWA COMMUNICATIONS (4413)</b>						
091516WWTP	FAX LINE	09/15/2016	10/04/2016	26.64	09/16	350.5.05.8310.6373
091916COLL/DIST	PHONE SERVICE	09/19/2016	10/04/2016	46.18	09/16	350.5.05.8330.6373
091916COLL/DIST	PHONE SERVICE	09/19/2016	10/04/2016	46.17	09/16	300.5.05.8130.6373
Total WINDSTREAM IOWA COMMUNICATIONS (4413):				118.99		
<b>WOODMAN CONTROLS COMPANY (6046)</b>						
160959A	HVAC REPAIR - POOL	09/14/2016	10/04/2016	410.00	09/16	100.5.04.4300.6310
Total WOODMAN CONTROLS COMPANY (6046):				410.00		
<b>XCESSORIES SQUARED DEV&amp;MFG INC (4448)</b>						
I-00046228	SIGNAGE PARTS	09/09/2016	10/04/2016	134.00	09/16	115.5.05.2100.6532

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Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
	Total XCESSORIES SQUARED DEV&MFG INC (4448):			134.00		
	Grand Totals			3,497,002.80		

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Report GL Period Summary

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GL Period	Amount
10/16	7,085.41
09/16	3,489,917.39

Vendor number hash: 0  
Vendor number hash - split: 0  
Total number of invoices: 0  
Total number of transactions: 0

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Report Criteria:

Vendor Vendor number = {<>} 2022  
Vendor Vendor number = {<>} 3295  
Invoice Detail Input date = 09/21/2016-10/04/2016

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## Report Criteria:

Paid transmittals included  
Unpaid transmittals included

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
1							
1	EFTPS	0	09/24/2016	74-00	SOCIAL SECURITY Pay Period: 9/24/2	100.2165	10,667.26
1	EFTPS	0	09/24/2016	74-00	SOCIAL SECURITY Pay Period: 9/24/2	100.2165	10,667.26
1	EFTPS	0	09/24/2016	75-00	MEDICARE Pay Period: 9/24/2016	100.2165	3,083.49
1	EFTPS	0	09/24/2016	75-00	MEDICARE Pay Period: 9/24/2016	100.2165	3,083.49
1	EFTPS	0	09/24/2016	76-00	FEDERAL WITHHOLDING TAX Pay Pe	100.2165	22,196.24
Total 1:							49,697.74
2							
2	IOWA DEPARTMENT OF	0	09/24/2016	77-00	STATE WITHHOLDING TAX Pay Period	100.2166	9,371.33
2	IOWA DEPARTMENT OF	0	09/24/2016	77-00	STATE WITHHOLDING TAX	100.5.00.6100.6502	.33-
Total 2:							9,371.00
3							
3	IPERS	0	09/24/2016	50-01	IPERS-REGULAR Pay Period: 9/24/201	100.2160	9,929.14
3	IPERS	0	09/24/2016	50-01	IPERS-REGULAR Pay Period: 9/24/201	100.2160	14,902.03
3	IPERS	0	09/24/2016	50-02	IPERS-ELECTED Pay Period: 9/24/201	100.2160	27.46
3	IPERS	0	09/24/2016	50-02	IPERS-ELECTED Pay Period: 9/24/201	100.2160	41.21
3	IPERS	0	09/24/2016	50-01	IPERS-REGULAR	100.5.00.6100.6502	.17
Total 3:							24,900.01
4							
4	MUNICIPAL FIRE & POLI	0	09/24/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	3,653.66
4	MUNICIPAL FIRE & POLI	0	09/24/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	10,074.82
4	MUNICIPAL FIRE & POLI	0	09/24/2016	51-01	MFPRSI-POLICE PENSION	100.5.00.6100.6502	.20-
Total 4:							13,728.28
5							
5	ICMA-457	0	09/24/2016	52-01	ICMA RETIREMENT 457 Pay Period: 9/	100.2169	3,630.00
5	ICMA-457	0	09/24/2016	52-02	ICMA RETIREMENT 457%(GROSS) Pa	100.2169	617.15
Total 5:							4,247.15
6							
6	ICMA-401	0	09/24/2016	53-00	401A Pay Period: 9/24/2016	100.2167	787.38
Total 6:							787.38
7							
7	ICMA-ROTH	0	09/24/2016	52-05	ICMA ROTH IRA Pay Period: 9/24/2016	100.2171	1,222.30
Total 7:							1,222.30
8							
8	AFLAC	0	09/24/2016	42-00	AFLAC SHORT TERM DISABILITY Pay	100.2152	57.50
Total 8:							57.50

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
11	11 CHILD SUPPORT RECOV	0	09/24/2016	56-01	CHILD SUPPORT-FLAT AMT Pay Perio	100.2158	556.14
Total 11:							556.14
13	13 METLIFE SMALL BUSINE	0	09/24/2016	41-02	DENTAL-FAMILY Pay Period: 9/24/201	191.4.08.9200.4795	72.20
	13 METLIFE SMALL BUSINE	0	09/24/2016	41-02	DENTAL-FAMILY RB	191.5.08.9200.6158	151.29
Total 13:							79.09
Grand Totals:							104,488.41

Report Criteria:

- Paid transmittals included
- Unpaid transmittals included

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<u>Name</u>	<u>Pay Date</u>	<u>Description</u>	<u>GL Account</u>	<u>Amount</u>
ACH	9/30/2016	DIRECT DEPOSITS	100.2010	141,914.40
CHECK RUN	9/30/2016	PAYCHECKS	100.2010	5,723.84

Grand Totals:

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147,638.24

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