

CITY OF PELLA, IOWA
TENTATIVE CITY COUNCIL MEETING AGENDA
September 6, 2016–7:00 p.m. – Public Safety Complex
Liberty Street Entrance

A. CALL TO ORDER BY MAYOR AND ROLL CALL

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
 - a. None
2. Approval of tentative agenda.
3. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

(Public comments are limited to 3 minutes.)

C. APPROVAL OF CONSENT AGENDA

"Consent Agenda" means that all items listed below will be automatically approved with one Roll Call vote approving the "Consent Agenda". Any City Council member may ask to pull an item from the "Consent Agenda" for discussion and a separate vote. The purpose of a "Consent Agenda" is to expedite routine items and allow Council time to discuss more important matters."

1. Approval of Minutes
 - a. Official Council Minutes for August 16, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for August 16, 2016.
 - b. Library Board Minutes for July 12, 2016.
 - c. Planning and Zoning Commission Minutes for August 8, 2016.
 - d. Board of Adjustment Minutes for June 28, 2016.
3. Petitions and Communications
 - a. Special Event—MidWestOne—Meal on the Molengracht.
 - b. Renewal of Class C Liquor License with Sunday Sales for El Charro.
 - c. Renewal of Class C Liquor License with Outdoor Service and Sunday Sales for Jo's Octagon.
4. Administration Reports
 - a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Rezoning the Three Parcels in the 500 Block of Monroe Street from Single Family Moderate Density (R1B) to Institutional (INS). (Pella Regional Health Center).
1. b. Ordinance No. 914 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP". (1st Reading)
 2. a. Public Hearing on Rezoning Property Located at 505-513 Main Street and 705 Union Street from Mixed Use Urban Commercial Corridor (CUC) to Planned Unit Development (PUD).
 2. b. Ordinance No. 915 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY LOCATED AT 505-513 MAIN STREET, AND 705 UNION STREET, CITY OF PELLA, MARION COUNTY, IOWA". (1st Reading)

E. PETITIONS & COMMUNICATIONS

- 1a. Special Event—Pella in Pink.
- 1b. Resolution No. 5713 entitled, "RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "PELLA IN PINK".

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

NONE

H. RESOLUTIONS

1. Resolution No. 5714 entitled, "RESOLUTION ORDERING PLANS AND SPECIFICATIONS, FORM OF CONTRACT, NOTICE TO BIDDERS, SETTING THE PUBLIC HEARING, AND AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING ELECTRICAL MATERIALS---VERMEER ROAD UTILITY PROJECT, PELLA, IOWA".

2. Resolution No. 5715 entitled, "RESOLUTION APPROVING THE STREET FINANCE REPORT FOR FISCAL YEAR ENDING JUNE 30, 2016".

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

J. CLAIMS

1. Abstract of bills No. 1966.

K. OTHER BUSINESS/*PUBLIC FORUM (any additional comments from the Public)

(Public comments are limited to 3 minutes.)

L. CLOSED SESSION

1. Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

M. ADJOURNMENT

NOTICE: Items to be presented to the City Council must be in the hands of the City Clerk no later than 4:00 p.m. on the Monday before the week of the Council meeting. A packet containing the agenda and documentation for each item listed on the agenda is then prepared on Friday and delivered to each Councilmember. The next regular Council meeting is scheduled for September 20, 2016. The deadline for items is September 12, 2016. *The CITY OF PELLA encourages all citizens of Pella to attend Council meetings. Our Council Chambers are handicapped accessible and City Staff are available to give assistance if needed. If you are hearing impaired or vision impaired or a person with Limited English Proficiency and require an interpreter or reader, please contact City Hall by NOON on the Monday prior to Council meetings to arrange for assistance. (641-628-4173). TTY telephone service available for the hearing impaired through Relay Iowa 1-800-735-2942.*

**CITY OF PELLA, IOWA
CITY COUNCIL
OFFICIAL MINUTES
August 16, 2016**

A. CALL TO ORDER BY MAYOR AND ROLL CALL

The City Council of the City of Pella, Iowa, met in regular session at the Public Safety Complex meeting room at 7:00 p.m., Mayor Pro Tem Mark De Jong presiding. Members present were: Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson. Absent: Mayor Jim Mueller. City Administrator Mike Nardini, City Attorney Bob Stuyvesant, and City Clerk Ronda Brown were present. Eight staff members and seven members of the general public signed the register.

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
 - a. None
2. Approval of tentative agenda. Councilmember Vander Beek moved to approve the tentative agenda, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.
3. Oath of Office for New Police Officer Devin Mandi.

SUBJECT: New Hire for Position of Police Officer – Devin Mandi

DATE: August 16, 2016

BACKGROUND:

Devin Mandi has accepted a position as a sworn police officer with the City of Pella. Devin is a 2011 graduate of Winterset HS and attended Central College in Pella where he served as an orientation leader and student ambassador. In May of 2015, he earned a B.A. degree in Sociology.

Mr. Mandi also served as an intern at the Pella PD during the spring semester of 2015. For the past fourteen (14) months, he has worked at Broadlawns Medical Center in Des Moines as a Public Safety Officer. Mr. Mandi is scheduled to attend the Iowa Law Enforcement Academy's 270th Basic Academy Class beginning August 22, 2016.

ATTACHMENTS: Oath

REPORT PREPARED BY: Robert A. Bokinsky, Chief of Police

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Administer Oath of Office

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

NONE

C. APPROVAL OF CONSENT AGENDA

Councilmember Schiebout moved to approve the consent agenda, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried. The following items were approved:

1. Approval of Minutes
 - a. Official Council Minutes for August 2, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for August 2, 2016.

Policy and Planning Minutes

August 2, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson

ABSENT: None

OTHERS: City Staff and Visitors

The Policy and Planning meeting began at 7:45 p.m. The only agenda item was a discussion on the update for the Personnel Policy Manual.

As background, over the past eleven months the City's Departments, along with assistance from legal counsel, have performed a thorough review of the City's personnel manual to ensure compliance with state and federal relations. Several new sections and policies have been added and many existing sections have been expanded to enhance employee understanding of the section. In addition, care has been taken to delete any unnecessary language or any implied contractual statements. It should be noted that with this update, the Personnel Manual is also applicable to Collective Bargaining Agreement (CBA) employees. The following sections were an area of focus during the review process:

Drug and Alcohol Policy

Historically, the City's personnel policy did not address drug and alcohol testing for employees who were not required to possess a CDL as part of their position. The proposed personnel manual includes possible drug and alcohol testing for non-CDL positions based on the employee's job description, reasonable suspicion and post workplace accidents. This revision meets current industry best practices and provides additional flexibility in ensuring the safety of the City's workforce.

Social Media Policy

The proposed personnel manual includes new sections focusing on the use of social media for the City and also for personal use. All city accounts are required to be utilized for the benefit of the City and in a professional and beneficial manner. The use of personal social media accounts must refrain from libelous, defamatory, obscene or maliciously false behavior directed at City officials.

After a brief discussion, staff was directed to move forward with the updated Personnel Policy Manual and list it on the August 16th agenda for Council consideration. If approved by Council, the new policy manual update would be distributed to all full-time and regular part-time employees including Public Works union and Electric union employees.

The meeting adjourned at 7:52 p.m.

Respectfully Submitted,
Ronda Brown, City Clerk

3. Petitions and Communications

a. None

4. Administration Reports

a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

NONE

E. PETITIONS & COMMUNICATIONS

1. New Sunday Sales Privilege on Class C Liquor License for The Lamp Post Lounge. Councilmember Peterson moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Vander Beek. NAYS: Peterson, De Jong, Bokhoven, Van Stryland, Schiebout. Motion failed.

SUBJECT: Adding Sunday Sales Privilege for The Lamp Post Lounge

DATE: August 16, 2016

BACKGROUND: The Lamp Post Lounge, located at 813 Washington Street, has applied for the Sunday Sales Privilege on their Class C liquor license which would allow the Lamp Post Lounge to sell alcohol on Sundays from 8:00 a.m. to 2:00 a.m. on Monday morning. The term for the Sunday Sales privilege would be thru October 30, 2016 which is the date their current liquor license expires.

As Council is aware, in November of 2015 a conditional liquor license renewal was approved for the Lamp Post Lounge. The primary condition involved with the renewal was the development of an action plan to prevent future alcohol license violations. In addition, the Lamp Post Lounge was also informed future violations could result in revocation of their liquor license. While the Lamp Post Lounge did comply in submitting a plan of action staff is still concerned about the establishment's ability to meet their requirements of their liquor license. Specifically, the Lamp Post Lounge needs to show they have both 'good financial standing' and a 'good reputation' to maintain their license. After discussing this matter with the Pella Police Department, staff believes it is questionable whether the Lamp Post Lounge satisfies the 'good reputation' requirement for their liquor license.

Before granting this request Council should decide if a thorough evaluation should be performed before an expansion of the liquor services is allowed for the Lamp Post Lounge. Staff was tentatively planning on performing this evaluation as a part of the Lamp Post Lounge's liquor license renewal in October of 2016.

ATTACHMENTS: Sunday Sales Privilege Application; Staff report for 2015 Liquor License Renewal

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Council decision.

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

1. Police-Trick or Treat "Beggar's Night" October 31, 2016 from 6-8 p.m. Councilmember Bokhoven moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Bokhoven, Vander Beek, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried.

SUBJECT: Trick or Treat in Pella (Beggar's Night)

DATE: August 16, 2016

BACKGROUND: In the past, the City of Pella has designated one evening around Halloween as Beggar's Night. It is the City's intent to continue this tradition and designate Monday, October 31, 2016, as "Beggar's Night." The hours identified for this activity are 6:00 P.M. to 8:00 P.M.

Other communities, the Chamber and schools were solicited for their input regarding "Beggar's Night!" with the following results:

Oskaloosa - Business participation and a parade are scheduled for the 31st of October

Knoxville - Designated the 31st of October as Beggar's Night

Pella Chamber of Commerce – Historically the retail members and downtown businesses do not advertise special activities associated with beggar's night.

Pella Community Schools – Volleyball varsity regional tournament

Pella Christian Schools – Nothing listed

First round football playoff games are scheduled for October 28 with a weather delay game scheduled for October 29.

ATTACHMENTS: None

REPORT PREPARED BY: Robert A. Bokinsky, Chief of Police

REPORT REVIEWED BY: CITY ADMINISTRATOR

RECOMMENDATION: Proclaim Monday, October 31, 2016, as "Beggar's Night" for the City of Pella from 6:00 P.M. until 8:00 P.M.

H. RESOLUTIONS

1. Resolution No. 5712 entitled, "RESOLUTION ADOPTING REVISED PERSONNEL MANUAL". Councilmember Schiebout moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Schiebout, Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

SUBJECT: Resolution Adopting the Revised Personnel Manual

DATE: August 16, 2016

BACKGROUND:

At the August 2, 2016 Policy and Planning meeting, Council discussed the updates made to the City's Personnel Policy Manual. At the conclusion of the discussion, Council directed staff to proceed with a resolution adopting the revised Personnel Manual.

As background, over the past eleven months the City's Departments, along with assistance from legal counsel, have performed a thorough review of the City's Personnel Manual to ensure compliance with state and federal relations. Several new sections and policies have been added and many existing sections have been expanded to enhance employee understanding of the section. In addition, care has been taken to delete any unnecessary language or any implied contractual statements. It should be noted that with this update, the Personnel Manual is also applicable to Collective Bargaining Agreement (CBA) employees. The following sections were an area of focus during the review process:

Drug and Alcohol Policy

Historically, the City's personnel policy did not address drug and alcohol testing for employees who were not required to possess a CDL as part of their position. The proposed personnel manual includes possible drug and alcohol testing for non-CDL positions based on the employee's job description, reasonable suspicion and post workplace accidents. This revision meets current industry best practices and provides additional flexibility in ensuring the safety of the City's workforce.

Social Media Policy

The proposed personnel manual includes new sections focusing on the use of social media for the City and also for personal use. All city accounts are required to be utilized for the benefit of the City and in a professional and beneficial manner. The use of personal social media accounts must refrain from libelous, defamatory, obscene or maliciously false behavior directed at City officials.

Several other sections of the policy were amended or added to ensure compliance with new and existing employment requirements. A summary of the changes can be found included with this memo.

Following approval by Council, the policy manual update will be distributed to all employees including Public Works and Electric union employees.

ATTACHMENTS: Resolution, Summary of Changes, Revised Personnel Manual on file at City Hall

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: City Administrator

City Clerk

RECOMMENDED ACTION: Approve resolution.

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 913 entitled, "AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP". Councilmember Peterson moved to place Ordinance No. 913 on its third and final reading, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Peterson, Van Stryland, Schiebout, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried. Councilmember Schiebout moved that Ordinance No. 913 be adopted, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Mayor Pro Tem De Jong declared the motion carried and the ordinance duly passed and adopted.

SUBJECT: Rezoning for Pella Christian Grade School

DATE: August 2, 2016 (3rd Reading)

BACKGROUND:

Pella Christian Grade School is requesting to rezone three properties located at 302 Liberty Street, 301 Franklin Street, and 219 Franklin Street from R2 Two Family Residential to INS Institutional District. The purpose of the rezoning request is to support the proposed 40,000 square foot addition to the current Pella Christian Grade School. It is staff's understanding the proposed properties for this rezoning application will be used for additional parking and driveway access for Pella Christian Grade School. The parcel sizes are as follows: 302 Liberty Street: 16,512 square feet; 301 Franklin Street: 9,600 square feet; 219 Franklin Street: 20,000 square feet.

Zoning

The current zoning for these properties is R2 Two Family Residential. This district is intended to provide locations for medium density residential areas for single-family and two-family use with supporting and appropriate community facilities. Its regulations are intended to minimize traffic congestion and to assure that density is consistent with the carrying capacity of infrastructure.

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

Staff does not believe there are any spot zoning concerns associated with this request because these properties are adjacent and in close proximity to an existing institutional use.

Comprehensive Plan

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Low Density Residential. However, it is also important to note, Pella Christian Grade School abuts two of these properties and is in close proximity to the third. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses.

Summary

This proposed ordinance would amend the boundaries of the INS District to include three parcels of land owned by Pella Christian Grade School (302 Liberty Street, 301 Franklin Street, and 219 Franklin Street) from R2 Two Family Residential to INS Institutional District. If the ordinance is approved, a resolution to amend the Comprehensive Plan, Future Land Use Map will be submitted for Council consideration at a future meeting.

It should be noted, the Planning and Zoning Commission at their June 27, 2016 meeting approved the rezoning on a 10 to 0 vote and also recommended an amendment to the Comprehensive Plan, Future Land Use Map on a 10 to 0 vote.

ATTACHMENTS: Ordinance

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Consider Planning and Zoning recommendation and approve rezoning request.

J. CLAIMS

1. Abstract of bills No. 1965. Councilmember Schiebout moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Schiebout, Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

K. OTHER BUSINESS/*PUBLIC FORUM (any additional comments from the Public)

Comments were received and addressed.

L. CLOSED SESSION

NONE

M. ADJOURNMENT

There being no further business claiming their attention, Councilmember Vander Beek moved to adjourn, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Vander Beek, Bokhoven, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried. Meeting adjourned at 7:31 p.m.

C-2-a

Policy and Planning Minutes
August 16, 2016

No meeting was held.

Respectfully Submitted,
Ronda Brown, City Clerk

PELLA PUBLIC LIBRARY
Board of Trustees Meeting
July 12, 2016

I. Call To Order: President Rebecca Manifold called the meeting to order at 4:03 p.m. Board members present were: Alli Bogaard, Kenny Nedder, Jane Koogler, John Evenhouse, Praveen Mohan, and Rachel Sparks. Library Director Wendy Street was present. Kenny Nedder and Praveen Mohan will both be absent next month.

II. Recognition of Visitors and Visitor Comments: None

III. Approval of Agenda: There were no changes to the agenda. The agenda stood as approved.

IV. Disposition of Minutes: All Board members received the June minutes prior to the meeting. Alli moved to approve the minutes. Praveen seconded the motion and it carried. The minutes were unanimously approved.

V. Approval of Bills: All Board members received the July list of bills prior to the meeting. Two additional bills have come in since the report was distributed. They were maintenance on the copier and color copier. On the report the amounts for the water and the electric bill were swapped. There is a payment for the replacement of a Launchpad on the report, however the patron who broke the device did pay for the replacement. The Board discussed the bills and questions were answered. Praveen moved to approve the bills. Kenny seconded the motion and it carried. The bills were unanimously approved.

VI. Unfinished Business: None

VII. New Business:

- a. Election of officers – Slate is as follows: Rebecca as President, Praveen as Vice President, Alli as Secretary. Kenny moved to approve the slate of officers. Jane seconded the motion and it carried.
- b. FY15/16 statistics – Due to the transition between the old and new systems it is virtually impossible to get accurate statistics for January. Therefore until the varying reports can be reconciled, Wendy will not be able to provide analysis of the statistics. General discussion was held regarding this topic. Circulation has decreased 5% and this is consistent with national trends.
- c. Progress report on Plan for Service – The board discussed the progress on the Plan for Service. There were a few topics that stood out. One was that the library is continuing to try to add different evening activities for families. Recently an outdoor game night was hosted by the library. The attendance was less than the library staff had hoped for, however weather may have been a factor. There is another one scheduled for next month. Another topic discussed was the "Book a Librarian" service. This service has not been advertised too much in the past, as most services that patrons want from a one-on-one session with a librarian are computer related and the computer classes offered at the library filled this need. Attendance at the computer classes is decreasing and this service may be offered instead of computer classes. We also discussed the number of visits to the library website. It is through the city of Pella and we are limited on what we can put up there and/or change. The number of visits are up this year, but over the last 5 years it has decreased. We do have many other ways of connecting with patrons such as Facebook, email, etc. The last topic discussed was that the report reflected that we had met all state standards but one. Wendy did some research following the meeting and determined that we actually did meet all state standards.

VIII. President's Report and Announcements:

- a. Committee assignments: Alli, Praveen, and Kenny are on the Personnel Committee and John, Jane, and Rachel are on the Governance Committee.

IX. Director's Report:

A. Summer Reading

As of July 8, we have given out 1,150 reading logs and awarded 1,236 prizes.

B. Building and grounds

The bill from Halvorson Trane in your packets is for the work they did on the HVAC in May. We had an additional service call on July 5.

C. Staff activities

Youth Services Librarian: On Thursday, June 30, we had a program called Pockets Full of Fun by Lisa Laird from Orange City, Iowa. The program was puppets and a ventriloquist. She did a wonderful job and we have heard very positive comments from kids and parents. Katie is keeping busy with all the summer reading programs and prizes.

Assistant Director: This month I oversaw the installation and configuration of a new wireless "802.11ac" access point. 4G internet backup will be installed in July (we are still working on the installation. A 3rd wireless access was installed). I completed two staff performance evaluations. On a professional development note, I have completed work on the textbook "Crash Course in Technology Planning." It will be published by Libraries Unlimited, a division of ABC-CLIO, and will go on sale July 31, 2016.

Director: I reviewed bids for our magazine subscriptions and decided to go with a different vendor (we will save about \$700), weeded the 700s, worked on end-of-the-year finances and statistics, and planned some adult programs for fall.

D. Upcoming events

- **Saturday Story time** is offered every Saturday at 10:30 a.m. Saturday story time is suggested for ages 3 and up with parents.
- July 7, 14, & 21 at 12:00 p.m.: **Theater Thursday**. Kids and parents are welcome to bring a sack lunch at noon to eat in the Meeting Room. The movie will start at 12:30 p.m. Children under the age of 5 must have a parent or mature person in the room watching the movie. Children under the age of 8 must have a parent or mature person in the library while watching the movie. To learn the movie title, please call the library.
- July 18 at 10:00 a.m.: **Hanson Family Jugglers** will amaze us with their juggling while riding a unicycle! The program will be held at the Joan Kuyper Farver Auditorium in the Community Center Building. Everyone is welcome to attend, and no sign up is needed.
- July 19 at 7:00 p.m.: **Family Fun Night**. Join us for outdoor water games and fun. We will meet in the Meeting Room at 7:00 p.m. All ages are welcome. The program will be held rain or shine.
- July 21 at 10:15 a.m.: **Genealogy Club** will meet in the Heritage Room.
- July 22 at 9:30 & 10:30 a.m.: IPTV's **Dan Wardell** will hold his Reading Road Trip Story Time at the Joan Kuyper Farver Auditorium in the Community Center Building. Everyone is welcome to attend, and no sign up is needed.
- July 28 at noon: The **Brown Bag Book Club** will discuss *A Call to Action* by Jimmy Carter in the Heritage Room.

- The Friends of the Library will hold their annual Paperback Book Sale Thursday, July 28 through Saturday, July 30. The book sale will be in the library meeting room during all hours the library is open.

X. Committee reports: None

XI. Adjournment: President Rebecca Manifold adjourned the meeting at 4:53 p.m. The next regularly scheduled Board Meeting is scheduled for August 9, 2016 at 4 PM.



CITY OF PELLA, IOWA
PLANNING & ZONING COMMISSION MINUTES
August 8, 2016

Monday, August 8, 2016 7:00 A.M. Public Safety Complex Liberty Street Entrance

A. Call to order by the Chairperson and Roll Call.

Members Present: Agan, Landon, Pfalzgraf, Vander Molen, Van Vark, Van Wyk, Visser,
Absent: Chiarella, Haustein, Vos
Quorum present.
Visitors: Jim Corbett, Jim Van Zee, Christy Van Zee

B. Chairperson's Comments.

1. Approval of tentative agenda
2. Discussion of Rule 27 "No Motions by Presiding Officer" in the Planning and Zoning Commission Procedural Rules.

C. Approval of 7-25-16 Minutes

A motion to approve was made by Landon and seconded by Visser. On roll call the vote was:
YES: Landon, Visser, Agan, Pfalzgraf, Vander Molen, Van Vark, Van Wyk. NO: None.
Motion carried.

D. Public Hearing: Rezoning for Pella Regional Health Center (PRHC)

Public Hearing concerning petition to rezone 3 lots and remnant legacy vacated right-of-way from R1B – Single Family Residential Moderate to INS – Institutional:

There were no written comments received.

The applicant provided a properly completed rezoning petition for properties within 300' of the proposal consisting of twenty-six (26) properties. Eighteen (18) properties have signed the petition notification indicating their consent to the rezoning, (69%).

Staff provided an overview of the request by Pella Regional Health Center. In summary, the properties proposed to be rezoned will serve as a parking lot which is adjacent to the medical facility. The Future Land Use Map of the Comprehensive Plan indicates "Medical and Assisted Living" for the entire petitioned INS-zoned area. In addition, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between the existing Institutional Uses and Single Family/Medium Density Residential Uses.

Jim Corbett made comments on behalf of Pella Regional Health Center and answered questions from the Commission.

The Commission discussed the request and at the conclusion of the discussion a motion was made by Van Vark to approve and seconded by Vander Molen. On roll call the vote was:

YES: Van Vark, Vander Molen, Agan, Pfalzgraf, Van Wyk, Visser. NO: None. Motion carried.

E. Other Business / Public Forum

The topics of special meetings criteria and alternative meeting times were discussed.

F. Adjourn

With no further business noted, the meeting was adjourned at 7:45 A.M.



CITY OF PELLA, IOWA
BOARD OF ADJUSTMENT MINUTES
June 28TH, 2016

Tuesday, June 28, 2016 6:00 P.M. Public Works Conference Room 100 Truman Road

A. Call to order by the Chairperson and Roll Call.

Members Present: Corbett, Hastings, Smith, Vander Meiden, Vander Wert
Absent: Nossaman, Reiter, Rolffs, Van Wyk
Quorum present.

Visitors: Jeremy Kohlhaas, Tara Kohlhaas, Karen Eischen, Marge Steenhoek, Loren Steenhoek, Kathy Thompson

B. Chairperson's Comments.

1. Approval of tentative agenda

Board Member Vander Wert moved to approve, seconded by Board Member Hastings.
On roll call the vote was: YES: Corbett, Hastings, Smith, Vander Meiden, Vander Wert

C. Approval of Minutes from June 14, 2016

Board Member Vander Wert moved to approve, seconded by Board Member Vander Meiden.
On roll call the vote was: YES: Corbett, Hastings, Smith, Vander Meiden, Vander Wert

D. Public Hearing:

The Board of Adjustment opened the Public Hearing on a Special Use Permit Application by Jeremy and Tara Kohlhaas concerning a Cocktail Lounge Use at 615 Franklin Street.

Written comment from Kris Zimmerman was read and entered into the record.

Staff provided an overview of the proposal from Jeremy and Tara Kohlhaas. In summary the proposed use and subsequent code requirement for a special use permit were explained in detail by staff.

Oral comments by Jeremy Kohlhaas, Tara Kohlhaas and Karen Eischen were presented to the Board supporting the proposed use.

As no other comments were received, Board Member Smith moved to close the public hearing, seconded by Board Member Hastings.

E. Special Use Permit Application:

Special Use Permit Application by Jeremy and Tara Kohlhaas Concerning a Cocktail Lounge at 615 Franklin Street.

The Board discussed the request and at the conclusion of discussion a motion was made by Board Member Vander Meiden to approve the request, seconded by Board Member Hastings. On roll call the vote was: YES: Corbett, Hastings, Smith, Vander Meiden, Vander Wert. NO: None. Motion carried.

F. Other Business

G. Adjourn

Board Member Jane Smith moved to adjourn. Meeting adjourned at 6:15 p.m.



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO. C-3-a

SUBJECT: Special Event Permit for MidWestOne--Meal on the Molengracht

DATE: September 6, 2016

BACKGROUND: MidWestOne has requested a special event permit for "Meal on the Molengracht". The event is scheduled for Thursday, October 6, 2016 from 5-7 pm with setup starting on October 5, 2016 at 12:00 pm and take down until October 7, 2016 at 11:00 am. They will be serving grilled hamburgers and hot dogs in front of their location on the south side of the Molengracht as a way of saying "thank you" to their customers.

It should be noted, the special event includes a signage request for two banners to be hung on the canal railing as well as a 20x20 tent for inclement weather. A private event permit has also been requested to reserve the plaza area southwest of the bridge to Main Street.

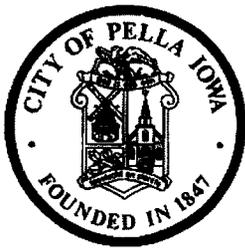
The insurance certificate has been received and fees have been paid. All pertinent City Departments have reviewed this application, and approval is recommended.

ATTACHMENTS: Application, Department Head Comments

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve special event permit.



THE
CITY of PELLA

SPECIAL EVENTS APPLICATION

Please make sure the application is complete before submitting it to City Hall. This includes the *fee payment* and the *\$1,000,000 insurance certificate*. The application should be submitted at least a month in advance of the event date.

For Office Use Only:

Date Received: 8/18/16 Received by: [Signature] Fee: 70 Insurance Certificate: Yes

Name of Event:

Mid West One - Meal on the Molengracht

Date of Application:

Fee Paid: Yes No

Make check payable to City of Pella

Attach Insurance Certificate (\$1,000,000 min) naming City of Pella "Also Insured".

Insurance Certificate: Yes No

Describe the Event: (Purpose of event, activities planned, number of anticipated people in attendance, history/origin of event, etc.) (Attach additional page is needed.)

We are holding a customer appreciation bbq. We will be grilling hamburgers and hot dogs in front of our Molengracht location on the end by the bridge. We will have a 20x20 tent set up for inclement weather. We will also have tables & chairs set up for people to eat at. The food and other typical account treatments →

PROMOTER AND CONTACT PERSON INFORMATION

Promoter's Name: Mid West One	Contact Person: Jennifer Bailey
Signature: N/A	Signature: Jen Bailey
Address: 700 Main St Suite 100 Pella	Address: 700 Main St Suite 100 Pella
Phone: 641-628-4356 Cell Phone: —	Phone: 641-628-4356 Cell Phone: 641-780-1221

EVENT INFORMATION

DATE(S) AND TIME(S) OF EVENT: Oct. 6 5-7pm

DATE(S) AND TIME(S) OF SET-UP/TAKE DOWN:

Set-up Oct 5 12pm - Oct. 7 11pm

LOCATION OF EVENT: Name streets, parks, area, etc and ATTACH map or drawing.

Molengracht on the North side of entrance

EVENT INFORMATION (continued)

DO STREETS NEED TO BE CLOSED? Yes No If YES, list streets to be closed and indicate on map. Also list number of barricades needed.

Street Name	Distance on Street	Date/ Time for Street Closings		# of Barricades
		Starting:	Ending:	
		Starting:	Ending:	

DO PARKING SPACES NEED TO BE RESERVED? Yes No If spaces need to be roped off or reserved, please indicate below.

Location	# of Cones

WILL SIGNAGE BE USED? Yes No If Yes, complete the Special Event Signage Information Sheet.

WILL POLICE OFFICERS OR RESERVES BE NEEDED? Yes No If Yes, list number needed and for what length of time. You will be billed \$30 per hour per officer.

WILL ADDITIONAL ELECTRICITY BE REQUIRED? Yes No If Yes, complete the Special Event Electrical Information Sheet.

WILL ANY OTHER CITY SERVICES BE NEEDED? Yes No If Yes, list details.

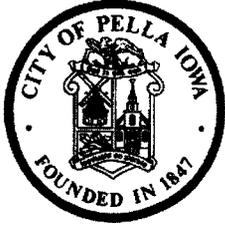
COMPLETE LAYOUT OF THE CITY PROPERTY TO BE USED: Map Drawing

If the map does not accurately show the area, then a drawing should be included. For example, the dimensions of the area to be used or a more detailed description of the area would be helpful. Please be reminded that if you are requesting the use of a park, the parking spaces around that area are not included in the permit, unless specifically requested.

WILL THERE BE VENDOR BOOTHS? Yes No If Yes, a list of the names of all vendors and a map showing the location and size of the vendor booths needs to be sent to City Hall prior to the date of the event as outlined in Sec 123.04 of the City Code (attached). The time requirement for submittal of this list is dependent upon the length and size of your event. For large events, please supply this information earlier than the one month recommendation.

WILL ANY PART OF THE EVENT BE HELD ON PRIVATE PROPERTY? Yes No If Yes, list the address of the property and have the property owner sign below giving their consent for use of their property for this special event.

Property Owner	Address	Signature of Property Owner



THE
CITY of PELLA

SPECIAL EVENTS--SIGNAGE INFORMATION SHEET

Information Required:

Anyone that is planning to have temporary signage associated with a Special Event Permit will need to submit the following signage information along with the Special Event Permit Application.

Type of Sign(s): <input type="checkbox"/> A-frame <input type="checkbox"/> banner <input type="checkbox"/> portable <input type="checkbox"/> sandwich board <input type="checkbox"/> traffic directional <input type="checkbox"/> vehicle mounted <input type="checkbox"/> window <input type="checkbox"/> other (please describe)	
Size of Sign(s): 2 signs 4'x2'	
Time of Sign Placement: Oct 6 2pm	Time of Sign Removal: Oct 6 9pm
Colors and Materials of Proposed Sign: green plastic banners	
Any Proposed Lighting: —	
Proposed Location(s) of Signage: on canal railing	

Traffic Safety

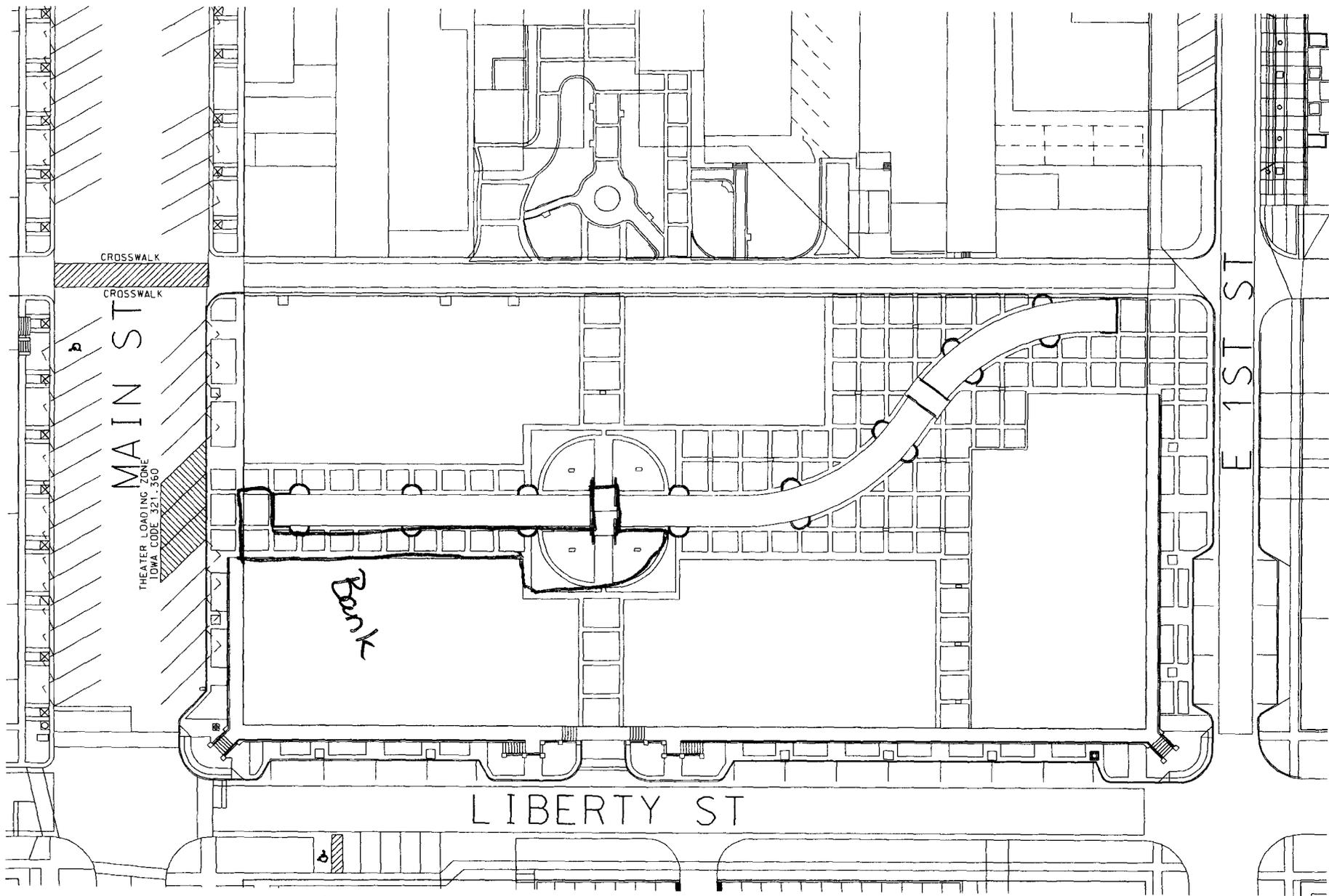
Signs shall not create a traffic hazard or impede vehicular or pedestrian traffic. Signs in the public right of way are prohibited unless expressly authorized by the Special Event Permit. The City of Pella reserves the right to require additional signage, which may be at the expense of the Special Event applicant, as determined for the safety and well being of the general public.

Prompt Removal of Signs

Temporary signs associated with a Special Event Permit must be removed immediately upon the termination of the event.

Right of Approval/Denial

The City of Pella reserves the right to approve or deny signage associated with Special Events and to determine the scheduling of such display if approved.



CROSSWALK

CROSSWALK

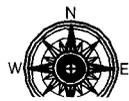
MAIN ST

THEATER LOADING ZONE
IOWA CODE 321.360

Park

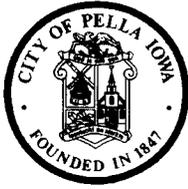
LIBERTY ST

E 1ST ST



MOLENGRACHT

Des Moines, Iowa



CITY OF PELLA SPECIAL EVENTS DEPARTMENT REVIEW

Event:	MidWestOne-Meal on the Molengracht
Event Date:	August 23, 2016
City Manager:	Ronda Brown
Event Date:	October 6, 2016
Event Contact:	Jennifer Bailey 641-780-1221

City Manager:

Recommend approval. RAB

City Manager:

Recommend approval. DB

City Manager:

Recommend approval. MB

City Manager:

Recommend approval. DM

City Manager:

Recommend approval. JV



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: C-3-b

SUBJECT: Class C Liquor License with Sunday Sales for El Charro

DATE: September 6, 2016

BACKGROUND: El Charro, located at 514 Main Street, has applied for a renewal of their Class C Liquor License with Sunday Sales. The term of the new license is twelve months and would expire October 7, 2017. The application was completed with the State online, and approval is recommended.

ATTACHMENTS: Application

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve renewal.

Applicant License Application (LC0041229)

Name of Applicant: <u>LUCHADORES LLC</u>		
Name of Business (DBA): <u>EL CHARRO</u>		
Address of Premises: <u>514 MAIN ST</u>		
City <u>Pella</u>	County: <u>Marion</u>	Zip: <u>50219</u>
Business	<u>(641) 628-2307</u>	
Mailing	<u>514 MAIN ST</u>	
City <u>Pella</u>	State <u>IA</u>	Zip: <u>50219</u>

Contact Person

Name Richard Hernandez
Phone: (661) 265-5409 Email elcharro-pella@hotmail.com

Classification Class C Liquor License (LC) (Commercial)

Term: 12 months

Effective Date: 10/08/2016

Expiration Date: 10/07/2017

Privileges:

Class C Liquor License (LC) (Commercial)

Sunday Sales

Status of Business

BusinessType: <u>Limited Liability Company</u>
Corporate ID Number: <u> </u> Federal Employer ID <u> </u>

Ownership

Richard Hernandez

First Name: Richard

Last Name: Hernandez

City: Pella

State: Iowa

Zip: 50219

Position: Member

% of Ownership: 100.00%

U.S. Citizen: Yes

Insurance Company Information

Insurance Company: <u>Founders Insurance Company</u>	
Policy Effective Date: <u>10/08/2016</u>	Policy Expiration <u>10/08/2017</u>
Bond Effective	Dram Cancel Date:
Outdoor Service Effective	Outdoor Service Expiration
Temp Transfer Effective	Temp Transfer Expiration Date:



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO. C-3-c

SUBJECT: Class C Liquor License Renewal for the Octagon Lounge

DATE: September 6, 2016

BACKGROUND: Jo's Octagon, located at 703 E Oskaloosa, has applied for a renewal of a Class C Liquor License with Outdoor Service and Sunday Sales. The application was completed with the state online and is pending dram shop insurance. The term of the new license is twelve months and would expire August 31, 2017.

Staff is recommending approval pending receipt of dram shop insurance.

ATTACHMENTS: Application

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve license pending receipt of dram shop insurance.

Applicant License Application (LC0041141)

Name of Applicant: <u>Johanna Peterson</u>		
Name of Business (DBA): <u>Jo's Octagon</u>		
Address of Premises: <u>703 East Oskaloosa</u>		
City <u>Pella</u>	County: <u>Iowa</u>	Zip: <u>50219</u>
Business	<u>(641) 628-3422</u>	
Mailing	<u>602 East Marion St</u>	
City <u>Monroe</u>	State <u>IA</u>	Zip: <u>50170</u>

Contact Person

Name <u>Johanna Peterson</u>	
Phone: <u>(641) 780-3410</u>	Email <u>lvmylf18@yahoo.com</u>

Classification Class C Liquor License (LC) (Commercial)

Term: 12 months

Effective Date: 09/01/2016

Expiration Date: 08/31/2017

Privileges:

Class C Liquor License (LC) (Commercial)

Outdoor Service

Sunday Sales

Status of Business

BusinessType: <u>Sole Proprietorship</u>	
Corporate ID Number:	Federal Employer ID

Ownership

Johanna Peterson

First Name: Johanna

Last Name: Peterson

City: Monroe

State: Iowa

Zip: 50170

Position: Owner

% of Ownership: 100.00%

U.S. Citizen: Yes

Insurance Company Information

Insurance Company: <u>Illinois Casualty Co</u>	
Policy Effective Date:	Policy Expiration
Bond Effective	Dram Cancel Date:
Outdoor Service Effective	Outdoor Service Expiration
Temp Transfer Effective Date	Temp Transfer Expiration Date:



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: D-1a & 1b

SUBJECT: Rezoning for Pella Regional Health Center

DATE: September 6, 2016

BACKGROUND:

Pella Regional Health Center (PRHC) is requesting to rezone three properties located at 302 Liberty Street, 301 Franklin Street, and 219 Franklin Street from R1B Single Family Residential to INS Institutional District. The purpose of the rezoning request is to support a proposed 12,095 square foot parking lot adjacent to PRHC. It is staff's understanding the properties for this proposed rezoning will be used for additional parking for PRHC. The parcels are identified as: 1223 Birch Street; 505 Monroe Street and 507 Monroe Street.

Zoning

The current zoning for these properties is R1B Single Family Residential. This district is intended to provide locations for moderate density residential areas for single-family use with supporting and appropriate community facilities. Its regulations are intended to minimize traffic congestion and to assure that density is consistent with the carrying capacity of infrastructure.

The requested zoning classification for these properties is Institutional District (INS). This district accommodates a variety of Institutional uses such as college campus environments, schools, churches, hospitals, medical campus and elder care facilities. The district is designed to provide appropriate space regulations and assure that facilities are served with adequate parking facilities.

Staff does not believe there are any spot zoning concerns associated with this request as these properties are adjacent and in close proximity to an existing institutional use.

Comprehensive Plan

The Comprehensive Plan, Future Land Use Map, targets the proposed properties for Medical and Assisted uses. Furthermore, the Land Use Compatibility Matrix of the Comprehensive Plan suggests compatibility between Institutional Uses and Low Density Residential Uses. Therefore, no change to the Comprehensive Plan is needed for this rezoning.

Summary

Staff is recommending approval of this zoning request. The proposed ordinance would amend the boundaries of the INS District to include three parcels of land owned by Pella Regional Health Care (1223 Birch Street, 505 Monroe Street, and 507 Monroe Street) from R1B Single Family Residential to INS Institutional District. It should be noted, the Planning and Zoning Commission at their August 8, 2016 meeting approved the rezoning on a 7 to 0 vote.

ATTACHMENTS: Ordinance, Map

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDATION: Approve ordinance.

ORDINANCE NO. 914

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY AMENDING THE BOUNDARIES OF THE INS DISTRICT TO INCLUDE THE PROPERTY LEGALLY DESCRIBED IN "EXHIBIT A" AND DIRECTING THE ZONING ADMINISTRATOR TO NOTE THE ORDINANCE NUMBER AND DATE OF THIS CHANGE ON THE OFFICIAL ZONING MAP

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. ZONING AMENDMENT. The Zoning Ordinance of the City of Pella, Iowa, is hereby amended by amending the boundaries of the INS District to include parcels of land owned by Pella Regional Healthcare Center described in Exhibit A that is within the zoning jurisdiction of the City of Pella, Iowa, from an "R1B" (Single Family Residential Zoning District) to an "INS" (Institutional Zoning District) for all parcels.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance on the Official Zoning Map.

SECTION 3. COMPREHENSIVE PLAN UPDATE. Council hereby instructs staff to proceed with a resolution that updates the Future Land Use Map of the Comprehensive Plan to reflect the Institutional Zoning of the applicable properties, if appropriate.

SECTION 4. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this ____ day of _____, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

Exhibit A

Legal Description:

Lot 12, Lot 11, Lot 10, and the west ½ of vacated Birch Street, Monroe Addition, City of Pella, Marion County, Iowa.

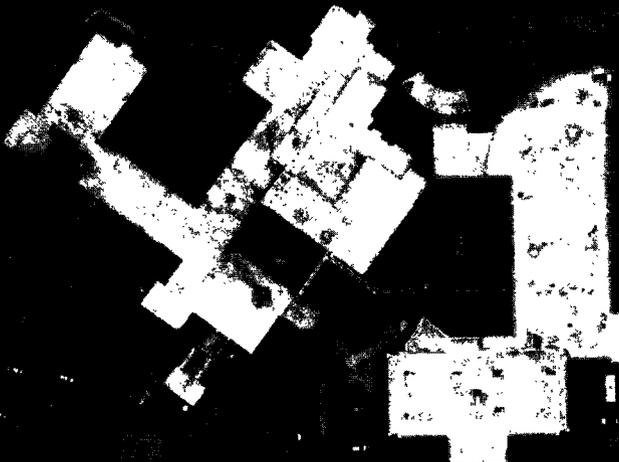
HAZEL ST

JEFFERSON ST

MAIN ST

AREA TO BE REZONED

MONROE ST



1982



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: D-2a & 2b

SUBJECT: Rezoning for Casey's Marketing Company

DATE: September 6, 2016

BACKGROUND:

This proposed ordinance would change the zoning classification for the property located at 505-513 Main Street and 705 Union Street from Mixed Use Urban Commercial Corridor (CUC) to Planned Unit Development (PUD). As background, Casey's Marketing Company is proposing on this 1.17 acre site a new 4,475 square foot convenience store with gasoline sales. According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs. The existing Casey's stores which would be closed are 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street.

Under the City Code, the proposed development is identified as Convenience Food Sales use type and is permitted by right in the CUC Zoning District. This ordinance is being proposed by the City of Pella to satisfy the requirements of the city's comprehensive plan and to mitigate potential impacts to the neighboring residential properties which abut and are adjacent to the development.

Planned Unit Development (PUD)

A Planned Unit Development (hereinafter "PUD") is designed to allow for comprehensively planned projects which provide for innovative and imaginative approaches to urban design and land development. A PUD is a negotiated contract for land development between the private developer and the public governmental entity. This differs from the traditional approach to land development wherein the developer develops land pursuant to minimum standards previously adopted by the government. A PUD permits flexible variation from established land regulations as contained in zoning districts and in platting and subdivision requirements. In essence, the developer, with City staff guidance, Planning and Zoning Commission review, and Council approval, may develop its own guidelines for the best development of the land in question.

Key Requirements of the Proposed Ordinance

The proposed ordinance requires the development to be in conformance with the CUC zoning district except for the following modifications:

1. The Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site. The proposed ordinance allows the parking and associated fuel dispensing area for the development to be placed in front of the convenience store or further away from the neighboring residential properties.
2. The setback requirements for the proposed convenience store have been adjusted to allow the parking and fuel dispensing area to be placed in front of the building.

3. Currently, the City Code does not place any limits on the operating hours for the new convenience store. The proposed ordinance limits the operating hours for the development to 6:00 a.m. to 11:00 p.m.
4. The green space area requirement under the Pella City Code is 5% of the total development. The proposed ordinance requires a green space area of 28%. In addition, there are numerous landscaping enhancement being proposed as a part of the PUD.

The proposed ordinance also contain requirements for the three existing Casey's Marketing Company Stores located 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street. Specifically, the proposed ordinance requires Casey's Marketing Company to close and repurpose these existing stores within 30 days of receiving a certificate of occupancy for the new convenience store.

Finally, it is important to note, the PUD is contingent upon Casey's Marketing Company acquiring title to the property by February 1, 2017. If Casey's Marketing Company does not acquire title to the property by this date, then the zoning reclassification to PUD will be null and void.

Site Plan Summary

The Planning and Zoning Commission conditionally approved Casey's Marketing Company's proposed site plan on a 7-3 vote subject to the Pella City Council approving the planned unit development ordinance for the property site.

The proposed site plan was prepared in accordance with the Pella City Code and the requirements of this planned unit development ordinance. For Council's review, a copy of the proposed site plan is enclosed. Listed below is a summary of the key points of the proposed site plan:

Site Orientation - The site plan for Casey's Marketing Company places the fuel dispensing area in close proximity to Main Street and in front of the proposed convenience store. This is an important issue because staff believes the proposed PUD ordinance allows for the fuel dispensing area to be placed farther away from the abutting residential properties than if the development were constructed solely within the parameters of the City's zoning code. Specifically, the Pella City Code requires the parking and fuel dispensing area to be in the side yard or rear of the building. The issue as it relates to this site is the fuel dispensing area would be located closer to the residential properties which abut and are in close proximity to the site.

Building Design - The design of the proposed convenience store and associated gas canopy was approved by the City's Community Development Committee. Staff believes the design of the proposed convenience store meets the city's architectural guidelines and appreciates the efforts Casey's Marketing Company has undertaken in designing the proposed convenience store.

Site Landscaping and Buffering - Under the City Code, a minimum of 5% of the total lot area is required for green space area. In comparison, approximately 28% of the proposed site plan for Casey's Marketing Company is green space area. Overall, the landscaping plan includes 21 screening trees, 6 tulip beds, 73 shrubs and bushes. In addition, located in the northeast corner of the property will be landscaping design features which will include a pedestrian walkway, tulip beds, benches, and an area dedicated for a future community sign such as a kiosk. Furthermore, the proposed site plan includes a 6 foot double sided heavy wood fence around the site. The fence will contain solid slats on each face of the fence. The gap between slats is offset ½ the width of a slat to further contain noise on the site. In addition, the fence will be built to incorporate both straight segments and intermittent segments built at

45 degrees angles. The purpose of this construction is to break up the façade of the fence which staffs believes is an important mitigation element.

Operating Hours and Lighting Plan - The proposed PUD will limit the hours the new store can be open to the general public to 6:00 a.m. to 11:00 p.m. seven days per week. In addition, the lighting plan for the site operating hours for the new store plan is intended to minimize light pollution and contain lighting on the development site.

Traffic Analysis - As part of the site plan review, traffic engineers from Snyder and Associates conducted a traffic study for the development. Listed below are highlights from the analysis:

Traffic volume information was used from Iowa DOT 2014 counts as part of the estimated trip distribution.

Based on the total number of drive-way trips during the most critical time periods (AM and PM peak hours), no improvements are recommended at either the intersection of Union Street and Main Street or to Union Street or Main Street at the development's proposed accesses.

The traffic study did take into account the closing of the three existing stores (two downtown stores and the Oskaloosa Street store).

Comprehensive Plan

The Future Land Use Map of the Comprehensive Plan targets the proposed site for Mixed Use Commercial, which is the closest match to the City's CUC Zoning District. However, the Land Use Compatibility Matrix of the Comprehensive Plan indicates there could be potential land use compatibility issues between the development and the abutting residential property owners. As a result, staff believes the Comprehensive Plan recommends a PUD for the proposed development. According to the Comprehensive Plan, the intention of a PUD to assess the project's impact and define the development's design.

Staff believes the proposed planned unit development conforms to the City's comprehensive plan. Staff based our opinion on the fact that the use proposed by Casey's Marketing Company is permitted by right in the existing CUC Zoning District. Furthermore, the Future Land Use Map of the Comprehensive Plan appears to align with the CUC Zoning for the site. Therefore, any land use compatibility issues should be mitigated through the site planning process. In this particular case, staff believes the proposed PUD meets the intent of the City's Comprehensive Plan by requiring additional mitigation measures by the developer than what is required under the City's CUC zoning district. Listed below are the factors staff considered in making this determination:

The proposed PUD ordinance allows for the gas canopy area to be placed farther away from the abutting residential properties than if the development were constructed solely within the parameters of the City's zoning code. This is important because staff believes this additional separation will help mitigate potential impacts to the abutting residential property owners.

The proposed PUD contains significantly more green space area, landscaping, and screening than what is required under the City Code. Staff believes these items will help reduce the impact on the neighboring properties.

The proposed PUD limits the operating hours of the development which will further mitigate impacts to the neighboring property owners.

Once again, based on staff's review, we believe the proposed planned unit development conforms to the City's Comprehensive Plan.

Citizen Petition

As a part of the public hearing process conducted by the Planning and Zoning Commission, a petition was received by property owners within 200' of the boundaries of the proposed site. Based on advice of legal counsel, staff believes this proposed ordinance will require a super majority approval from the Pella City Council.

Staff Recommendation:

Staff believes the proposed ordinance meets the requirements of the City's zoning code. In addition, staff also believes the proposed ordinance is consistent and in conformance with the City's comprehensive plan. Therefore, staff is recommending approval of the proposed ordinance which would formally establish a Planned Unit Development.

It should be noted that at the August 22, 2016 Planning and Zoning meeting, the Commission approved a resolution recommending approval of the PUD ordinance to Council on a 9 to 1 vote.

ATTACHMENTS: Ordinance, Planning and Zoning Resolution, Location Map, Comp Plan Map, Zoning Map, Casey's Marketing Company Site Plan, Letters & Petition

REPORT PREPARED BY: Planning and Zoning

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDATION: Approve ordinance.

ORDINANCE NO. 915

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF PELLA, IOWA, BY CHANGING THE ZONING CLASSIFICATION OF PROPERTY LOCATED AT 505 – 513 MAIN STREET, AND 705 UNION STREET, CITY OF PELLA, MARION COUNTY, IOWA.

WHEREAS, upon full consideration of the Pella Comprehensive Plan, including the Goals, Principles of Future Land Use and Development, the Future Land Use Map, and the Land Use Compatibility Matrix set forth therein, the City finds the development of the subject property under the conditions set forth in this Ordinance to be in full conformance with the Pella Comprehensive Plan;

WHEREAS, the development of the Property (hereinafter described) with a convenience store use as depicted in the site plan referenced in this ordinance will allow Casey's Marketing Company to close and repurpose the three (3) convenience stores it currently operates at 640 Washington Street; 744 Washington Street; and, 414 Oskaloosa Street. The existing convenience stores referenced above will be closed and repurposed within thirty (30) days after receiving the certificate of occupancy from the City of Pella authorizing Casey's Marketing Company to operate the convenience store at the Property all of which is consistent with the express terms of the City of Pella's Comprehensive Plan.

NOW, THEREFORE, be it ordained by the City Council of the city of Pella, Iowa, that:

Section 1. Amendment. The Zoning Ordinance of the City of Pella, Iowa, as applied to the following described property:

Lot 1, except the West 70.00 feet thereof and all of Lot 4 and 5 in Block 61 in the City of Pella, Iowa (the "Property")

is hereby changed from its present classification, CUC (Mixed Use Urban Commercial Corridor), to PUD (Planned Unit Development).

Section 2. Site Plan. Attached hereto and made a part of this rezoning approval is the Site Plan submitted by Casey's Marketing Company and approved by the City of Pella on August 22, 2016 (the "Site Plan"). The Property shall be developed in accordance with this Site Plan. In the event of a conflict between the written terms of this Ordinance and the notations on the Site Plan, the written text of the Ordinance shall prevail. For the purposes of this Ordinance, "repurpose" shall mean a change of the use of the property, including the removal of all improvements pursuant to applicable State regulations and future use of the property in a manner which conforms to applicable zoning requirements. The terms of this Ordinance, including the introductory clauses may be enforced by the City of Pella pursuant to §165.50 of the City Code of Pella, Iowa.

Section 3. Conditions. Section 165.14 of the Pella City Code allows for comprehensively planned projects, permits flexible variation from established land regulations as contained in zoning districts, the waiver or modification of provisions of zoning district requirements and

various land use mixtures with appropriate screening, landscape buffers and setback restrictions. The following conditions, restrictions and regulations are adopted as a part of the approval:

A. **General Conformance to Zoning Ordinance.** Unless otherwise specified herein, the development of the land shall be in accordance with the provisions of the CUC zoning district.

B. **Design Standards.** All improvements shall be constructed in a manner which complies with the requirements of the Design Review District as set forth in §165.16 and the building design permit approved by the Community Development Committee on February 17, 2016.

C. **Zoning Requirements Waived.**

1. The requirements of §165.12-3, Summary of Site Development Regulations, CUC District, Maximum amount of total parking located in Street Yard, shall be waived in their entirety and up to 100% of the parking may be located in the Street Yard.

2. The requirements of §165.18(1)(B), requiring parking areas along the sides of buildings or in the rear of the building, shall be waived in their entirety and parking shall be permitted in front of the building.

3. The requirements of §165.18(1)(D), relating to maximum building setback from the public right of way shall be waived in their entirety and the building shall be permitted as shown on the Site Plan (approximate set back of 118 feet).

D. **Performance Greater Than Zoning Ordinance Minimum Requirements**

1. Greenspace. Following completion of the project, there shall be greenspace of not less than 28% of the total area, rather than 5 % as required in CUC districts.

2. Design Feature. Following completion of the project, there shall be a design feature located at the northeast corner of the Property as identified on the Site Plan. The design feature shall consist of additional tulip beds, pedestrian walkways, and visitor benches. In addition, a space shall be reserved for an information sign to be installed at a later date by the City of Pella. The design feature shall be installed by Casey's Marketing Company in accordance with the Site Plan.

3. Landscaping and Screening. Casey's Marketing Company shall ensure all landscaping and screening features as identified on the Site Plan are installed and maintained. Casey's Marketing Company may add additional trees and plantings to better incorporate the project into the neighborhood and community as it believes appropriate. The fencing material as identified on the Site Plan shall be of a heavy wood material intended for noise reduction.

4. Lighting. Casey's Marketing Company shall insure that all lighting of the Property is done in a manner which meets public safety design standards and minimizes the effects of lighting on the neighboring properties.

E. Additional Requirements

1. The new convenience store shall not be open to the general public prior to 6:00 a.m. and must close by 11:00 p.m. any day the store is open. Store operations which do not involve public access may occur at any time.

2. The rezoning of the Property to PUD is contingent upon the transfer of the Property from the current owners, Dennis L. Vander Beek and Joyce R. Vander Beek, Trustees of the Dennis and Joyce Vander Beek Living Trust, to Casey's Marketing Company pursuant to the existing Purchase Agreement between the parties, or to another related entity to which Casey's Marketing Company assigns its rights under the Purchase Agreement. In the event Casey's Marketing Company or its assignee acquires title to the Property, no further action by the City Council shall be required. If Casey's Marketing Company or its assignee does not acquire title before February 1, 2017 then this zoning reclassification shall be void, unless the City Council, by resolution, extends time for the acquisition of title.

Section 4. Notation. The Zoning Administrator shall hereby record this ordinance number and date of passage of this Ordinance on the Official Zoning Map.

Section 5. Savings Clause. If any section, provision, sentence, clause, phrase or part of the Ordinance shall be determined to be invalid or unconstitutional, such determination shall not affect the validity of the Ordinance as a whole or any section, provision, sentence, clause, phrase or part hereof not determined invalid or unconstitutional.

Section 6. Effective Date. This ordinance shall be in full force and effect, from and after its passage, adoption and approval and publication as required by law immediately, and without further delay. The City Clerk is directed to take such steps as may be required under the applicable ordinances and statutes to make this rezoning effective and enforceable. When this ordinance is in effect, it shall automatically supplement, amend and become a part of the Code of Ordinances of the City of Pella, Iowa.

Passed and adopted this _____ day of _____, 2016

By: _____
James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

RESOLUTION NO. 1

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PELLA RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE AN AMENDMENT TO THE OFFICIAL ZONING MAP OF THE CITY OF PELLA TO CHANGE THE ZONING DESIGNATION FROM MIXED USE COMMERCIAL (CUC) TO PLANNED UNIT DEVELOPMENT (PUD) AND APPROVE AN ORDINANCE ESTABLISHING THE PUD FOR THE PROPERTIES LOCATED AT 505-513 MAIN STREET AND 705 UNION STREET FROM MIXED USE URBAN COMMERCIAL CORRIDOR TO PLANNED UNIT DEVELOPMENT (PUD).

WHEREAS, pursuant to the provisions of Chapter 165.14 of the Pella City Code the City of Pella has requested approval of a zoning classification from its present classification, CUC (Mixed Use Urban Commercial Corridor) to PUD (Planned Unit Development) for the property described as:

Lot 1, except the West 70.00 feet thereof and all of Lot 4 and Lot 5 in Block 61 in the City of Pella, Iowa.

WHEREAS, an analysis was made by City staff and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on August 22, 2016 this Commission held a duly-noticed meeting to consider the request to change the zoning classification from CUC to PUD for the above mentioned property; and

NOW, THEREFORE, THE PLANNING AND ZONING COMMISSION OF THE CITY OF PELLA DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report for this meeting or as amended orally at the meeting are adopted.

SECTION 2. The zoning reclassification of the property from Mixed Use Urban Commercial Corridor to Planned Unit Development (PUD) as illustrated in Exhibit B attached to Planning and Zoning Commission Staff Report is recommended to the City Council for approval, subject to compliance with all conditions in the staff report. Violations of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

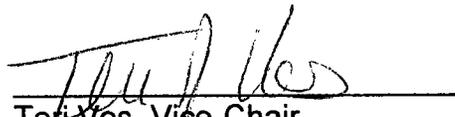
SECTION 3. The establishment of the Planned Unit Development (PUD) as illustrated in Exhibit C attached to Planning and Zoning Commission Staff Report is recommended to the City Council for approval, subject to compliance with all conditions in the staff report. Violations of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED this 22nd day of August, 2016.



David Landon, Chair
Planning and Zoning Commission

ATTEST:



Teri Vos, Vice-Chair
Planning and Zoning Commission

BROADWAY ST

MAIN ST

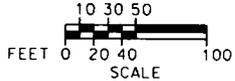
UNION ST

INDEPENDENCE ST

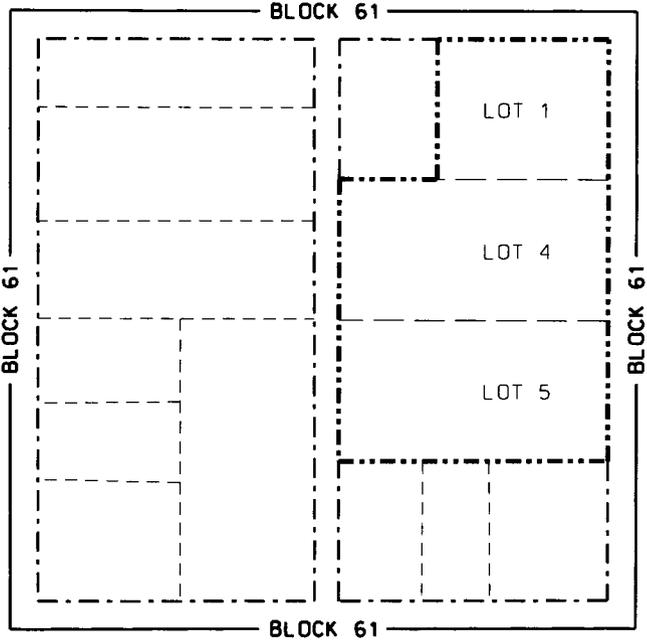
LEGEND:

- - - ROW LINE
- - - PROPERTY LINE
- - - PUD BOUNDARY
- - - ORIGINAL PLAT





FEET 0 10 20 30 40 50 100
SCALE



PUD LEGAL DESCRIPTION:
 LOT 1, EXCEPT THE WEST 70.00 FEET
 THEREOF AND ALL OF LOT 4 AND LOT 5
 IN BLOCK 61, ORIGINAL PELLA PLAT,
 CITY OF PELLA, MARION COUNTY, IOWA.

EXHIBIT B

PUD AREA

CBD

BRIDGEMAN ST

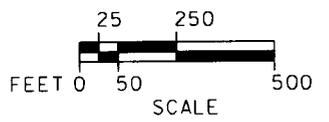
PARK ST

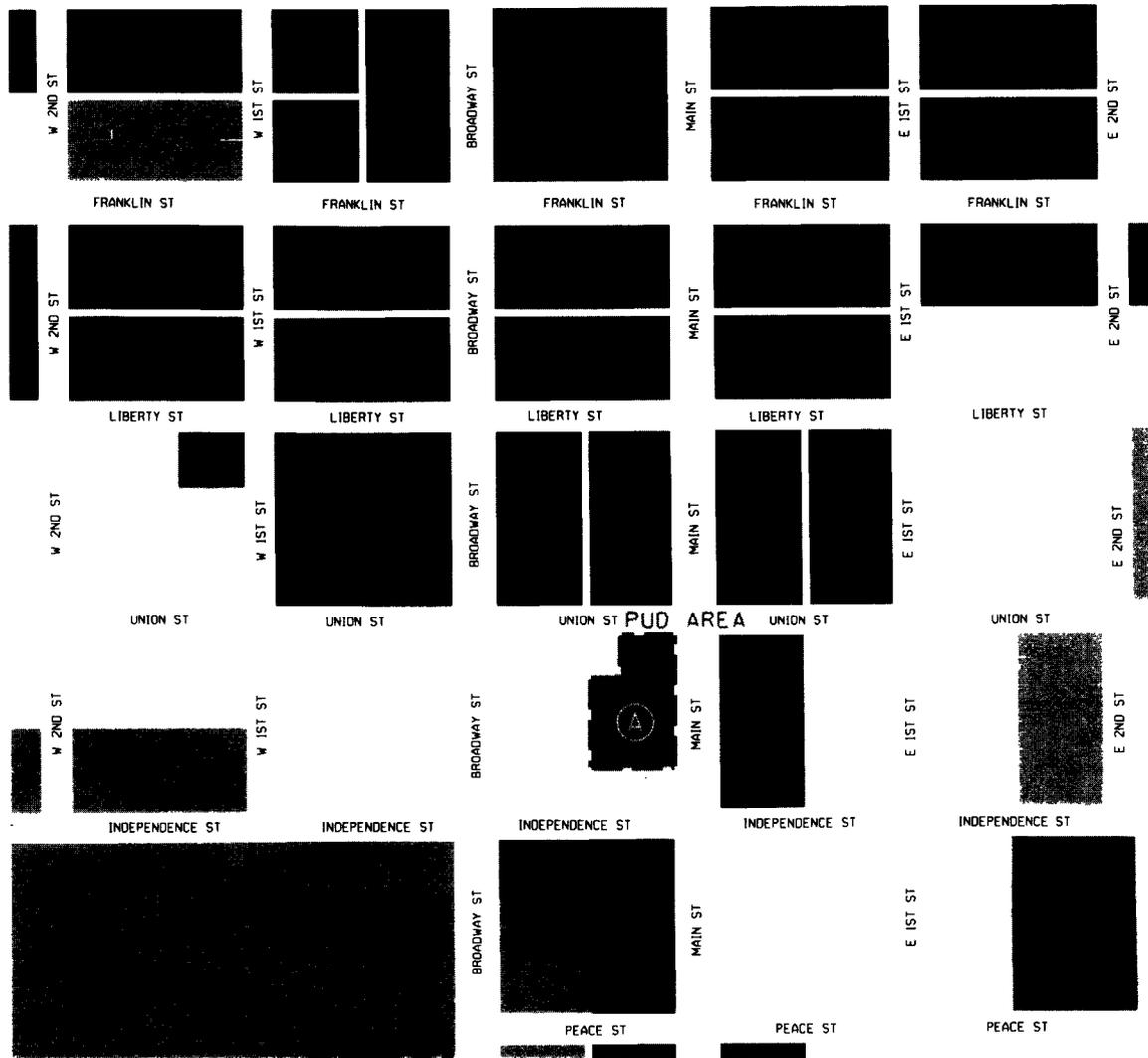
E 1ST ST

LIBERTY ST

LEGEND:

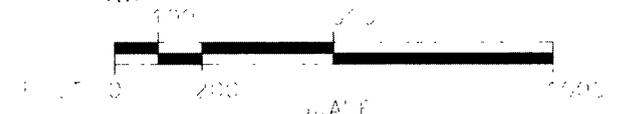
-  RR ■ Rural Residential District
-  R1 ■ Low-Density Single-Family Residential
-  R1A ■ Moderate-Density Single-Family Residential
-  R1B ■ Medium-Density Single-Family Residential
-  R1C ■ Neotraditional Single-Family Residential
-  R2 ■ Two-Family Residential
-  R3 ■ Multiple-Family Residential District
-  R4 ■ Mobile Home Park District
-  CBD ■ Commercial - Central Business District
-  CUC ■ Commercial - Mixed Use Urban Corridor
-  CC ■ Community Commercial District
-  CPD ■ Commercial - Planned Development District
-  INS ■ Institutional District
-  M1 ■ Limited Light Industrial District
-  M2 ■ Heavy Industrial District
-  A1 ■ Agricultural District
-  PUD ■ Planned Unit Development





LEGEND:

-  AG & AG RESIDENTIAL
-  PRESERVE
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  HIGH DENSITY RESIDENTIAL
-  FLOOD PLAIN
-  PARKS AND RECREATION
-  ENVIRONMENTALLY SENSITIVE
-  MIXED USE
-  COMMERCIAL
-  DOWNTOWN MIXED USE
-  MEDICAL & ASSISTED LIVING
-  CENTRAL COLLEGE
-  CIVIC & PUBLIC
-  SCHOOL
-  LIGHT INDUSTRIAL
-  GENERAL INDUSTRIAL
-  URBAN RESERVE
-  I-80 CORRIDOR
-  WATER



Site Plan

for

Casey's General Stores

505-513 Main Street & 705 Union Street

Pella, Iowa

BUILDINGS
PROPOSED CASEY'S BUILDING - 41' x 106'-3"
NUMBER OF STORIES 1 STORY

PAVING
THE APPROACH SHALL BE 7" THICK P.C.C.
THE PARKING LOT SHALL BE 6" THICK P.C.C.

PARKING
35 TOTAL PARKING SPACES ARE PROVIDED
23 SPACES AND 12 PLUMP ISLAND SPACES

FLOORPLAN
PER FEMA MAP #19125C0218C, THE SITE IS LOCATED IN ZONE X

GENERAL NOTES

1. ALL TRASH AND RECYCLING SHALL BE CONTAINED IN THE OUTDOOR DUMPSTER/RECYCLE AREA
2. WALL PACK LIGHTING SHALL BE SHARP CUT-OFF
3. HANDICAPPED PARKING STALLS AND SIGNS SHALL BE PROVIDED PURSUANT TO THE STATE CODE
4. ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR RIGHT OF WAY SHALL BE PROMPTLY REMOVED

SIGN
PROPOSED CASEY'S SPECIAL MONUMENT SIGN AT THE INTERSECTION OF MAIN STREET AND UNION STREET

DISTURBED AREAS
ALL DISTURBED AREAS SHALL BE SOODED
THE DISTURBED AREA FOR THIS SITE IS MORE THAN 1 ACRE THEREFORE
A NPDES PERMIT IS REQUIRED

OWNER

DENNIS & JOYCE VANDER BEEK
314 WAZEL STREET
PELLA, IA 50219
PH: 564-780-5568

DEVELOPER

CASEY'S MARKETING COMPANY
PO BOX 3001
ANNEXE, IA 50021
PROJECT CONTACT: MELANI ATHA
PH: (515) 965-6100

ENGINEER/LAND SURVEYOR

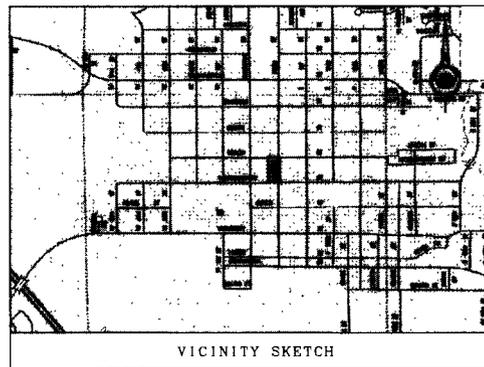
A. LEO PELDS ENGINEERING COMPANY
2325 DIXON STREET
DES MOINES, IOWA 50316
PROJECT CONTACT: ELARA JONOLE
PH: (515) 265-8196

LEGAL DESCRIPTION

Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 81 in the City of Pella, Iowa

PRIOR APPROVALS

BOA - December 14, 2015
CDC - February 17, 2016



SHEET INDEX	
Sheet 1 Cover Sheet
Sheet 2 Boundary & Topo
Sheet 3 Site Plan (AL-101)
Sheet 4 Grading Plan
Sheet 5 Utility Plan
Sheet 6 Landscaping Plan
Sheet 7 Typical Notes

GENERAL NOTES

1. All work shall be conducted in accordance with OSHA codes and standards. Nothing indicated on the site plan shall relieve the contractor from complying with all applicable safety regulations.
2. All public improvements shall be designed and constructed to meet the City approved Urban Design Standards for Public Improvements and the Urban Standard Specifications for Public Improvements.
3. The location of existing utilities and structures is approximate. The contractor shall take precautionary measures to protect the utilities and/or structures at the site. It shall be the contractor's responsibility to notify the owners of utilities and/or structures to determine the present extent and exact location of their facilities before beginning work. If existing utility lines are encountered that conflict with new construction, the contractor shall notify the engineer so that the conflict may be resolved.
4. The Contractor shall field adjust, as necessary, all existing utilities to finish grades. Existing site utilities include, but are not limited to: fire hydrants, manhole risers, inlets, water valves, and light bases.
5. The Contractor shall preserve all monuments, stakes, reference points, and bench marks. The Contractor shall be charged the cost for replacement, lost time, and any other associated responsibility due to contractor's negligence or carelessness that results in destruction of these items.
6. All spot elevations are at the top-of-finished surfaces.
7. The Contractor shall conduct clean-up, surface restoration, and surface replacement activities as construction progresses. All debris is spilled on the ROW or on adjacent property shall be picked up by the contractor at the end of each work day.
8. Materials not suitable for construction, including, trench backfill and surface restoration, and excess materials shall be properly disposed. Disposal is incidental to construction.
9. All salvagable materials that are removed shall remain property of the City of Pella. Deliver salvagable materials to the Public Works Shop, 100 Truman Road.
10. The Contractor shall notify property owners at least 24 hours in advance if access to property will be interrupted. Access to private property for emergency vehicles shall be maintained at all times.
11. Notify Denny Bueyer, Public Works Director, City of Pella, at 641-628-1601, at least 48 hours prior to beginning construction activities (or to verify ROW, etc.).
12. The Contractor shall coordinate work and cooperate with City of Pella personnel.

STREET, DRIVEWAY, AND TRAFFIC NOTES

1. The Contractor shall provide traffic control for all work within street rights of way at no additional cost to the owner. Traffic control shall consist of barricades, signage, and lights as necessary to protect vehicle and pedestrian traffic in accordance with the Manual on Uniform Traffic Control Devices.
2. All existing street and traffic control signs that are in conflict with construction shall be removed and reset by the contractor. Owner shall direct resetting of signs. Contractor shall provide necessary signs, barricades, lights, and flagmen to insure the safe flow of vehicular and pedestrian traffic. Work is incidental to construction.
3. Contractor shall minimize disruption of traffic on Main Street & Union Street at all times. If partial closure is necessary to facilitate paving, the contractor shall coordinate lane closure to occur only during off-peak times. Flaggers will be required.
4. Remove existing street, parking, and driveway surfacing in neat, uniform lines. Replace surfacing with material noted and specified on plans. Protect remaining street surface from damage. (Notify Denny Bueyer, Public Works Director, at least 48 hours prior to working within street right of way to discuss pavement removal requirements, doweling, backfill, etc.).
5. IDOT Class M concrete mix shall be used for driveway and street replacement.
6. All public sidewalks and curb cuts to be built per City specifications and inspected by the City of Pella Public Works Director prior to pouring concrete (at least 24-hour notice).
7. Paving thicknesses shall be as shown on the plans.
8. Place transverse joint (SC joint) in new PCC pavement prior to asphalt overlay. Joint spacing to match existing or at maximum of 12 feet, whichever is smaller.
9. All sidewalks to have 2% transverse slope in the direction of natural drainage unless otherwise indicated.
10. Place 6-inch thick sidewalk through driveways. All other sidewalk shall be 4 inches thick.
11. Replace concrete curb at driveway closures to nearest joint line.

A.L.P. ENGINEERING COMPANY

Engineering | Planning | Surveying

2393 Dixon Road, Des Moines, IA 50316 • P.O. Box 4888, Des Moines, IA 50308 • P: (515) 265-8196 • F: (515) 265-0253

EXISTING UTILITIES NOTE
THE LOCATION OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. (CALL 811-888-2888)

DISCLAIMER
THIS DRAWING IS BEING MADE AVAILABLE BY A LEO PELDS ENGINEERING COMPANY, A.L.P.E.C. FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS FOR ANY PLOT THEREOF EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND

● IRON ROD OR PIPE FOUND	○ CALCULATED CORNER	▲ SECT. COR. MONUMENT FOUND	■ POWER POLE	⊕ LIGHT POLE	FF FINISHED FLOOR
—+— FENCE LINE	○ FIRE HYDRANT	○ SANITARY SEWER MANHOLE	○ STORM SEWER MANHOLE	○ VALVE	○ SIGHT ELEVATION (S.E.)
					○ NOT TO SCALE
					○ HOT MIX ASPHALT

PCC PORTLAND CEMENT CONCRETE	UTILITY LINE OR PIPE
W WATER	G GAS
S SANITARY SEWER	ST STORM SEWER
U UNDERGROUND ELEC./TEL.	OH OVERHEAD ELEC./TEL.
CHT CABLE TELEVISION	

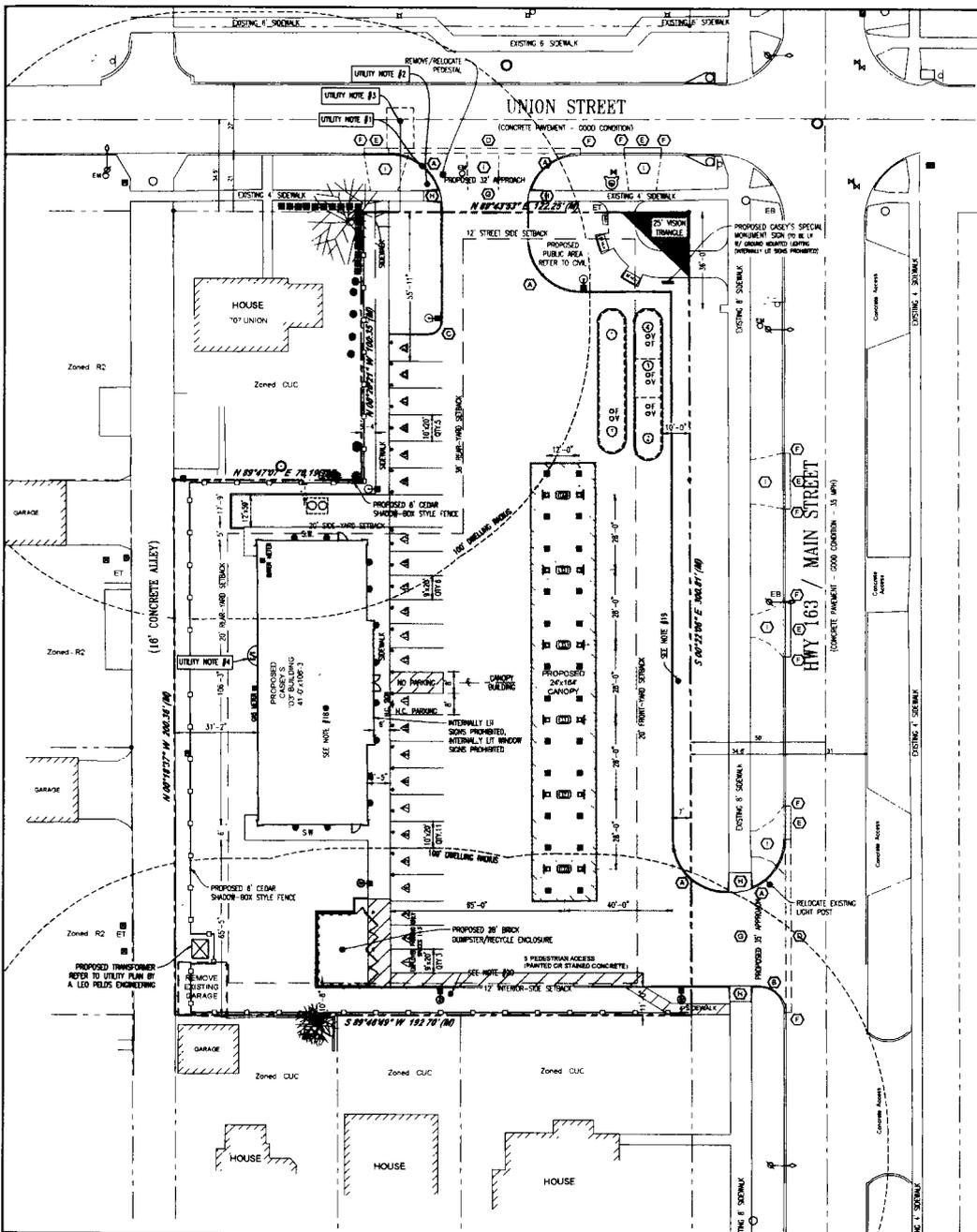
Casey's General Stores
505-513 Main Street & 705 Union Street
Pella, Iowa

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AS A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA

VOLDENWALD, P.E. IA LIC NO 18842 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017

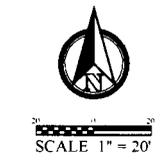
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE)

10-20-2015	E. Janda	N.T.S.	08-04-2016
15-067			COVER - SHEET 1



General Construction Notes

- 2 - 3000 GALLON CONTAINMENT SOLUTION TANKS (ONE TANK IS SPLIT 1:1)
- TANK 1 - 3000 GALLONS (8" E, UNLEADED FUEL) 10'-0" x 14'-3"
- TANK 2 - 1200 GALLONS (D - DIESEL) 10'-0" x 14'-3"
- TANK 3 - 300 GALLONS (C - PREMIUM) 10'-0" x 11'-8"
- TANK 4 - 300 GALLONS (C - PREMIUM) 10'-0" x 11'-8"
- 4 DISPENSERS (2 - 4 NOZZLES EACH)
- 2 - 3" x 6" METERS & 4 NOZZLES EACH
- TANK SETTING DETAILS SHEET OF-301
- FILL PIPE AND MANHOLE SHEET OF-301
- ISLAND SIZE 1.5 X 6' METAL GUARD PIPE
- ISLAND DETAILS SHEET OF-101
- SIGN BASE DETAILS SHEET AL-601
- DRIVEWAY JOINTS TO BE PACKED & CAULKED
- CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
- CONCRETE JOINTS - MIN 100 R/L - MAX 125 R/L - 20% DEPTH
- CONSTRUCTION JOINTS - FINISHED C/C - 12" EACH WAY WITH 1/2" REBAR #4
- APPROACHES TO BE 7" NONRES FORCED OR AS PER STATUTORY SPEC
- S/C RAMP FOR BUILDING SIDEWALK 120 H/C PARKING 150 ALL DIRECTIONS ALL ACCESSIBLE STRIPING AT 45 DEGREE ANGLE BEING MAX 4 SEPARATION
- VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS
- SLOPE RAMPS FOR BUILDING SIDEWALK 120 H/C PARKING 150 ALL DIRECTIONS
- CANOPY FOOTING - SIZE 2'-0" LENGTH X 5'-0" WIDTH X 2'-0" DEPTH - CONCRETE MINIMUM COMPRESSIVE STRENGTH FC-3000 @ 11' @ 25 DAYS (150 @ 11' FULLEXP. MAX) FOOTING DESIGN BASED ON 2500 @ 11' CONCRETE REINFORCING ASTM A615 GRADE 60 REBAR CAGE (B) HORIZONTAL TIE LENGTH WITH TOP AND BOTTOM 12" MAXIMUM SPACING
- 4 FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED AT TILES CENTER
- ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCHES LOCATED ON THE BUILDING FRONTAGE
- AIR COMPRESSOR BOX - MOUNTED TO POLE - INSTALLED ON 2x4 CONCRETE PAD 30" FROM FRONT OF CURB - 110 VOLT, 10-25 AMP, 5 GAUGE MINIMUM RECOMMENDED
- IRRIGATION SYSTEM INSTALLATION REQUIRED FOR ALL SCISSORED WITHIN PROPERTY TO BE INSTALLED WITH WIRELESS RAIN SENSOR ON ROOF RAILING



Site Information

CASEY'S MARKETING COMPANY
ONE CONVENIENCE BLVD
AMENITY KOWA 90021
CONTACT
MELANI SAMORA (515) 965-9021

Utility Notes

- PROPOSED 1" WATER CONNECTION INTO EXISTING WATER MAIN - 1" CTS HDPE SDR# 35-200 PS - VERIFY EXISTING WATER MAIN ± 1'
- PROPOSED 1" NATURAL GAS CONNECTION - INTO EXISTING NATURAL GAS MAIN - 1" SCH 40 BLACK IRON PIPE - 60 MBH 7" W.C. HOUSE PRESSURE - VERIFY EXISTING NATURAL GAS MAIN ± 1' - PROPOSED IF SANITARY SEWER CONNECTION - INTO EXISTING SANITARY SEWER MAIN - 6" BOR 23 B OR GREATER REQUIRED - VERIFY EXISTING MAIN ± 4'
- PROPOSED SERVICE ENTRANCE ELECTRICAL 3 PHASE 800 AMP 120/208 VOLTS - 4 WIRE TELEPHONE 8 PAIR - 4 LINES OLD UTILITY SERVICES TO BE CAPPED AND ABANDONED PER PUBLIC WORKS REQUIREMENTS IF NOT ALREADY COMPLETED

Zoned: CUC

Mixed Use Urban Commercial Corridor

DR - Design Review Overlay
PUD - Preliminary Development Overlay

Setbacks per PUD
Front Yard 118'-0"
Rear Yard 122'-9"
Rear Set 89'-0"
Rear Yard 31'-2"

All setbacks per the PUD development agreement

RAMPING REQUIRED
1 SPACE / 200 SF FLOOR AREA
4.47' FT / 200' X 22' 3 1/2" X 23"
± 5 SERVICE CAPACITY ± 12'
± 5 SPACES REQUIRED

PROVIDED
23 MARKED SPACES
12 UNMARKED SPACES
32 PARKING SPACES PROVIDED

STORIES
1 STORY PROPOSED

Survey Legend

- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ SANITARY SEWER MANHOLE
- ⊠ STORM SEWER MANHOLE
- ⊠ STORM SEWER INLET
- ⊠ ELECTRIC MANHOLE
- ⊠ ET ELECTRICAL TRANSFORMER
- ⊠ EB ELECTRIC BOX
- ⊠ PEDESTAL
- ⊠ LIGHTED POWER POLE
- ⊠ TRAFFIC SIGNAL POST

Contact Info.

PELLA CITY HALL
825 BROADWAY ST
PELLA, IA 52189
PH 841 628 4173
FAX 841 628 3120

CITY CLERK
RONDA BROWN
RBROWN@CITYOFPELLA.COM

MAYOR
JAMES MUELLER

PUBLIC WORKS DIRECTOR
DENNY BUYERT
PH 841 628 1601
DBUYERT@CITYOFPELLA.COM

PLANNING AND ZONING DIRECTOR
GEORGE MESSELOFT AICP
PH 841 628 1601
GMESSELOFT@CITYOFPELLA.COM

(ARM) ALLIANT ENERGY
CONTACT NAME LAURA BARR
CONTACT PHONE 3192615115
CONTACT EMAIL LOCATE IFL@ALLIANTENERGY.COM

(C&B) CENTRAL COLLEGE
CONTACT NAME WENDY LUBBERDEN
CONTACT PHONE 5152625444
CONTACT EMAIL LUBBERDEN@CENTRAL.EDU

(S11) WINDSTREAM COMMUNICATIONS
CONTACT NAME JOEL SCHROEDER
CONTACT PHONE 8002891801
CONTACT EMAIL LOCATE DESK@WINDSTREAM.COM

(RWA) NETWORK SERVICES
CONTACT NAME JEFF KLUCKO
CONTACT PHONE 5158300445
CONTACT EMAIL JEFF@NETSIS.COM

(M11) WINDTREAM MCLBDO
CONTACT NAME JOEL SCHROEDER
CONTACT PHONE 8002891801
CONTACT EMAIL JOEL.SCHROEDER@WINDTREAM.COM

(PEA) PELLA CITY OF
CONTACT NAME HARLEY VANOUSSELSR
CONTACT PHONE 8416281601
CONTACT EMAIL PELLAWAT@USCO.COM

(PEA1) CITY OF PELLA WATER TREATMENT
CONTACT NAME BRENT SCHROEDER
CONTACT PHONE 8416281601
CONTACT EMAIL BRENTSCHROEDER@CITYOFPELLA.COM

(TCA) MEDACOM LLC
CONTACT NAME CURT HODGES
CONTACT PHONE 5159665441
CONTACT EMAIL CHODGES@MEDACOMCO.COM

Referenced Sheets

- CIVIL PLANS BY A LEO PHELPS ENGINEERING
SHEET 1 COVER SHEET
SHEET 2 BOUNDARY & TOPO
SHEET 3 AL-101 SITE PLAN (THIS SHEET)
SHEET 4 GRADING PLAN
SHEET 5 UTILITY PLAN
SHEET 6 LANDSCAPING PLAN
LIGHTING PLANS BY RED LEONARD ASSOCIATES
RL-3181-S2-R4 EXTERIOR LIGHTING PLAN

Legend

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE

City Required Notes

- PUBLIC SIDEWALK ACCESS WILL NEED TO BE MAINTAINED THROUGH CONSTRUCTION BY TEMPORARY SIDEWALKS OR APPROVED SIGNED DETOUR ROUTES
- ROADWAY AND SIDEWALK PAVEMENTS DAMAGED BY CONSTRUCTION OPERATIONS WILL NEED TO BE REPLACED PER CITY STANDARD TO THE NEAREST JOINT LINE
- BIKE TRAIL CLOSURE OF BIKE TRAIL WOULD NEED TO BE KEPT TO A MINIMUM DURING DRIVEWAY CONSTRUCTION

Keyed Construction Notes

NOTE: ALL WORK IN THE R.O.W. AREA IS SUBJECT TO THE CITY OF PELLA AND SHALL BE APPROVED AND SPECIFIED BY THE CITY.

- ⊠ PROPOSED 2' RADIUS
- ⊠ PROPOSED 3' RADIUS
- ⊠ DEPRESSED CURB AND GUTTER
- ⊠ VERTICAL CURB AND GUTTER
- ⊠ INTO EXISTING VERTICAL CURB AND GUTTER @ NEAREST EXISTING JOINT LINE
- ⊠ 24" MAX CROSS SLOPE SIDEWALK AREA
- ⊠ TAPE CURB TO SIDEWALK - NO DETECTABLE WARNING MAT
- ⊠ REMOVE EXISTING APPROACH
- ⊠ MARKED PARKING SPACES (PARK LINES AS INDICATED)
- ⊠ GASOLINE PUMP PARKING SPACES (DO NOT PAINT LINES OR OTHERWISE MARK)
- ⊠ CONCRETE PAVING OR SIDEWALKS
- ⊠ AREA TO BE SODDED
- ⊠ PROPOSED 1000 GALLON GREASE INTERCEPTOR WITH TWO MANHOLES
- ⊠ PROPOSED AREA LIGHT (BRONZE) W/ 8'x8'x4" FLUORESCENT (24" OVER CURB) REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- ⊠ PROPOSED CANOPY LIGHT (WHITE) MOUNTED UNDERNEATH GASOLINE CANOPY REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- ⊠ PROPOSED "GOOSE NECK" LIGHT (BRONZE) MOUNTED TO BUILDING FACADE REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES

Legal Description

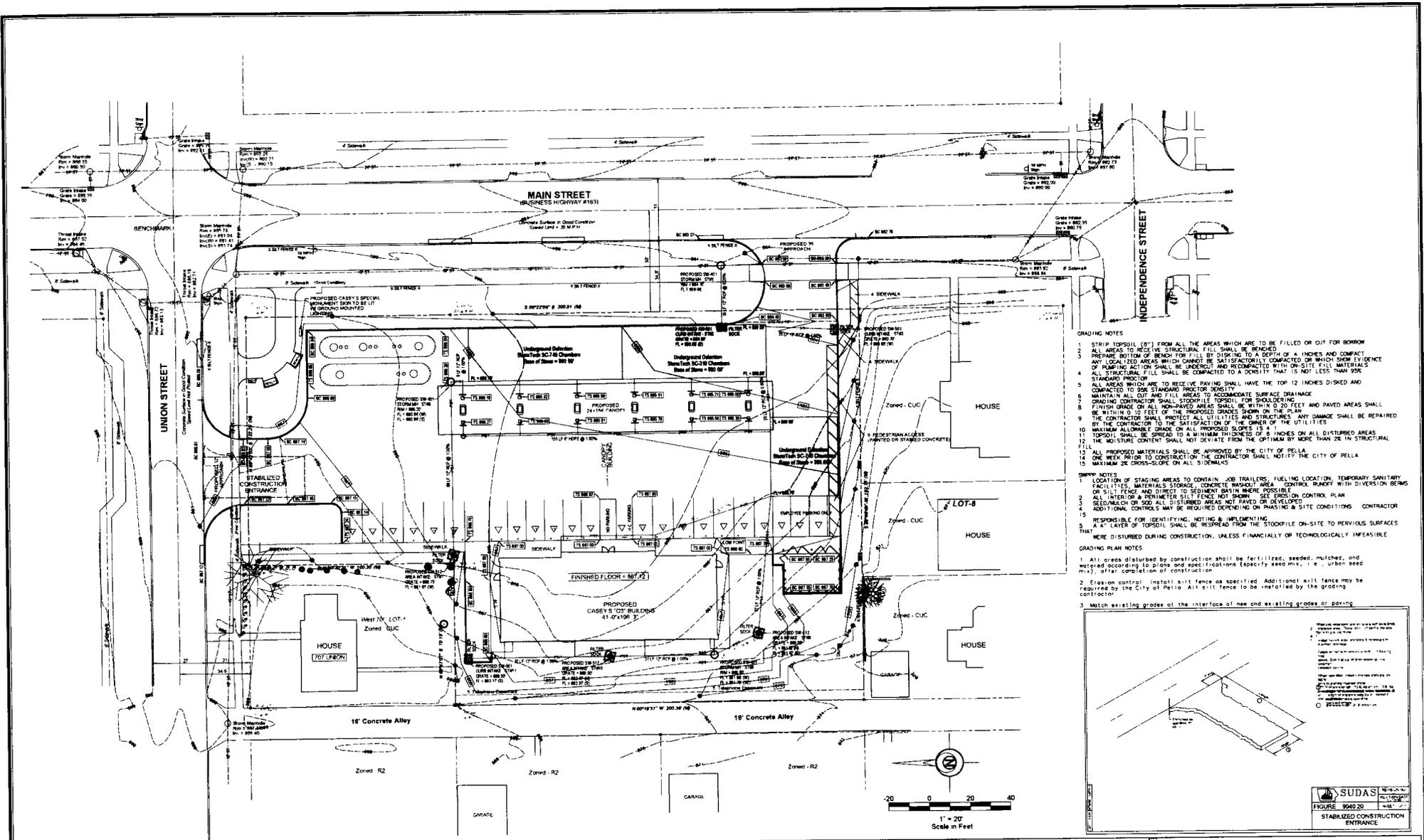
LOT 1 EXCEPT THE WEST 10.00 FEET THEREOF AND ALL OF LOTS 4 AND 5 IN BLOCK 61 IN THE CITY OF PELLA IOWA

U.G.S.T. Notes

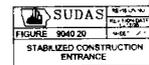
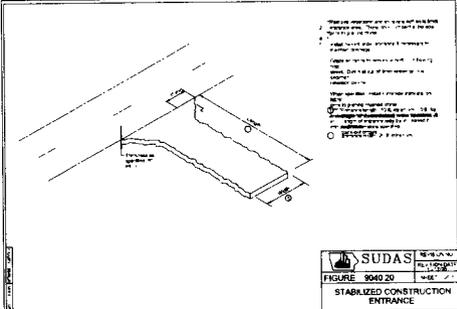
- ⊠ FILL PATCH BASIN W/ OVERSLOPP PROTECTION (TYP)
- ⊠ TURBINE ENCLOSURE TYP CONTAINS SUB-PLUMB W/ INE DETECTION TANK PROBE FOR FUEL MONITORING INCLUDING THE INTERFERENTIAL SENSOR AND TANK SUMP SENSOR
- ⊠ VENT EXTRACTOR W/ VALF FLOAT FOR OVERFILL PROTECTION
- ⊠ SUMP SENSOR @ EACH DISPENSER

BRICK/EIFS FOUR SIDES - HIP ROOF SPECIAL BUILDING FACADE NO REAR BUILDING LIGHTING BRICK CANOPY COLUMNS SPECIAL CANOPY FACADE

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd P.O. Box 3001, Amenity IA 50015 965-984-8100		
PELLA, IA #68 (REPLACEMENT)	07-17-15	SITE PLAN
10'3" STYLE STORE - GABLE ROOF	02-11-16	
CONSTRUCTION DIVISION	02-18-16	AL-101
JACOB CLARK	06-18-18	



- GRADING NOTES**
1. STRIP TOPSOIL (2") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW
 2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE REMOVED
 3. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS
 4. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 90% STANDARD PROCTOR
 5. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 90% STANDARD PROCTOR DENSITY
 6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE
 7. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING
 8. FINISH GRADE ON ALL UNPAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADES SHOWN ON THE PLAN
 9. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES
 10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 4%
 11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS
 12. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL
 13. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF PELLA
 14. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF PELLA
 15. MAINTAIN 2% CROSS-SLOPE ON ALL SIDEWALKS
- SWEEP NOTES**
1. LOCATION OF STAGING AREAS TO CONTAIN JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIAL STORAGE, CONCRETE WASHOUT AREA, CONTROL RANOFF WITH DIVERSION BERM OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE
 2. ALL INTERIOR PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN
 3. REEVALUATE ON 500 ALL DISTURBED AREAS NOT PAVED OR DEVELOPED
 4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASES & SITE CONDITIONS. CONTRACTOR RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING
 5. A 4" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ON-SITE TO PREVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE
- GRADING PLAN NOTES**
1. All areas disturbed by construction shall be fertilized, seeded, mulched, and watered according to plans and specifications. Erosion control shall be in place before construction begins.
 2. Erosion control install silt fence as specified. Additional silt fence may be required by the City of Pella. All silt fence to be installed by the grading contractor.
 3. Match existing grades at the interface of new and existing grades or paving.



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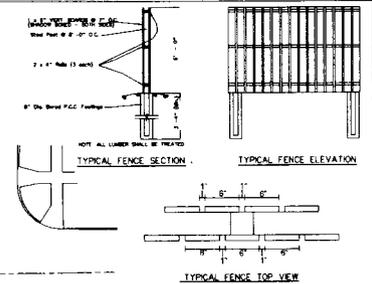
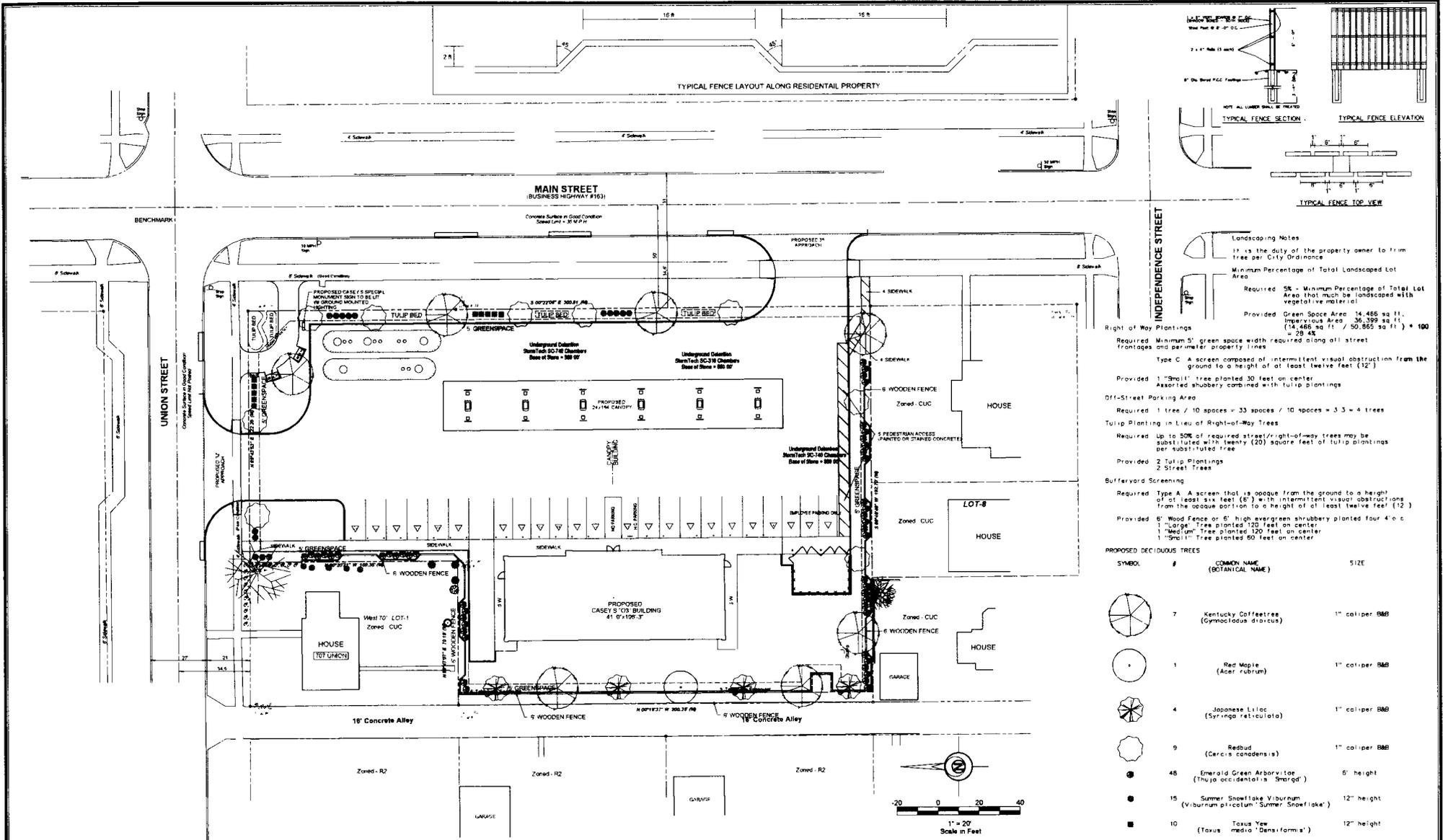
LEGEND

STANDARD SYMBOLS	○	CLEANOUT	□	DOWNSPOUT
MATCH EXISTING ELEVATION	—/—	MORE OR LESS	—/—	PROPOSED UTILITY LINE
GAS METER	⊕	FENCE LINE	—/—	UTILITY LINE OR PIPE
PARKING SPACE	⊕	FIRE HYDRANT	—/—	WATER
STREET LIGHT	⊕	SANITARY SEWER MANHOLE	⊕	WATER METER
POWER POLE	⊕	STORM SEWER MANHOLE	⊕	GAS
LIGHT POLE	⊕	VALVE	⊕	SAN
FINISHED FLOOR	FL	BOTTOM OF CURB ELEVATION	⊕	ST
		TOP OF CURB ELEVATION	⊕	SEWER
		TOP OF SLAB ELEVATION	⊕	UNDERGROUND ELEC / TEL
		FLOWLINE ELEVATION	FL	OVERHEAD ELEC / TEL
				CABLE TELEVISION

○	DOWNSPOUT
—/—	PROPOSED UTILITY LINE
—/—	UTILITY LINE OR PIPE
—/—	WATER
⊕	WATER METER
⊕	GAS
⊕	SAN
⊕	SEWER
⊕	UNDERGROUND ELEC / TEL
⊕	OVERHEAD ELEC / TEL
⊕	CABLE TELEVISION

Casey's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

Markus Rasmussen, Director of Union & Main
 Date: 08-16-2016
 10-20-2015 E. Janda 1" = 20' 08-16-2016
 15-067 GRADING



Landscaping Notes
 It is the duty of the property owner to trim trees per City Ordinance.
 Minimum Percentage of Total Landscaped Lot Area
 Required: 5% - Minimum Percentage of Total Lot Area that must be landscaped with vegetative material.
 Provided: Green Space Area: 14,466 sq ft, Impervious Area: 36,399 sq ft (14,466 sq ft / 50,865 sq ft) * 100 = 28.4%

Right of Way Plantings
 Required: Minimum 5' green space width required along all street frontages and perimeter property lines.
 Type C: A screen composed of intermittent visual obstruction from the ground to a height of at least twelve feet (12').
 Provided: 1 "Small" tree planted 30 feet on center. Assorted shrubbery combined with tulip plantings.

Off-Street Parking Area
 Required: 1 tree / 10 spaces = 33 spaces / 10 spaces = 3.3 = 4 trees.
 Tulip Planting in Lieu of Right-of-Way Trees
 Required: Up to 50% of required street/right-of-way trees may be substituted with twenty (20) square feet of tulip plantings per substituted tree.
 Provided: 2 Tulip Plantings, 2 Street Trees.

Buffered Screening
 Required: Type A: A screen that is opaque from the ground to a height of at least six feet (6') with intermittent visual obstructions from the opaque portion to a height of at least twelve feet (12').
 Provided: 6' Wood Fence or 8' high evergreen shrubbery planted four (4) x 1' Large Tree planted 120 feet on center, 1 "Medium" Tree planted 120 feet on center, 1 "Small" Tree planted 60 feet on center.

PROPOSED DECIDUOUS TREES

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	7	Kentucky Coffeetree (Gymnocodium dioicus)	1" caliper B&B
	1	Red Maple (Acer rubrum)	1" caliper B&B
	4	Japanese Lilac (Syringa reticulata)	1" caliper B&B
	9	Redbud (Cercis canadensis)	1" caliper B&B
	48	Emerald Green Arborvitae (Thuja occidentalis 'Spartan')	6' height
	15	Summer Snowflake Viburnum (Viburnum plicatum 'Summer Snowflake')	12" height
	10	Texas Yew (Taxus media 'Densaformis')	12" height

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LEGEND

STANDARD SYMBOLS

- MATCH EXISTING ELEVATION
- GAS METER
- PARKING SPACE
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- FINISHED FLOOR

OTHER SYMBOLS

- CLEANOUT
- MORE OR LESS
- FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- BOTTOM OF CURB ELEVATION
- TOP OF CURB ELEVATION
- TOP OF SUB ELEVATION
- FLOWLINE ELEVATION

UTILITIES

- PROPOSED UTILITY LINE
- UTILITY LINE OR PIPE
- WATER
- WATER METER
- GAS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELEC / TEL
- OVERHEAD ELEC / TEL
- CABLE TELEVISION

Casey's General Stores
 505-513 Main Street & 705 Union Street
 Peella, Iowa

10-20-2016 E. Josella 1" = 20' 08-18-2016 15-087

LANDSCAPING

General Notes

1. The contractor shall notify the City of Pella, Developer's engineer and One-Call 48 hours prior to commencing construction and prior to culvert construction and backfill, utility construction, subgrade prep, main line paving, roundabout paving and base-out paving.
2. All construction shall be in accordance with the Standard Urban Standard Specifications for Public Improvements, current at the commencement of construction.
3. The contractor and developer's engineer shall attend a pre-construction conference as required with the Public Works Department prior to commencement of construction.
4. The contractor shall verify the location and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor at the contractor's expense to the satisfaction of the city and the owner.
5. The contractor shall be responsible for recording the as-built location of all sanitary sewer, storm and water main services.
6. Reconnect any field file that are intercepted during utility construction.
7. The contractor shall be responsible for installing traffic control in accordance with the manual on uniform traffic control devices.
8. A representative from the cable concrete supplier's construction specialties shall be on-site at all times to direct the placement, embedment, anchoring, grouting and clamping of the mats.
9. The space between the cable concrete cells located on the side slopes of the channel shall be backfilled with topsoil and seeded with crown vetch.
10. The developer's engineer shall provide as-built manholes and files in electronic format to the City of Pella prior to acceptance of the public improvements.
11. Public sidewalk access will need to be maintained through construction by temporary sidewalks or approved signed detour routes.
12. Roadway and sidewalk pavements damaged by construction operations will need to be replaced per City standard to the nearest joint line.

Sanitary sewer typical notes

1. All 8" sanitary sewer shall be PVC truss pipe with class "B" bedding unless otherwise noted on the drawings.
2. The contractor shall install sewer slope at the end of each sanitary sewer service.
3. All inverts located at an elevation above the centerline of the existing through pipe and less than 2' above the manhole floor shall have a paired-in-place sloped invert.
4. All manholes within pavement shall have type "B" adjustable castings and internal chimney seats. All manholes not within pavement shall have type "A" non-adjustable castings and external chimney seats.
5. All 4" and 6" sanitary sewer services shall be SDR 35 in accordance with Urban Standard Specifications. All services shall be extended 10' inside lot lines unless otherwise noted on plans.
6. Manhole steps are required in all sanitary sewer manholes.
7. Manholes covers shall have raised diamond roughness pattern.
8. The contractor shall televise every sanitary sewer line and provide a copy of the video tape and file in WindCam format to Pella Public Works. Using a 500 gallon tank and garden hose, the contractor shall gravity flow water down the pipe during televising so dips and sags can be identified. The City shall notify the contractor of any necessary cleaning and/or repairs. The contractor shall jet clean and vacuum any section of pipe from manhole to manhole, with mid-or debris more than 1" deep, along with any downstream segments as required due to this construction. These segments shall then be re-televised to demonstrate pipes are clean. If repairs, if necessary and televising shall be at the contractor's expense.
9. Special sanitary sewer connections shall be made with 441 style watermain clamp.
10. Provide shop drawings for manhole inverts for approval by City prior to ordering or installing manholes.

Storm sewer notes

1. All intake castings shall have Phase 2 environmental symbology or text.
2. Additional rip-rap may be required at the FES based upon field review by City of Pella.
3. Provide subdrain behind back of curb on public streets as required based on subsurface moisture conditions. Connect subdrain to storm sewer intake using RCP pipe beneath pavement.
4. All intakes shall have vane grates.
5. Branch tapping drains to be RCP SDR 35.
6. Footing drain services to be 4-inch PVC, SDR 35. Extend services 10' inside lot unless otherwise noted.
7. All intakes shall be located a minimum of 7.5' feet from end of returns.
8. The contractor shall provide a minimum of 3'-6" cover on all storm sewer, including sump services.
9. All intakes shall be precast-in-place concrete structures.

Water main typical notes

1. Pipe materials shall be AWWA C900 class 150 PVC.
2. Install No. 10 thin standard copper tracer wire under pipe, bring tracer wire to surface of hydrant with receptacle box.
3. Connect new tracer to existing using approved splice kit and provide a ground rod at end of tracer wire for location and extension in future. The City will test the tracer wire prior to acceptance of plan and repairs, if any, shall be at the contractor's expense.
4. Hydrants shall be set 3.5 feet from the water main.
5. Hydrants, manhole covers and valve boxes shall be set to conform to finished pavement elevations.
6. Hydrants to be Mueller or Clow type hydrants, painted yellow.
7. Services to be 1/2-inch copper.
8. Stop boxes for 1" through 2" water service lines shall include a stainless steel self-centering rod with stainless steel collar pin within the stop box housing with an 1" extendable upper section and lid with 1" pentagon plug. All stop box installations shall be completed in such a manner that the lids are able to raise with the frost and lower if driven over without damage to curb valve. Finish grade of the lid shall be level with the surrounding surface and does not present a hazard to the public.
9. Water main to have 5' feet bury, typical except at critical crossings.
10. All valves shall have a valve box adapter installed to maintain alignment.
11. The contractor shall remove chains on all hydrants.
12. The contractor shall work with the City of Pella Water Department when operating existing valves. Water shall not be turned on without prior approval of the City of Pella.
13. Water can not be used by the contractor unless it is part of the purification process of the new main. Water needed for any reason after bacterial testing has been completed and passed will need prior approval from the City of Pella.
14. Provide 2' blow-off at the terminal end of the 8" water line.

LEGEND

●	IRON ROD OR PIPE FOUND	+	MORE OR LESS	P.C.C.	PORTLAND CEMENT CONCRETE
○	CALCULATED CORNER	—XX—	FENCE LINE	—XX—	UTILITY LINE OR PIPE
▲	SECT. COR. MONUMENT FOUND	W	FIRE HYDRANT	W	WATER
▲	SECT. COR. MONUMENT CALC.	○	SANITARY SEWER MANHOLE	G	GAS
●	POWER POLE	○	STORM SEWER MANHOLE	S	SANITARY SEWER
●	LIGHT POLE	○	VALVE	ST	STORM SEWER
●	FINISHED FLOOR	125.3	SPOT ELEVATION (C/A)	USE/T	UNDERGROUND ELEC. / TEL
		INTS	NOT TO SCALE	FIN/T	OVERHEAD ELEC. / TEL
		HMA	HOT MIX ASPHALT	CATV	CABLE TELEVISION

EXISTING UTILITIES NOTE
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Casey's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

10-20-2015	E Jordan	NTS	02-15-2016	15-087
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12:00 PM 10/20/2015
 10/20/2015 12:00 PM 10/20/2015
 10/20/2015 12:00 PM 10/20/2015

Typical Notes

From: Roose, Linda [<mailto:LJRoose@Pella.com>]

Sent: Friday, September 02, 2016 11:38 AM

To: Mike Nardini <mnardini@cityofpella.com>

Subject: New Casey's

Mr. Nardini,

I am not sure who I should contact...is the first petition that was signed regarding the new Casey's on Main Street still valid?

If so, I would like to remove my name from the protest petition as after having more facts, etc. I think the new Casey's on Main Street would be an asset to Pella.

Having been "caught" in the Casey lots downtown, trying to get back onto the street (without getting hit), I feel the new Casey's on Main Street would be much easier for access and leaving.

Linda

Linda Roose

Mike,

Alan Beyer called this morning while you were on another call. He declined to leave a voicemail but asked that I pass along his comments.

I'm paraphrasing all that he said, but essentially he is in favor of the Casey's being built on Main Street. If you would like to speak with him, he may be reached at 507.382.7436.

Cynthia Vaske

Administrative Support Technician

City of Pella

825 Broadway Street

Pella, IA 50219

Phone: 641-628-4173

cvaske@cityofpella.com

From: Kent Beyer <kent.beyer@student.pella.k12.ia.us>

Subject: Casey's

Date: September 1, 2016 at 7:49:14 PM CDT

To: mayor@cityofpella.com, mark@dejonggreenhouses.com,
tbokhoven@iowatelecom.net, danvb@lisco.com, elsvan@iowatelecom.net,
eagleelectric@iowatelecom.net, ljpeterston60@gmail.com

Dear Councilmen/Mayor

Hi, I am Kent Beyer. I am currently a senior at Pella High. I am enrolled in a government class and have talked about the Casey's dispute and our current views on this subject as citizens of Pella. As we discussed our views in class something kept crossing my mind. Why do we forbid the growth of businesses in our town. As I thought about this question many things crossed my thought process I would like to share it with you folks.

First I would just like to start off by giving you a little info about my self. By doing this I hope that it will show you a perspective on my thoughts. I currently live half way between Pella and Knoxville on T15. I live down a lane with my grandma living in the front part. My family is very proud of our local communities and the surrounding area. As I write this I hope that this info will help in your evaluation process of my letter.

Some time ago my father Daryl Beyer, tossed around the idea of putting up a hog shed. As he discussed the options he asked local friends for support by asking them questions about manure and general information about hogs. Once he started talking about the process the whole idea of a hog shed blew up in the public eye. The way he described to me it was a huge explosion of public dissatisfaction. He told me that all building rules/codes were within law, but the only things stopping him was the public out cry. To this day the topic of this hog shed still brings confusion to my family. Why would a community want to not expand the economic growth of a farmer. With the manure value and animal values it would hopefully increase our crop yield and overall our family income, in return providing more tax dollars for our local community. Now as we look forward to the Casey's dispute the same thing is happening. People didn't want a hog shed in the country where it belongs with all the right codes, and now the City does not want a public business in a public place. The way I see it I find something wrong with this. By not allowing Casey's we might be potentially scaring off future businesses by our tough and set in place ways of wanting just perfect.

Some of the issues I have heard about this proposed Casey's is confusing and quiet frankly dumb in my opinion. I have heard that it will make it unsafe for children to walk or get to uptown of Pella. I feel that we have 2 Casey's already on the square and we would actually be making our main drags safer by moving the busy traffic of pulling in and out of Casey's to one location. I think also that the issue of the gasoline smell is very silly. I don't understand why they can't have a new Casey's by houses when the current Casey's is next to houses anyway and not to mention a historical site. I think that the smell of gas would deter visitors from the local Schotte house, but it seems not to have bothered them at all because overtime I walk by their I always see visitors. Now the solution that the city is offering is affordable housing. I think that this idea is very detrimental to Pella's values and beliefs. An elderly friend of mine was talking

to me at my local church about this issue and he made a very valid point. Would you rather have someone go to Casey's for a small amount of time and get their alcohol and party and drink it at home, or would you rather have them bring it to their home where the Casey's would be and party and drink their where the whole town drives by. I personally would much rather have them make ruckus at a house not in the middle of town. Same goes for Tulip Time. I think that visitor would much rather see a big beautiful Casey's then a huge housing building where attendants could make messes and disruptive activity This also plays into the sound issue. When I heard the issue of sound being brought up in a town meeting I also thought, well we have two Casey's on the squared don't tell me they don't make sound.

I hope that my thoughts were helpful and reasonable. I will continue to pray for our town and you folks as you continue in your terms in public office.

Thanks,
Kent Beyer

From: "Triplett, Ryan" <tripletrc@Pella.com>
Subject: Concerned Pella Citizen
Date: August 31, 2016 at 12:27:39 PM CDT
To: "danvb@lisco.com" <danvb@lisco.com>

Councilmember Vander Beek,

I went for a run this morning. I would not have been able to say that a year ago. You see, I have been on a journey over the last year. I have lost over 100 pounds the hard way. Through sheer determination, watching my diet, and beginning to exercise. It has not been an easy task. But, I now truly enjoy running. This morning I ran with a lot on my mind as I admired the tranquil nature of our community. The beautiful flower beds, Dutch architecture, small businesses & shops. What a wonderful place to live!

I have not lived in Pella my entire life. My wife & I moved here in 2004 when we were both 24. We are both originally from very small towns in NW Iowa. We both attended college & upon graduation we started our careers. When looking at communities to locate to we had some big decisions to make.

We fell in love with Pella. A beautiful city. It was much larger than the place we both grew up, but still has that small town feel. A great place to raise a family, and that is true now more than ever as we raise our now 8 year old daughter & 4 year old son.

I read the posting in the Town Crier last night regarding the new Casey's proposal. I ask you to deny Casey's request to build this new giant Casey's on Main Street that has been proposed – I agree, wrong size & wrong location. I implore you to not allow this to move forward. A Casey's of this size does not belong in downtown Pella. My daughter is getting to an age where we'd like to give her some freedoms such as riding her bicycle to the Library & Community Center. I'd like to offer those same freedoms to my son as he gets older. This is right on the Volksweg path, one used by so many walkers, runners, & bicyclists alike. I see the location of this Casey's as a real safety concern. Is there not another location that this can go that would make more sense? Has Casey's even looked at alternatives? I ask you, as a concerned citizen of our great community, to not allow this.

Thanks,

Ryan Triplett
1st Shift Lumber/Metal/Service Parts Plant Quality Tech



From: Don Ridder [<mailto:pastor@gracepella.org>]

Sent: Wednesday, August 31, 2016 9:41 AM

To: Pella Mayor <mayor@cityofpella.com>; Mike Nardini <mnardini@cityofpella.com>

Subject: Casey's debacle

Good morning Mayor Mueller (and neighbor Jim) and Mr. Nardini,

Thank you for leading our city and struggling with this issue. I do not envy you! Here's my case:

SUMMARY: Casey's on Main Street will not be good for Pella

GROUNDS:

1. I'm a former architect and did a lot of urban planning – a building of this size and prominence (bright red, strong illumination) will forever change that primary corridor in town.
 - a. Traffic will increase
 - b. Although new, it is an eyesore no matter how they build it
 - c. The historic district nearby will have this in their backyard
 - d. It is not in the character of the buildings around it – community minded... library, community center, Molengracht, small businesses
2. As a lover of history and culture – and the Dutch roots of our city – this does not fit at all
3. As a supporter of locally owned businesses... this doesn't help
4. Assuming they will close 3 of their smaller stores, and in the best case fully redevelop them, we are taking too big of a gamble. Although the absence of 2 of them on the square would improve traffic and hopefully add eye-appeal when re-developed, the current stores fit better in a town of small businesses.
5. As a car owner, I am content to drive to one of the mega stores close to the bypass – we don't NEED one in town! We're talking ONE MILE!
6. As a convenience store consumer – well, I'm not... we don't really need more chips, smokes, cokes and lottery cards.
7. The City of Pella would do better to repurpose an existing building into a "welcome center" or "tourist info" spot with a number of convenient, clean, modern toilets – let's not rely on a gas station for this!
8. As a pastor, I can say the folks in our church who have worked there say they were treated well, but building a behemoth staffed with entry level wage earners is not the solution.
9. As a consumer, we need variety and competition (other gas stations) – not a monopoly.
10. As for the lawsuit... settle it and rezone the city carefully with a long term master plan.

Thank you again for taking the time to read this and for leading the city well!

Don Ridder (411 Lincoln)

-----Original Message-----

From: Myron Laura Van Zee [mailto:bopnma@hotmail.com]

Sent: Tuesday, August 30, 2016 4:56 PM

To: Jennifer Elsloo

Subject: New Casey's store

Sorry if you aren't the correct person that this should go to, if not please forward to that person. This is in regards to the new Casey's store that is being proposed for Main Street across from Pizza Ranch.

I am not for or against the new Casey's. But I guess that I am confused about a bunch of things. If the property is zoned commercial and they are willing to put a Dutch front on it, how can the city refuse to let them build? It's zoned commercial. I understand that the people close to the location don't like it, but that's the way it is. Did these people that are against this the same people that didn't like the Molengrat, the new library, the new fire station, and the other new buildings that have been built because they aren't part of "historical" Pella?

I would think that the city would love to have a new Casey's built so that the other three old buildings could be tore down and improve the looks of the city. I would also think that the Historical Society would love to have the land of the Washington Street/Broadway Casey's and the city would love to have the land for parking of the Washington Street/Main Street Casey's.

Anyhow, I guess that I hope the city does the right thing because I would think that this isn't the first time that Casey's has run into something like this. I am afraid that the legal council of Casey's and the Des Moines press would love to make Pella look bad and that is the last thing that I want to see.

Thanks!

Myron Van Zee

TO: City of Pella Clerk

August 22, 2016

Per Iowa Code Section 414.4, we, the affected homeowners within 200 feet of the 500 block of Main Street, Pella, Iowa hereby formally protest any changes to the zoning ordinances of the area.

Name	Address	Date
Shonda Kermode	510 Broadway Pella, IA 50219	8/21/16
David Kermode	510 Broadway Pella, IA 50219	8/21/16
Anna	704 Independence St. Pella, IA 50219	8/21/16
Gina Van Dyk	708 Independence St. Pella, IA 50219	8/21/16
Maria Van Dyk	708 Independence St. Pella, IA 50219	8/21/16
JOSHUA VISSER	516 BROADWAY ST. PELLA IA 50219	8/21/16
Janice Stebbins	314 Broadway St Pella IA 50219	8/21/16
Wendy Visser	516 Broadway St Pella IA 50219	8/21/16
Scott Butler	714 INDEPENDENCE ST PELLA, IA 50219	8/21/16
Bonnie Braslow	706 INDEPENDENCE ST PELLA, IA 50219	
K. Hamer	707 Union St Pella IA 50219	
Jeffery	506 BROADWAY ST. PELLA, IA 50219	8/21/16
Emily Winters	504 BROADWAY PELLA IA 50219	8/22/16

Mike Brown

From: Renee <patragreek@yahoo.com>
Sent: Sunday, August 21, 2016 8:30 PM
To: Mike Brown
Subject: Fwd: Concerned resident

Dear Mr. Brown,

I'm forwarding my letter to you. Sorry, didn't know who to send it to.

Thank you,
Renee and Kosta Bastas

Sent on the new Sprint Network from my Samsung Galaxy S4

----- Original message -----

From: Renee <patragreek@yahoo.com>
Date: 08/21/2016 5:30 PM (GMT-06:00)
To: jbyers@cityofpella.com
Subject: Concerned resident

Dear Mr. Byers,

My name is Renee Bastas and my husband is Kosta Bastas. We live on 706 Independence St. In beautiful downtown Pella. But unfortunately this could all change and we could be smelling fumes, shining lights in our restored home and many other factors that we have brought before the board in the pass meetings.

It states in first paragraph of the Planning and Zoning website how Pella should be preserved.

We are not against Casey's we are against the location.

Please forward this letter to the rest of the members on the Planning and Zoning .

Thank you,

Renee Bastas

Sent on the new Sprint Network from my Samsung Galaxy S4

Mike Brown

From: Jerry Byers
Sent: Monday, August 22, 2016 7:04 AM
To: Mike Nardini; Mike Brown
Subject: FW: Proposed PUD zoning

From: Adam Hale [mailto:haleaj1@gmail.com]
Sent: Sunday, August 21, 2016 6:01 PM
To: Jerry Byers <jbyers@cityofpella.com>
Subject: Proposed PUD zoning

Dear Pella Planning and Zoning,

We are emailing you today in regards to the proposed rezoning of the lot on the corner of Main and Union. Our first question/concern, would this PUD classification conflict with the City Council's recent rezoning of the same parcel of land?

We also noticed something in the City Zoning Codes that mentions if 20% of surrounding landowners submit a protest, such a change would require a 75% favorable vote by the City Council in order to be approved. Do we need a specific form to put this in action, or if we get names, signatures, and addresses on a paper does that suffice?

We have seen the proposed site plan for this go round and have some concerns. First of all, we would like to remind you all that the primary issue that lead to a vote against the previous plan was a matter of size of the proposed facilities that lead to an unfavorable number on the city's compatibility chart. Our opinion is also that such a store is not compatible in said location, not only based on size, but also based on looks. Those two things would make such a location in violation of at least 165.03 parts 3 and 4. The new drawing also has markings that show fire code's required 100 ft radius between tanks/pumps and nearby properties. It seems that at least two properties (ours being one) are really pushing those limits and a third (house on corner of Independence and Main) is actually for sure inside that limit which would make this plan unfeasible. We would also like some clarification on those lines showing the radii as they seem to be drawn with the outside line being 100 ft from the center of the homes. Shouldn't those be drawn from the outer walls of the nearby homes in order to provide a more accurate distance? One more question regarding these pumps and tanks being so close: Does such a close proximity take away surrounding owners' option to someday build an addition? It seems that if it's unsafe to build pumps that close to homes, it would be just as unsafe to build homes that close to pumps. Taking that option away from people would not seem to be ethical.

One thing that we would also like to see/hear in this whole ordeal is how a Casey's in this spot would be a benefit to the community. What's obvious is how this would benefit the landowner and even a large corporation such as Casey's, but it is very difficult to see how this would benefit the city (let alone the surrounding neighborhood) even if other Casey's locations are closed. As has been mentioned in prior meetings and letters, it seems there are more appropriate and beneficial uses of this land.

We also can't help but feel that Casey's is working hard to push this through in beautiful Pella in order to feed their agenda. If this passes here, they will be able to go to other primarily residential neighborhoods in other cities and say, "Look, even Pella was fine with this."

Please continue to stay strong as you stand up to such a large corporation. Please continue working to preserve the charm of Pella and it's main corridor.

Thank you for your time.

Adam and Jacqueline Hale, 704 Independence Street

August 21, 2016

Dear Planning and Zoning Commission members:

I would like to thank you for the work you have done on this commission and let you know that I appreciate the difficulty of your job in the past months. For all of our sakes, I hope that this matter is resolved soon.

In considering a change in zoning to a PUD in the 500 block of Main St., I think there are a number of things in our city code to consider.

- First, I would like to present a protest that has been signed by every property owner on the block with the exception of Casey's.
- Second, I would first like to read the meaning of Compatible from the City Code 165.10 #35
 - "Compatibility" means the degree to which two or more different land use types are able to exist together in close proximity, with no one use having significant negative effects on any other use.
 - We have addressed the significant negative effects of the lights from Casey's glaring in our bedroom windows, the noise from additional traffic, the smell from gas, garbage, and grease interceptors, and safety for pedestrians and bicyclists to name a few
- Third, I would like to cite several city codes to help show that Casey's should not be in the vacant lot on Main St.
 - Code 165.18
 - * B. Parking areas shall be located along the side of buildings or in the rear of the building ~~as well as~~: shall off-street parking be allowed in any front yard setback or in the front of buildings except for the following.
 - (1) Existing industrial parking areas in the front of buildings or required front yards are exempt from this requirement, including additions to existing industrial parking areas.
 - (2) New industrial parking areas may be located in the front of buildings or in the required front yard provided that berming and a Type A screen with evergreen trees is planted in accordance with Section 165.31.
 - * I think this makes is pretty clear that there should be no parking in front of the building. I believe the Board of Adjustments denied one variance based upon this code already.
 - Code 165.18 #3 states
 - * (3) New Commercial Construction.
 - a. The total square footage (building footprint area) of any new

commercial building shall not exceed 125% of the average of the square footage of buildings **within one block on both sides** of the property in question

- * It is my understanding that the size of the new Casey's has been based upon the average of buildings across the street which would be in front of the building To be consistent perhaps the size should be based on 125% average of the buildings within 200' (the same buildings which received the letter)
- o Code 165.04 CONSISTENCY WITH COMPREHENSIVE PLAN states
 - * The City of Pella intends that this Zoning Ordinance and any amendments to it shall be consistent with the City's Comprehensive Plan. It is the City's intent to amend this chapter whenever such action is deemed necessary to keep regulatory provisions in conformance with the Comprehensive Plan.
 - * It would seem to me that this section states that ANY AMENDMENTS TO ZONING need to be consistent with the Comprehensive Plan not the other way around. This leads me to question why city council ignored city staff's presentation regarding zoning and the comprehensive plan and changed the comprehensive plan to match zoning rather than changing the zoning of this area to match the zoning.
 - * Given that the Comprehensive Plan was changed, on what seems to be the whim of the city council, the Comprehensive Plan still states that the Zoning Area CUC



Land Use Category	Use Characteristics	Features and Location Criteria
Mixed Use (Includes Medical & Assisted Living)	Can include a range of low-impact commercial uses, higher-density residential uses, and small office. Provides for daily convenience shopping and service needs of nearby residents.	Typically located at intersections of higher order streets: collectors and arterials. Developments should relate well to adjacent properties and provide appropriate transitions from higher intensity uses to lower intensity uses Pedestrian traffic should be encouraged, using a neighborhood scale design where appropriate Signage, landscaping and site features should respect neighborhood scale and quality Avoid large expanses of parking visible from major streets Could be located in areas zoned as CUC (Commercial Mixed Use Urban

Corridor) or PUD or C PD (Planned Unit Development and Commercial PUD)

- o Some have argued that Main St. being business 163 is a higher order street. I would maintain that because it is a 2-lane street and cannot be enlarged to even include a turning lane that it is not a higher order street. In addition, Union Street is not a higher order street and was not built for heavy truck traffic but would need to be used by semi's to refill gas tanks and refill the store's inventory

- **165.05 CONFLICTING PROVISIONS**

- * The Zoning Ordinance shall be held to provide the minimum requirements necessary for the promotion of the public health, safety and welfare. If any provision of the Zoning Ordinance conflicts with any other provision of the Zoning Ordinance, any other Ordinance of the City of Pella, or any applicable State or Federal law, the more restrictive provision shall apply.
- * G. Conflicts. Where there is conflict between this subsection and any other code or ordinance of the City, the more specific provisions shall apply.
- * In this case the more specific provision would be the " "Overlay district"[which] means a district established by this Ordinance to prescribe **special regulations** to be applied to a site only in combination with a base district" In this case we would be referring to the Gateway District Overlay Zone and as I have read earlier this zoning code restricts parking to the side and back of the building
- * As you know, the council just recently passed a change to this overlay zone that requires new houses built in that zone to be built in keeping with the style of the other houses in that area, specifically the style of houses that were built when Pella was first established. This, by the way, does not mean houses that look like they do in Holland but houses that reflect what our ancestors built when they came to **this** country. One would assume that if we would like the houses to reflect the charm of our community, we would not want a hyper-Casey's to be

built in this zone, which would completely conflict with the charm of this area. If we would allow these two types of structures to be built side-by-side we would look like a cobbled together community, which is what the Comprehensive Plan and zoning should protect against

- o 165.14 talks specifically about PUDs and states "When an area of land is developed under this section, various provisions of the platting and subdivision requirements may be waived, zoning district requirements pertaining to area, height and spacing may be modified, and various land use mixtures may be permitted with appropriate screening, landscape buffers and setback restrictions. . . However, it is not the intent of this section either to permit a mixture of totally unrelated uses to be developed or to allow the fundamental purposes of the zoning, platting and subdivision provisions of this Code to be ignored. It is the intent of this section to permit the establishment of unified developments with differing land uses arranged so as to be compatible with one another, with the site to be developed and with the surrounding area. In no event shall the basic purpose or intent of the zoning, platting and subdivision provisions of this Code of Ordinances be violated."
- o 165.03 talks about the purpose of zoning
 - The purposes of the Zoning Ordinance of the City of Pella are to:
 1. Serve the public health, safety and general welfare of the City and its jurisdiction
 2. Classify property in a manner that reflects its suitability for specific uses
 3. Provide for sound, attractive development within the City and its jurisdiction.
 4. Encourage compatibility of adjacent land uses
 5. Protect environmentally sensitive areas.
 6. Further the objectives of the Comprehensive Development Plan of the City of Pella
 - * It would take a lot of twisting of words and intentions for Casey's attorneys to convince me and I hope you, that their store would not violate the intent of a PUD, the purpose of our zoning codes, or the purpose of the Comprehensive Plan.
 - * Casey's, and I might add councilman Bokhoven, twisted the words of the Comprehensive Plan for their own intents and purposes. Their arguments DO NOT reflect what our zoning codes and the Comprehensive Plan intend for this community.
- Finally, the area that Casey's would like to move to is slated to be the city's first National Register Historic District. Our city encourages tourism. Heritage tourism brings money to the community. It brings money to local businesses. Homes in this National Register Historic District would be eligible for state tax credits. Historic tax credits are beneficial to states and communities. This government program generates far more money than it gives out. This program also creates jobs. .good job.

I urge you to turn down Casey's request. They are not located within a two blocks of the square in Knoxville and I do not believe they are located within two blocks of the square in Oskaloosa. They removed themselves from their location near the square in Monroe. If they were close to the square in Grinnell, they would be located on a 4-lane street, which I believe has a turning lane. Why is it so urgent that they are close to our square? Why do they need the foot traffic from our square and not the foot traffic from the squares of other communities? Why must we bow to the wishes of a corporation owned by mutual fund companies, when the success of our community is because of LOCAL corporations and businesses?

Respectfully,

Rhonda Kermode
510 Broadway Street
Pella, Iowa 50219

Mike Brown

From: Mike Nardini
Sent: Monday, August 22, 2016 8:21 AM
To: Mike Brown; Ronda Brown
Subject: FW: Hyper caseys

Mike and Ronda

Please include the following email address with the records:

Mike

Mike Nardini
City Administrator
City of Pella
325 Broadway
Pella, Iowa 50219
Phone (641) 628-4173
Fax (641) 628-3120

From: Cathy Haustein [mailto:hausteinc@gmail.com]
Sent: Saturday, August 20, 2016 4:01 PM
To: Mike Nardini <mnardini@cityofpella.com>
Subject: Fwd: Hyper caseys

For the records. Forwarded with permission.

----- Forwarded message -----

From: **Denny McDaniel** <dennymcdaniel@comcast.net>
Date: Sat, Aug 20, 2016 at 2:52 PM
Subject: Hyper caseys
To: hausteinc@gmail.com

My name is Dennis McDaniel and I live at 606 Independence St. near where the new hyper caseys would like to build.

I am 60 years old and retired from 3M, and have lived in this community for 24 years. My wife and I are opposed to the hyper caseys in our neighborhood. We are now looking to downsize and find a nice place to live out our lives in a safe and quiet neighborhood.

We visit the community center for senior meals and often visit the public library. Will putting a hyper caseys between our home and these sites provide a safe route to these buildings?

City zoning codes.

165.03 PURPOSE.

"The purposes of the Zoning Ordinance of the City of Pella are to:

1. Serve the public health, safety and general welfare of the City and its jurisdiction."

The site of the hyper caseys would be a much better fit as public housing for people just like me and my wife.

In reading the Pella comprehensive plan I see by far the fastest growing group of people in our city is from age 50 - 59.

People nearing retirement age.

(see figure A2 "Pella population by age 2000-2010")

This clearly shows that any planning for the city of Pella should include retirement living or housing development.

In reading the Pella zoning codes further

I find this;

165.05 CONFLICTING PROVISIONS.

35. "Compatibility" means the degree to which two or more different land use types are able to exist together in close proximity, with no one use having significant negative effects on any other use "

As a member of this community I can tell you having a hyper Caseys in my neighborhood is NOT compatible with my family and all the many others in my community.

Please consider what would you like to have in your backyard does a hyper Caseys fit in your community?

Thank You

Dennis McDaniel

64 11129 2012

Mike Brown

From: Mike Nardini
Sent: Monday, August 22, 2016 8:25 AM
To: Ronda Brown; Mike Brown
Subject: FW: PUD - Casey's
Attachments: PlanningCriteriaLocationPetroFillingStation.pdf; Hyper gas station images.pdf

Please include this e-mail in the written record for the Public Hearing.

Mike

Mike Nardini
City Administrator
City of Pella
825 Broadway
Pella, Iowa 50219
Phone (641) 628-4173
Fax (641) 628-3120

From: Mansueto, Jim [mailto:MansuetoJ@pella.com]
Sent: Sunday, August 21, 2016 9:35 PM
To: Mike Nardini <mnardini@cityofpella.com>; Pella Mayor <mayor@cityofpella.com>; mark@dejonggreenhouses.com; tbokhoven@iowatelecom.net; elsvan@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; cagan@co.marion.ia.us; jgchome@jcl1.com; hausteinc@gmail.com; robinpta@msn.com; vandermolten@mahaskacounty.org; gvv1301@gmail.com; inidtownireco@iisco.com; avisser@windstream.net; terivos@vermeer.com
Cc: Haman <haman.haman.haman@gmail.com>; Rhonda Let mode <rskermode@gmail.com>; Nieboer, James <JDNieboer@Pella.com>; 'Jody Mansueto' <jodymansueto@gmail.com>
Subject: PUD -- Casey's

Dear Planning & Zoning and City Council Members,

I remain completely flabbergasted that a hyper gas station continues to be considered for the 500 block of Main Street in Pella. Of all plans presented, this latest layout is the most detrimental to the nearby neighborhoods and downtown area.

I was astounded to see the 6 pumps are now in a single file layout. Has anyone staked out this layout or visited other sights where such a large and obtrusive canopy is in existence? I have never seen a layout for a gas station like this one. Does one even exist? Has anyone from P&Z or City Council visited a site of this layout to understand the size and impact on the community? Especially within a residential neighborhood?

I have attached an image of a Casey's with 6 pumps that are "doubled up". It is still totally inappropriate for a downtown area. Notice how insignificant a semi-truck looks in the image. A filling station of this size is best suited for the location it is in – off an interstate highway.

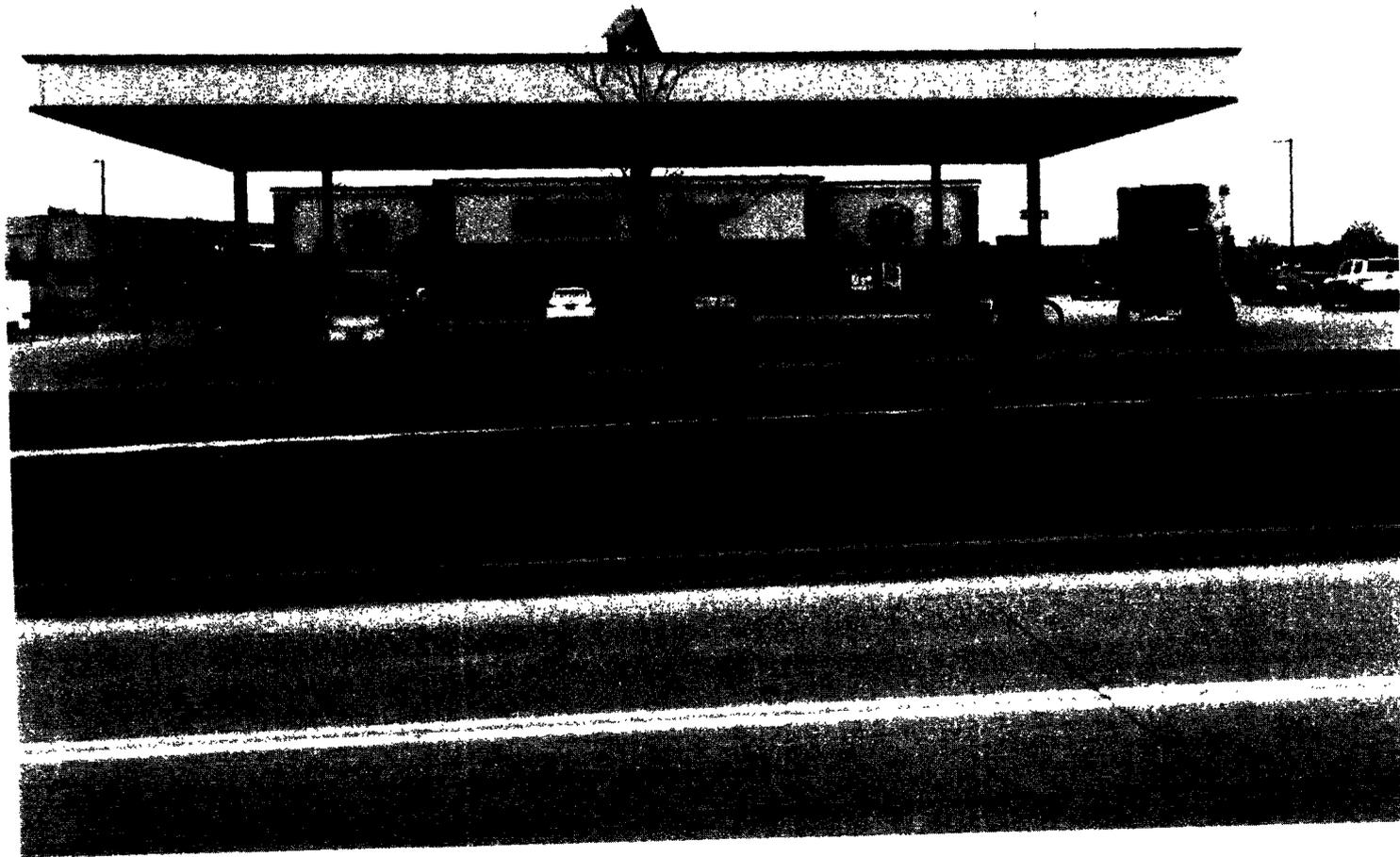
I have also attached the guidelines the EPA recommends for petroleum stations. Casey's does not meet the minimum setback requirements, greenspace requirements, or site fencing requirements. In addition, it violates the EPA requirements for its proximity to the Pella Public Library and Community Center.

As a reminder, other developers are interested in this land for developments that fit within the comprehensive plan for the city of Pella. I have attached an image of a development by an interested party in Des Moines.

Please understand, I very much love this community. My passion is only borne out of concern for this special place we all call home. We cannot make a mistake and permit this development. I urge all P&Z members and City Council members not to approve the PUD request for the Casey's hyper gas station.

Sincerely,
Jim Mansueto
1304 Main St
641 629 6279

P.S. Please forward to Mr. David Landon. His email link was not working on the city website.



*The proposed canopy
for the proposed hyper
gas station in Pella
would be twice as wide
as this canopy. --
practically the entire
city block!*

*Note how small a semi
truck looks.*



Is a lit canopy twice as wide as this one what we want for "Our Touch of Holland"?



The developers of this development in historic Sherman Hills area of Des Moines is interested in building something similar on the site. It could be a win-win situation for all parties involved, but first this PUD for a hyper market gas station has to be denied.

PLANNING CRITERIA FOR LOCATION OF PETROL FILLING STATIONS

1. Stations should be located within a growth center or an urban area except in circumstances where it can be shown through appropriate studies that the need exists otherwise
2. Land should be zoned for commercial-industrial use or be designated specifically for the purpose in a subdivision
3. Stations should be located at a minimum of 500 ft. from any public institution such as schools, churches, public libraries, auditoriums, hospitals, public playgrounds, etc.
4. Area of land to be developed should be sufficient to allow maneuvering of vehicles within its cartilage but should not be less than 12,000 sq. ft. with a minimum frontage of 300 ft. on the primary street
5. Filling Stations will not be allowed in any area where the traffic situation is such that it will cause obstructions in entering or leaving a station, or on tight curves where visibility is not adequate.
6. Vehicular access/egress/crossover should be reasonably safe with adequate approach distances especially where main roads and intersections are involved
7. Wherever possible, stations should be erected on level rather than sloping site to prevent rolling or discarded materials such as cans, drums, etc.
8. When sited in shopping centers, stations should be located in an isolated area of the development as long as planning criteria are met, example, set back

9. Environmental impact on streams, lakes, ponds, aquifer, etc., will be taken into consideration. An Environmental Impact Assessment may be required from the applicant.
10. Buildings are to be located a minimum of 40 ft. from road property boundaries to provide adequate area for maneuvering of vehicles in the service area.
11. Canopies and supports over pumps and service equipment when located less than 20 ft. from interior residential lot lines or building or structure should be constructed of non-combustible material.
12. Petrol pumps shall be located a minimum of 100 ft. from any residential building.
13. No fuel pumps or other mechanical equipment shall be installed so as to permit servicing of motor vehicles standing in a public street or highway.
14. All service areas should be paved to avoid dust nuisance.
15. Exterior design of the building should be compatible with adjacent development and should be such that it is not detrimental to property values in the area.
16. In a residential area a landscaped open area 10 ft. wide shall be provided along the rear property boundary and 15 ft. wide along the side proper boundaries, and be separated from paved area by curb or other barrier.
17. Where the site adjoins the side or rear boundary of a residential lot, a solid wall 10 ft. in height should be constructed and maintained along that lot boundary.
18. A raised curb of at least 6" in height should be erected along street property lines except for driveway openings so as to prevent operation of vehicles on sidewalks, and to define entrance/exit points.

19. Signs should be in accordance with the Advertisement Regulations and should be located so as not to reflect the sun into the face of motorists and should be large enough so that they can be seen from a reasonable distance at a reasonable speed.
20. Stations are to be equipped with fire-fighting and fire protection equipment installed in accordance with the requirements of the Fire Department.
21. Each tank shall be vented to the atmosphere outside of buildings by means of an independent vent pipe which should not be less than 12 ft. in height or 2 ft. above the top of the nearest adjacent building.
22. All volatile flammable liquid storage tanks shall be installed below ground in compliance with the requirements of the Ministry of Construction (Works).
23. Integral containers of adequate design and capacity should be provided for solid waste, such as discarded cans, bottles, etc.
24. Proper facilities for storage and disposal of used and waste oil and gas must be provided.
25. Waste water from the washing of motor vehicles et cetera and sewage disposal should be to the satisfaction of the Health Authorities.
26. Notice of intent to construct and operate a Petrol Filling Station should be posted on the site and gazetted to enable and to enable adjacent owners within a specified radius to object if they so desire.
27. Fuel should be stored in double walled container to minimize leakage and prevent contamination of ground water.
28. Normally no access to nor egress from a filling station shall be closer than 150 ft. to any road intersection or 250 ft. from the intersection of two main roads.

- 29 Other development criteria are given in the Filling Station Development Orders.

GUIDELINES TO APPLICANTS

1. Filling Station is defined as any land, building or equipment used for the sale or dispensing of petrol or oils for motor vehicles or incidental thereto and includes the whole of the land, building or equipment whether or not the use as a petrol station is the predominant use or is only a part thereof.
2. Any erection or alteration of building or equipment for the sale of petrol or oils for motor vehicles on any land or the change of use of land or buildings from any other use to that of a filling station shall be in accordance with the provisions of the Development Order and permission granted by the Town and Country Planning Authority thereunder.
3. All applications for permission to erect a filling station should be made to the local planning authority Parish Council in the parish in which the proposal is to be located on a form issued and obtainable from that authority.
4. Each application is to be accompanied by at least five (5) copies of the number printed on the application forms of:
 - a) A Plan sufficient to identify the land to which it relates;
 - b) Plans and drawings as are necessary to describe and illustrated the development in detail.
5. The Planning Authority may request an applicant to produce evidence to verify any particulars of information given in an application.
6. In dealing with applications, the Authority will afford the applicant, if he/she so desires an opportunity of appearing before and being heard by a person appointed by the Authority for the purpose.
7. The decision of the Authority can be appealed to the Minister responsible for Planning as set out in the Development Order.
8. Under the Law it is a requirement that permission for the erection of a filling station anywhere in the island be obtained from the Planning Authority.



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: E-1a & 1b

SUBJECT: Special Event Permit Request for "Pella in Pink"

DATE: September 6, 2016

BACKGROUND: The Pella Regional Foundation has requested a special event permit for the "Pella in Pink" Run/Walk scheduled for Saturday, October 15, 2016, set-up/take down time from 6:00-10:00 a.m. This is the eighth year for this event which raises money for breast cancer programs at Pella Regional. The organizer estimates 200 participates. The race is scheduled to begin at the Tulip Tower at 8:00 a.m.

Along with this request is a resolution to close W 3rd Street from Washington Street to University Street from 7:30-9:00 am and Broadway Street from Franklin Street to Peace Street from 8:00-9:00 am. The insurance certificate and fee have been received. All pertinent City Departments have reviewed this application, and approval is recommended.

ATTACHMENTS: Resolution, Application, Department Comments, Map

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve special event and resolution.

RESOLUTION NO. 5713

RESOLUTION TEMPORARILY CLOSING
PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS
“PELLA IN PINK”

WHEREAS, Iowa Code Section 364.12 (2) states that “a city shall keep all public grounds, streets, sidewalks, alleys, bridges, culverts, overpasses, underpasses, grade crossing separations and approaches, public ways, squares, and commons open, in repair, and free from nuisance, with the following exceptions”; and,

WHEREAS, Iowa Code Section 364.12 (2)(a) states that "Public ways and grounds may be temporarily closed by resolution"; and,

WHEREAS, the Pella Regional Foundation has requested the closing of W 3rd Street from Washington Street to University Street from 7:30-9:00 am and Broadway Street from Franklin Street to Peace Street from 8:00-9:00 am on October 15, 2016.

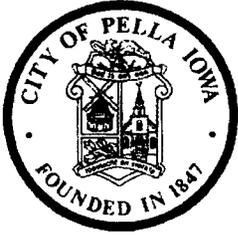
NOW THEREFORE, BE IT RESOLVED pursuant to Iowa Code Section 364.12 (2)(a), the City Council of the City of Pella does hereby temporarily close the streets as stated above.

PASSED AND ADOPTED this 6th day of September, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk



THE
CITY of PELLA

SPECIAL EVENTS APPLICATION

Please make sure the application is complete before submitting it to City Hall. This includes the *fee payment* and the *\$1,000,000 insurance certificate*. The application should be submitted at least a month in advance of the event date.

For Office Use Only:

Date Received: 8/15/16	Received by: [Signature]	Fee: \$20	Insurance Certificate: Yes
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Name of Event: Pella in Pink

Date of Application: 8/10/16	Fee Paid: <input type="checkbox"/> Yes <input type="checkbox"/> No Make check payable to City of Pella
Attach Insurance Certificate (\$1,000,000 min) naming City of Pella "Also Insured".	Insurance Certificate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>YP - Pella Chamber submitted</u>

Describe the Event: (Purpose of event, activities planned, number of anticipated people in attendance, history/origin of event, etc.) (Attach additional page is needed.)

This event is a breast cancer awareness run/walk for 2 miles. We are planning on starting and ending at the Tulip Tower this year. Historically we have had 200 people attend this event each year. This will be our eight year for this event.

PROMOTER AND CONTACT PERSON INFORMATION

Promoter's Name: <u>Pella Regional Foundation</u>	Contact Person: <u>Jesse Underwood</u>
Signature:	Signature: <u>[Signature]</u>
Address:	Address: <u>404 Jefferson St. Pella, IA 50219</u>
Phone:	Phone: <u>641-628-6625</u>
Cell Phone:	Cell Phone: <u>515-720-4478</u>

EVENT INFORMATION

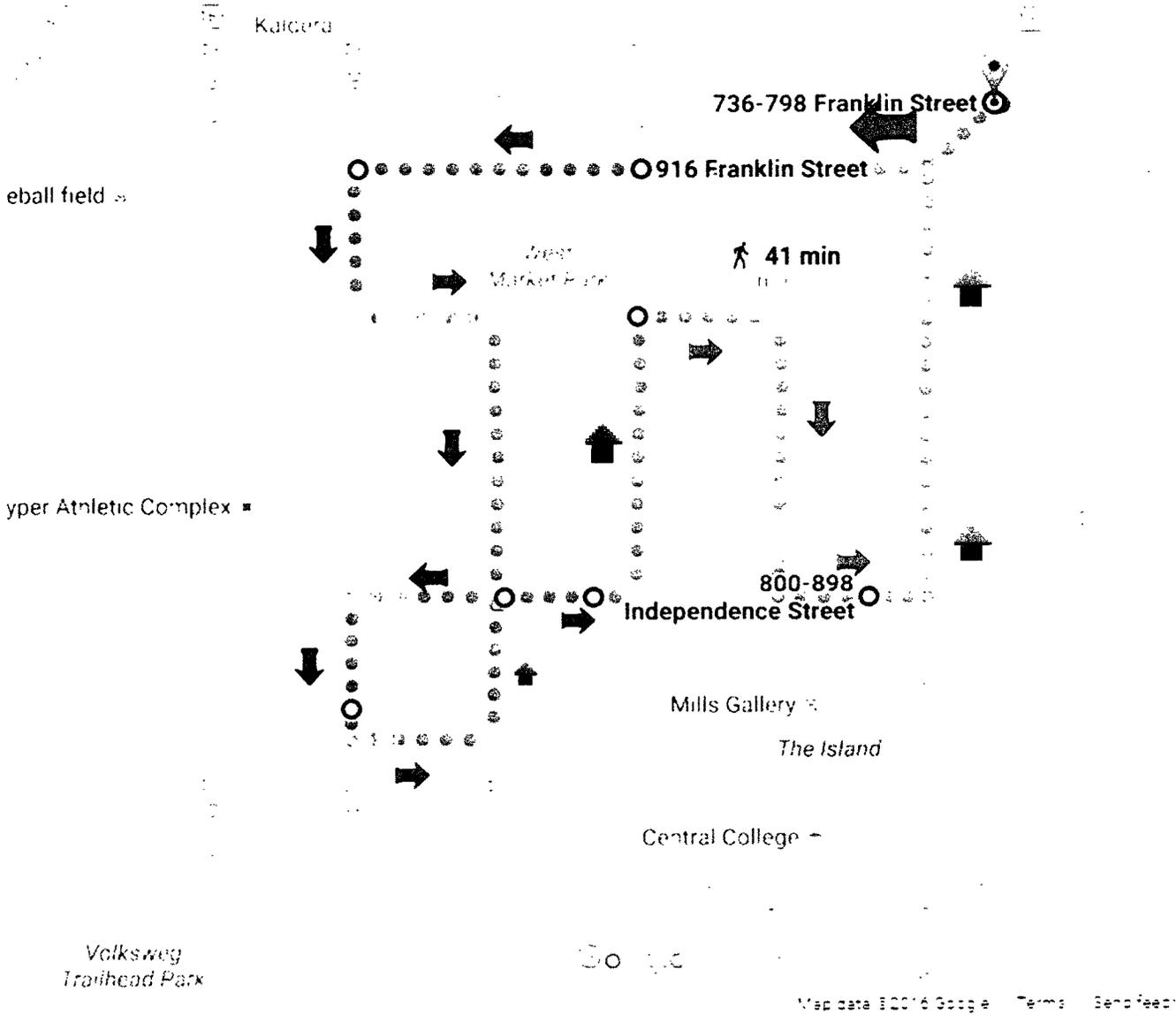
DATE(S) AND TIME(S) OF EVENT: Saturday, October 15th @ 8am

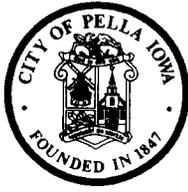
DATE(S) AND TIME(S) OF SET-UP/TAKE DOWN: Saturday, Oct. 15th 6am + 10am

LOCATION OF EVENT: Name streets, parks, area, etc and ATTACH map or drawing.
Central Square at Tulip Tower with route attached.

EVENT INFORMATION (continued)

DO STREETS NEED TO BE CLOSED? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, list streets to be closed and indicate on map. Also list number of barricades needed.			
Street Name	Distance on Street	Date/ Time for Street Closings	# of Barricades
1 N. 3 rd	From Washington to Union	Starting: 7:30am Ending: 9:00am	2
Broadway	From Franklin to Peace	Starting: 8:00am Ending: 9:00am	4
DO PARKING SPACES NEED TO BE RESERVED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If spaces need to be roped off or reserved, please indicate below.			
Location			# of Cones
WILL SIGNAGE BE USED? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, complete the Special Event Signage Information Sheet.			
WILL POLICE OFFICERS OR RESERVES BE NEEDED? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list number needed and for what length of time. You will be billed \$30 per hour per officer. <div style="text-align: center;">2 - 1 hour</div>			
WILL ADDITIONAL ELECTRICITY BE REQUIRED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, complete the Special Event Electrical Information Sheet.			
WILL ANY OTHER CITY SERVICES BE NEEDED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list details.			
COMPLETE LAYOUT OF THE CITY PROPERTY TO BE USED: <input type="checkbox"/> Map <input checked="" type="checkbox"/> Drawing If the map does not accurately show the area, then a drawing should be included. For example, the dimensions of the area to be used or a more detailed description of the area would be helpful. Please be reminded that if you are requesting the use of a park, the parking spaces around that area are not included in the permit, unless specifically requested.			
WILL THERE BE VENDOR BOOTHS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, a list of the names of all vendors and a map showing the location and size of the vendor booths needs to be sent to City Hall prior to the date of the event as outlined in Sec 123.04 of the City Code (attached). The time requirement for submittal of this list is dependent upon the length and size of your event. For large events, please supply this information earlier than the one month recommendation.			
WILL ANY PART OF THE EVENT BE HELD ON PRIVATE PROPERTY? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list the address of the property and have the property owner sign below giving their consent for use of their property for this special event.			
Property Owner	Address	Signature of Property Owner	





CITY OF PELLA SPECIAL EVENTS DEPARTMENT REVIEW

	Pella in Pink
	August 26, 2016
	Ronda Brown
	October 15, 2016
	Jesse Underwood 515-720-4478

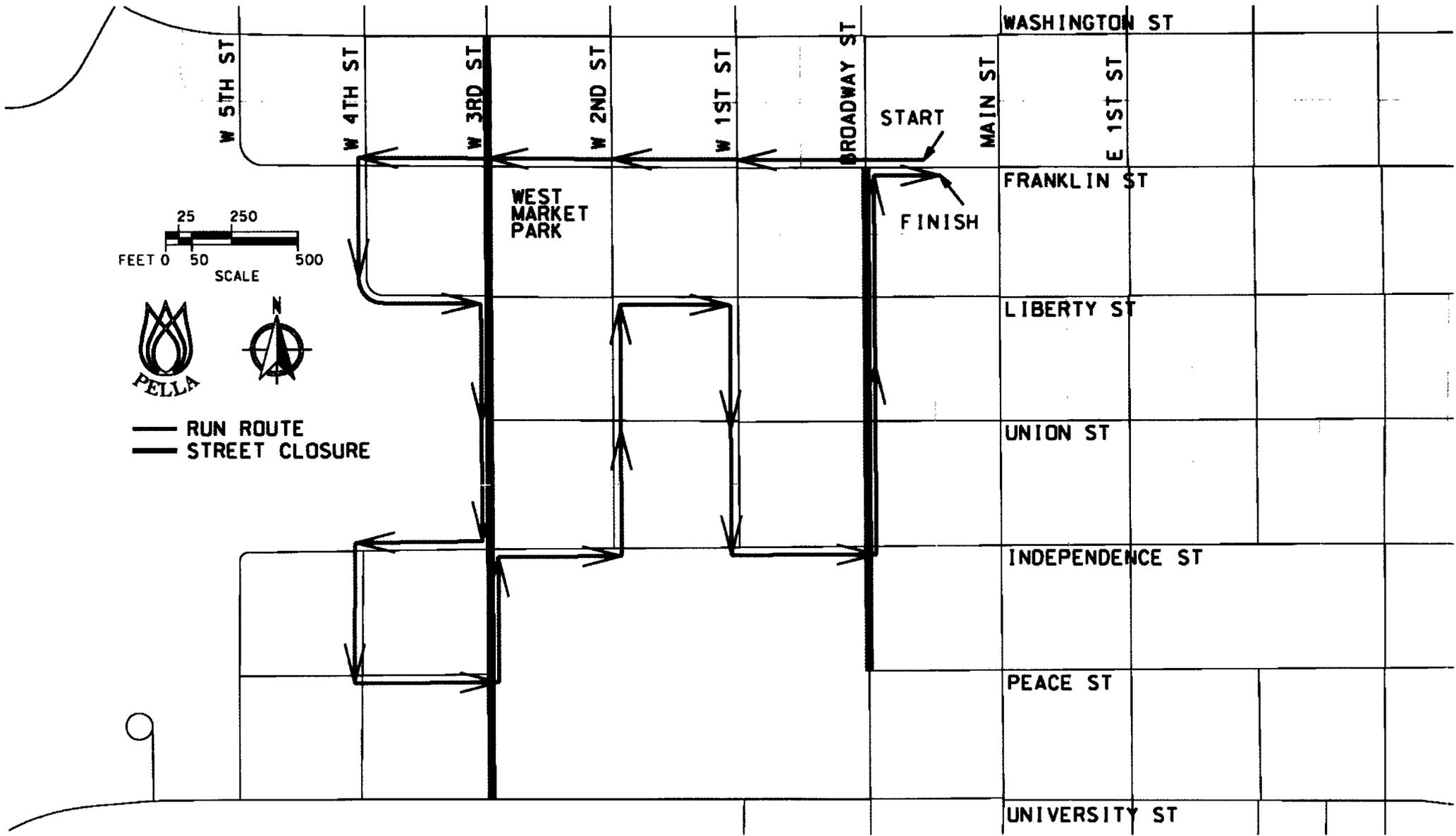
The run will require more than two (2) police officers. Event coordinator will need to meet with the police department prior to the event. The event poses a slight risk of conflicting with the Freedom Walk as both begin at Central Park on the same date, and cover part of the same course (W. 3rd St.). The start time for this event precedes the Freedom Walk by one (1) hour. Recommend approval.
RAB

Event coordinator to contact Doug Rigger @ 230-0084 prior to event to coordinate cones/barricades. DR DB

Recommend approval. MB

Recommend approval. DM

Recommend approval. JV

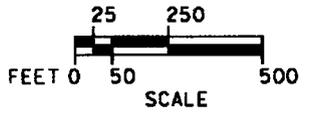


W 5TH ST
W 4TH ST
W 3RD ST
W 2ND ST
W 1ST ST
BROADWAY ST
WASHINGTON ST
MAIN ST
E 1ST ST
FRANKLIN ST
LIBERTY ST
UNION ST
INDEPENDENCE ST
PEACE ST
UNIVERSITY ST

WEST MARKET PARK

START

FINISH



— RUN ROUTE
— STREET CLOSURE



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: H-1

SUBJECT: Resolution Ordering Plans and Specifications, Form of Contract, Notice to Bidders, Setting the Public Hearing, and Authorizing the Taking of Bids and Authorizing Bid Opening in Connection with Furnishing Electrical Materials — Vermeer Road Utility Project, Pella, Iowa

DATE: September 6, 2016

BACKGROUND: This resolution sets the public hearing date as September 20, 2016 and authorizes the taking of bids for the purchase of electric conduit and manhole materials for the Vermeer Road Utility Project. The intention of this project is to place the 12,470 volt electrical distribution system in the area of Vermeer Corporation underground. The current distribution system in this area extends on Vermeer Road from 240th Place to 250th Street and beginning at Vermeer Road and running north 990 feet along 250th Street.

The placement of the distribution system is expected to be completed in two phases. The first phase will be the boring and placement of the electrical conduit underground. This phase is proposed to be completed by Vermeer Corporation over the next twelve months and will be facilitated by a development agreement. It is important to note, once Vermeer Corporation completes this phase of the project, they will dedicate the electrical conduit and associated manholes to the City of Pella as public infrastructure. After the necessary electrical conduit is placed underground, the City will place the distribution system in this area underground. Critical dates for the material purchase have been identified as:

September 13, 2016 – Bid Opening at 1:30 pm at City Hall
September 20, 2016 – Public Hearing and Award at 7:00 pm

As noted above, this project is expected to be a joint project between the City of Pella and Vermeer for which the terms and conditions of the project will be incorporated into a development agreement and presented to the Council for approval at a future Council meeting. The engineer's estimate of the project, were the City to undertake the project alone through the utilization of a private contractor, is approximately \$500,000. Given the partnership with Vermeer Corporation, the City's total estimated cost, which will only include materials, is estimated at \$220,285. It should be noted that the project is expected to get underway immediately following the delivery of materials and will likely be completed by the spring of 2017.

Given the significant savings associated with the development agreement and the improved service associated with this project, staff is recommending Council approve the resolution ordering plans and specifications, form of contract, notice to bidders, setting the public hearing and authorizing bid opening in connection with Furnishing Electrical Materials — Vermeer Road Utility Project, Pella, Iowa.

ATTACHMENTS: Resolution, Bid Specifications

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

RESOLUTION NO. 5714

RESOLUTION ORDERING PLANS AND SPECIFICATIONS, FORM OF CONTRACT, NOTICE TO BIDDERS, SETTING THE PUBLIC HEARING, AND AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING ELECTRICAL MATERIALS---VERMEER ROAD UTILITY PROJECT, PELLA, IOWA

WHEREAS, the City of Pella owns and operates an electric utility that provides electricity to residents of the City of Pella and also to residents outside the City limits but within the service area boundary established by the State of Iowa; and,

WHEREAS, the City Council has deemed it advisable and necessary to construct certain improvements described in general as "Furnishing Electrical Materials — Vermeer Road Utility Project, Pella, Iowa", and has caused to be prepared plans, specifications and form of contract, on file in the office of Electric Distribution for public inspection, for the construction of said improvements, and said plans, specifications and form of contract are deemed suitable for the making of said improvements; and,

WHEREAS, before said plans, specifications, form of contract are entered into, it is necessary, pursuant to Division VI of Chapter 384 of the Code of Iowa, to hold a public hearing and to advertise for bids.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That it is hereby determined that it is necessary and advisable to construct improvements described in general as "Furnishing Electrical Materials — Vermeer Road Utility Project, Pella, Iowa", in the manner set forth in the plans and specifications and form of contract, above referred to, the cost thereof to be paid in accordance with the provisions as set out in the Notice of Hearing and Letting, said improvements being more generally described as follows:

Materials necessary for the construction of a new electrical duct bank along Vermeer Road from 240th Place to 250th Street and along 250th Street from Vermeer Road to 990 feet north.

Section 2. That the amount of bid security to accompany each bid shall be in an amount which shall conform to the provisions of the notice of hearing and letting approved as a part of said specifications; and,

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to post notice of letting once in a relevant contractor plan room service with statewide circulation, in a relevant construction lead generating service with statewide circulation and an internet site sponsored by the City. Postings shall be not less than thirteen days nor more than forty-five days prior to September 13, 2016, which is hereby fixed as the date for receiving bids. Said bids are to be filed prior to 1:30 pm on said date; and,

BE IT FURTHER RESOLVED, that the City Clerk is hereby designated as the authority to receive and open said bids on behalf of the City of Pella, Iowa; and,

BE IT FURTHER RESOLVED, that bids shall be received and reviewed at a public meeting as provided in the notice of hearing and letting and the results of said bids shall be considered at a meeting of this Council on September 20, 2016 at 7:00 o'clock pm; and,

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to publish notice of hearing once in said newspaper, said publication to be not less than four days nor more than twenty days prior to the date hereinafter fixed as the date for a public hearing on the final plans, specifications, form of contract and estimate of costs for said project, said hearing to be at 7:00 o'clock pm on September 20, 2016.

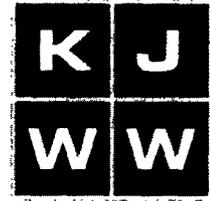
PASSED and ADOPTED this 6th day of September, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

The **FUTURE.**[®]
Built **SMARTER.**

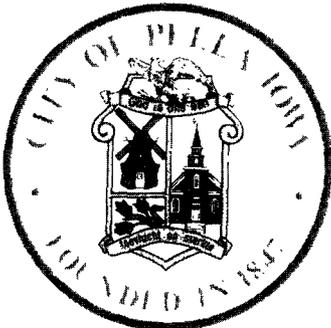


**BIDDING DOCUMENTS FOR
FURNISHING ELECTRICAL MATERIALS**

for

**CITY OF PELLA, IOWA
MEDIUM VOLTAGE MATERIALS**

August 30, 2016
KJWW #16.1094.00



SECTION 00 01 00
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KJWW ENGINEERING CONSULTANTS
2882 106th Street
Des Moines, Iowa 50322
Phone: (515) 334-9906
Fax: (515) 334-9908
www.kjww.com

PROJECT MANUAL FOR

THE CITY OF PELLA
MEDIUM VOLTAGE MATERIALS
825 Broadway
Pella, Iowa 50219
Date: August 30, 2016

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SEALS PAGE

BIDDING DOCUMENTS

FOR

FURNISHING ELECTRICAL MATERIALS

CITY OF PELLA
PELLA, IOWA

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

	(signature) _____ (date)
	Printed or typed name <u>Andrew D. Thielen</u>
	License number <u>15842</u>
	My license renewal date is <u>January 1, 2017</u>
	Pages or sheets covered by this seal: <u>Divisions 00 and 26</u> _____ _____

SECTION 00 11 13
NOTICE OF PUBLIC HEARING AND LETTING

NOTICE OF PUBLIC HEARING ON PLANS AND SPECIFICATIONS, PROPOSED FORM OF CONTRACT, AND ESTIMATE OF COST FOR ELECTRICAL MATERIALS FOR CITY OF PELLA, IOWA, AND THE TAKING OF BIDS FOR FURNISHING OF SAID EQUIPMENT.

Notice is hereby given that sealed bids will be received by the City Clerk for City of Pella, Iowa, at the City Offices at 825 Broadway, Pella, Iowa 50219 before 1:30 p.m., on September 13, 2016, for the Furnishing Electrical Materials for City of Pella, Iowa. At said time and place, bids will be publicly opened, read and acted upon by the City Council at a subsequent meeting to be held on September 20, 2016 at 7:00 p.m. at which time and place the said Council will conduct a public hearing and consider adoption of the plans, specifications, and proposed form of contract for the material that are now on file at the City Offices. At said meeting, or at a later time and place as will then be fixed, the Council will act upon the bids.

There are two (2) separate bids consisting of the following electrical material:

Description

Bid No. 1 – Conduit

Bid No. 2 – Manholes

The above material shall be in accordance with the specifications and proposed form of contract now on file in the City offices in said City of Pella, Iowa, by this reference made a part hereof, as though fully set out and incorporated herein.

Material suppliers desiring a copy of the bid forms and specifications for individual use may obtain them from the office of the Engineer, KJWW Engineering Consultants, 2882 106th Street, Des Moines, Iowa 50322, telephone 515.334.9906, Fax 515.334.9908, e-mail: stollip@kjww.com, no deposit required.

Bids shall be submitted on a unit price basis as stated on the Bid Form.

Payment to the Supplier will be made on the basis of one hundred percent (100%) of the base bid within thirty (30) days of receipt of the materials in acceptable condition and associated invoice.

Delivery of the materials may start after execution of Contract Documents. All materials shall be delivered by the dates set in the Specifications.

By virtue of statutory authority, a preference will be given to products and provisions grown, and coal produced within the State of Iowa, and preference shall be given to Iowa domestic labor in the construction of said improvements.

The City may make the contract award to the lowest responsive, responsible bidder meeting specifications. The City reserves the right to defer acceptance of any bid for a period not to exceed thirty (30) days after the date bids are received and no bid may be withdrawn during this period. The Council also reserves the right to waive irregularities and to reject any or all bids.

Dated this Sixth day of September, 2016.

CITY OF PELLA, IOWA

By /s/ Ronda Brown City Clerk

INSTRUCTIONS TO BIDDERS

A. BIDDERS KNOWLEDGE.

Examination of Proposed Work. Bidders are required to examine to their satisfaction, the plans and specifications and to make sure that the requirements are fully understood. The failure or omission of any Bidder to examine any form, instrument, or document shall in no way relieve any bidder from any obligation regarding his or her bid.

B. BIDDERS QUALIFICATIONS.

Competency of Bidder. Bidders must be capable of supplying the materials bid upon. The City may make such investigations as deemed necessary to determine the ability of the bidder to supply the materials. The Bidder may be required to supply a detailed statement covering experience on similar work and such statement of their financial resources as may be deemed necessary.

If the information and data requested by the City is not furnished, the City may consider the bidder non-responsive or non-responsible. The City reserves the right, in its sole and absolute discretion, to accept the Bid of a bidder despite the fact that said bidder has not submitted any information, list, data or statement requested.

The City reserves the right to reject any bid if the City determines, in its sole and absolute discretion, that the bidder is not properly qualified to carry out the obligations of the Contract and/or to complete the work contemplated by the Contract. Conditional bids will not be accepted.

C. METHOD OF BIDDING.

Preparation of Bid. Bids shall be submitted on a unit price or lump sum basis as stated on the Bid/Offer form. In preparing a bid, the Bidder shall specify the price, written legibly in ink or with a typewriter, at which he or she proposes to do each item of work. The price shall be stated with respect to each and every alternate item, whether an add alternate, or a deduct alternate. Failure to state a price for any alternate bid item shall constitute a non-responsible bid that will not be considered. The prices shall be stated in figures. In items where unit price is required, the total amount for each item shall be computed at the unit prices bid for the quantities given in the estimate. In the event of discrepancies in the unit price extensions listed in the bidder's bid, unit prices shall govern.

For all work let on a unit price basis, the Engineer's estimate of quantities shown on the Bid is understood to be approximate only, and will be used only for the purpose of comparing bids. For work let on a lump sum basis, any estimate of quantities provided is furnished for the convenience of bidders and is not guaranteed.

D. SUBMISSION OF BIDS.

Use of Bid Form. Bidders will be furnished with bid forms giving the estimate of quantities needed to complete the work and the amount of bid security the Bidder is submitting with a bid. **Two copies of the completed bid form(s) and all supporting documentation shall be provided.**

Signatures on Bids. If the bid is made by an individual, his or her name and post office address must be shown. If made by a firm or partnership, the name and post office address of the firm or partnership must be shown. If made by a corporation, the person signing the bid must name the state under the laws, of which the corporation is chartered, and the name, title, and business address of the executive head of the corporation. Anyone signing a bid as agent may be required to submit satisfactory evidence of his or her authority to do so.

Irregular Bid Prohibited. Any changes or alterations made in the official bid form, or any additions thereto, may cause the rejection of the bid. No bid will be considered which contains a clause in which the Bidder reserves the right to accept or reject a contract awarded by the Council. Bids in which the unit prices are obviously unbalanced may be rejected.

Discrepancy in Documents. Should the Bidder find discrepancies, ambiguities or omissions from these documents, he/she/it should immediately notify the Engineer and an addendum will be sent to all known entities holding copies of the Bidding Documents.

Delivery of Bid. **Two copies of each bid form and all supporting documentation shall be provided.** Bids shall be placed in an opaque envelope and the envelope sealed and marked "Bid Enclosed – Electrical Materials" to indicate its contents. If forwarded by mail, the envelope shall be mailed to the following address:

City of Pella
Attn: City Clerk
825 Broadway
Pella, IA 50219

Receipt of any Addenda must be acknowledged on the bid form or a copy of any addenda relating to the bid shall be signed and attached to the bid.

No electronic bids or modifications will be considered.

E. MODIFICATION OR WITHDRAWAL OF BIDS.

Bidders will be permitted to modify or withdraw their bids after they have been filed with the City Clerk, if a request is made in writing before the date and time specified for the receipt of bids. Modifications shall be so worded as not to reveal the amount of the original bid. No bid may be withdrawn for a period of thirty (30) days after the scheduled date and time for the receipt of bids.

F. EVALUATION OF BIDS.

It is the intent of the City to award one (1) contract for each material bid as is deemed to be in the best interest of the City. The City will be permitted to consider various bid prices based upon, but not limited to, needs of the City, quality of materials, and the lowest, responsive, responsible bid in determining the best interests of the City.

Rejection of Bids. The City hereby reserves the right to reject any and all bids, non-responsive bids, to waive informalities, and to enter into such contract or contracts as it shall deem to be for the best interest of the City of Pella.

G. TERMS AND CONDITIONS.

The Bidder is invited to attach his standard patent protection and liability limitation conditions, but shall not include any other terms and conditions to this bid. Attachment of additional terms and conditions shall be grounds for disqualification of the submitted bid.

H. TAXES.

The unit prices for material items in all bids shall include provisions for the payment of any taxes to the State.

I. EXECUTION OF CONTRACT.

The Bidder to whom the contract has been awarded shall enter into contract with the City within ten (10) days after the award has been made. No bid shall be considered binding upon the City until the contract is properly executed by both parties and the contract bond filed.

The contract, when executed, shall be combined with all the Contract documents identified in the Material Agreement representing the entire agreement between parties. The Bidder shall not claim any modification resulting from representation or promise made by representative of the owner or other persons.

J. CONTRACT AWARD.

Award of the Contract, if an award is made, will be on the basis of the base bid and/or any alternate bid(s) chosen by the Owner, as is in the best interest of the Owner. It is the intent of the Owner to award one (1) Contract for each of the Bids as is deemed to be in the best interest of the Owner. The Owner reserves the right to reject any or all bids, waive technicalities, and make award(s) as deemed to be in the best interest of the Owner.

- In addition to cost, other items that will impact the award decision include the following:
 - Support capabilities.
 - Ability to meet specified delivery schedule.
 - Conformance to project specifications.

K. CHANGES IN QUANTITIES.

The Bidder understands and agrees that the quantities called for in the Bid are approximate, and that the total number of material items upon which payment shall be made shall be set forth in the material contract and purchase order.

L. SHOP DRAWINGS.

Approval drawings will be required for certain materials as identified below to verify compliance with the specifications. Drawings shall be submitted to the Engineer within 10 days of the Notice of Award. Approval drawings shall be provided for the following:

- Conduit
- Manholes

M. MATERIAL DELIVERIES.

Materials specified within shall be purchased FOB, Pella, Iowa, Freight prepaid and included in quoted price. Materials shall be shipped in total or in truckload lots, minimum. Deliveries shall be arranged with the Owner. Acceptable delivery times are 8:00 a.m. to 3:00 p.m., Monday through Friday, working days only.

The Owner agrees to work in good faith with the Supplier to adjust the delivery schedule for any delays attributed to circumstances beyond the Supplier's control, including acts of God, acts of government, and related circumstances. Actions that cause delivery delays that are under the control of the Supplier are failure to allow sufficient time for manufacturing, failure to inform the Engineer of changes in the manufacturing schedule, or lack of cooperation in establishing effective measures by which delays could be minimized.

N. WARRANTY.

The Supplier shall warrant that the materials included in the contract are free of defects for one (1) year from the delivery date. The Supplier shall repair or replace any materials found to be defective at no cost to the Owner. Any costs incurred by the Owner due to defective materials supplied by the Supplier shall be reimbursed to the Owner by the Supplier.

END OF SECTION

SECTION 00 41 00
BID FORM - BID 1
CONDUIT

DATE: September 13, 2016

PROJECT: City of Pella Medium Voltage Materials

OWNER: City of Pella
825 Broadway
Pella, Iowa 50219

ENGINEER: KJWW Engineering Consultants
2882 106th Street
Des Moines, Iowa 50322
515.334.9906

BIDDER _____
Circle One (Corporation) (Partnership) (Individual)

ADDRESS _____
Street City State Zip Code Phone No.

Pursuant to and in compliance with the Notice of Hearing and Letting and the Instructions to Bidders relating thereto, the terms of which are incorporated herein by reference thereto, the undersigned as Bidder offers and agrees, if this offer is accepted, to furnish and deliver the equipment and materials in strict conformance with the Specifications forming a part of these contract documents and in accordance with following addenda for the sum indicated on the following bid schedule.

ADDENDUM RECEIPT

The undersigned acknowledges the receipt of Addenda _____ to _____ inclusive.

MATERIALS PRICES

1. The prices set forth herein do include any sums which are or may be payable by the seller on account of taxes imposed by the State of Iowa upon the sale, purchase or use of the equipment. If any such tax is applicable to the sale, purchase or use of the equipment, the amount thereof shall be paid by the purchaser.
2. The prices included herein are firm without regard for time of delivery, increase in cost from manufacturer, or any other factor. Note: the Owner may accept non-firm bids that are presented as "subject to metals escalation" or similar provisions. If pricing of that nature is provided, a clear description of how pricing adjustments will be made shall be furnished, including metals base prices, pricing indexes, and quantity of metals in the material to be supplied.
3. The price of the equipment set forth herein shall include the cost of delivery to the job site in Pella, Iowa. The guaranteed delivery date shall be included in the bid.
4. Title to the equipment shall pass to the Owner upon completion of the contract and acceptance by the Owner.

5. This bid is void unless a materials contract based on this bid is entered into by the Owner and the Supplier within 30 days after the date hereof.

6. The undersigned being familiar with all the details, conditions, and requirements hereby proposes to furnish the following material to the City of Pella, Iowa, in strict conformance with the specifications and Bidding Documents, to-wit:

<u>ITEMS</u>	<u>UNIT PRICE</u>	<u>TOTAL PRICE</u>
43,850 feet of 5-inch diameter Schedule 40 PVC	\$ _____/ft.	\$ _____
<u>Manufacturer:</u> _____	<u>Catalog No.:</u> _____	<u>Delivery Date:</u> _____
9,180 5-inch non-metallic conduit spacers	\$ _____/ea.	\$ _____
<u>Manufacturer:</u> _____	<u>Catalog No.:</u> _____	<u>Delivery Date:</u> _____

BIDDERS

Wherever unit prices or other information is requested in the various sections of the specifications, Bidder shall furnish same in detail. If space is not available on this form for the information required, typewritten sheets with the necessary information shall be attached to the form.

BIDDER'S SIGNATURE

Date _____, 20____ Firm Name _____

Official Address:

Signature _____

Phone: _____ Printed Name _____

Fax: _____ Title _____

Email: _____

END OF SECTION

SECTION 00 41 00
BID FORM - BID 2
MANHOLES

DATE: September 13, 2016
PROJECT: City of Pella Medium Voltage Materials
OWNER: City of Pella
825 Broadway
Pella, Iowa 50219
ENGINEER: KJWW Engineering Consultants
2882 106th Street
Des Moines, Iowa 50322
515.334.9906

BIDDER _____
Circle One (Corporation) (Partnership) (Individual)

ADDRESS _____
Street City State Zip Code Phone No.

Pursuant to and in compliance with the Notice of Hearing and Letting and the Instructions to Bidders relating thereto, the terms of which are incorporated herein by reference thereto, the undersigned as Bidder offers and agrees, if this offer is accepted, to furnish and deliver the equipment and materials in strict conformance with the Specifications forming a part of these contract documents and in accordance with following addenda for the sum indicated on the following bid schedule.

ADDENDUM RECEIPT

The undersigned acknowledges the receipt of Addenda _____ to _____ inclusive.

MATERIALS PRICES

1. The prices set forth herein do include any sums which are or may be payable by the seller on account of taxes imposed by the State of Iowa upon the sale, purchase or use of the equipment. If any such tax is applicable to the sale, purchase or use of the equipment, the amount thereof shall be paid by the purchaser.
2. The prices included herein are firm without regard for time of delivery, increase in cost from manufacturer, or any other factor. Note: the Owner may accept non-firm bids that are presented as "subject to metals escalation" or similar provisions. If pricing of that nature is provided, a clear description of how pricing adjustments will be made shall be furnished, including metals base prices, pricing indexes, and quantity of metals in the material to be supplied.
3. The price of the equipment set forth herein shall include the cost of delivery to the job site in Pella, Iowa. The guaranteed delivery date shall be included in the bid.
4. Title to the equipment shall pass to the Owner upon completion of the contract and acceptance by the Owner.

5. This bid is void unless a materials contract based on this bid is entered into by the Owner and the Supplier within 30 days after the date hereof.
6. The undersigned being familiar with all the details, conditions, and requirements hereby proposes to furnish the following material to the City of Pella, Iowa, in strict conformance with the specifications and Bidding Documents, to-wit:

<u>ITEM</u>	<u>UNIT PRICE</u>	<u>TOTAL PRICE</u>
8 Concrete Manholes	\$ _____/ea.	\$ _____

<u>Manufacturer:</u> _____	<u>Catalog No.:</u> _____	<u>Delivery Date:</u> _____
-------------------------------	------------------------------	--------------------------------

BIDDERS

Wherever unit prices or other information is requested in the various sections of the specifications, Bidder shall furnish same in detail. If space is not available on this form for the information required, typewritten sheets with the necessary information shall be attached to the form.

BIDDER'S SIGNATURE

Date _____, 20____ _____
Firm Name

Official Address:

 _____ Signature _____

Phone: _____ Printed Name _____

Fax: _____ Title _____

Email: _____

END OF SECTION

MATERIAL AGREEMENT

THIS AGREEMENT made as of _____, 2016 between _____ (hereinafter called the "Supplier"), and City of Pella, Iowa (hereinafter called the "Owner"),

WITNESSETH, that the Supplier and the Owner for the considerations hereinafter named agree as follows:

1. **Scope of Work:** The Supplier agrees to sell and deliver to the Owner and the Owner agrees to purchase and receive from the Supplier the equipment under Bid No. _____, in strict accordance with the documents entitled "**Furnishing Electrical Materials**" for City of Pella, Iowa".
2. **The Contract Documents:** The Contract Documents shall consist of this written Agreement, Bid Proposals, Notice of Public Hearing and Letting, Instructions to Bidders, Addenda issued - numbers _____, Insurance Policies and Certificates, General Requirements, drawings and specifications, approved change orders, Supplier's Requests for Payment, and all addenda issued by the Owner prior to the awarding of the Contract (collectively, the "Contract Documents"). All of the Contract Documents listed in this Material Agreement are hereby incorporated by this reference as fully as if they were set out in this Agreement in full, all of which documents and instruments are incorporated by the signature of the parties hereto.
3. **Time of Completion:** The work to be performed under this contract shall be commenced upon execution of this Agreement and shall be fully completed by _____.
4. **The Contract Sum:** The Owner shall pay the Supplier for the equipment, in current funds: The Owner shall pay to the Supplier for performance of the work encompassed by this Agreement, and the Supplier will accept as full compensation therefore the lump sum of \$ _____, subject to adjustment as provided by the Contract Documents, to be paid by progress payments in cash or its equivalent in the manner provided for in the Contract Documents.
5. **Payment:** Payment to the Supplier will be made on the basis of one hundred percent (100%) of the base bid within thirty (30) days of receipt of the materials in acceptable condition and associated invoice.
6. **Termination:** This Agreement may be terminated by either party upon seven (7) days written notice should the other party breach the terms of this Agreement.
7. **Assignment:** The Supplier shall not assign all of his rights or obligations under this Agreement without the express written consent of the Owner. Upon any assignment even though consented to by the Owner, the Supplier shall remain liable for the performance of the work under this Agreement.
8. **Partial Invalidity:** If any provisions of this Agreement are in violation of any statute or rule of law of the State of Iowa, then such provisions shall be deemed null and void to the extent that they may be violative of law, but without invalidating the remaining provisions hereof.
9. **Waiver:** No waiver of any breach of any one of the agreements, terms conditions or covenants of this Agreement by the Owner shall be deemed or imply or constitute a waiver of any other agreement, term, condition or covenant of this Agreement. The failure of the Owner to insist on strict performance of any agreement, term, condition or covenant, herein set forth, shall not constitute or be construed as a waiver of the Owner's rights thereafter to enforce any other default; neither shall such failure to insist upon strict performance be deemed sufficient grounds

to enable the Supplier to forego or subvert or otherwise disregard any other agreement, term, condition or covenant of this Agreement.

- 10. **Entire Agreement:** The within Agreement, together with the Contract Documents, constitute the entire agreement of the parties hereto. No modification, change, or alteration of the within Agreement shall be of any legal force or effect unless in writing, signed by all the parties.
- 11. **Counterparts:** This Agreement may be executed in several counterparts and each such counterpart shall be deemed an original.
- 12. **Governing Law:** Venue for any and all legal actions regarding or arising out of the transaction covered herein shall be solely in the District Court in and for Marion County, State of Iowa or the United States District Court for the Southern District of Iowa. This transaction shall be governed by the laws of the State of Iowa.
- 13. **Notices:** All notices, requests, demands and other communications given or to be given under this Agreement shall be in writing and shall be deemed to have been duly given when served if served personally, or on the second day after mailing if mailed by first class mail, registered or certified, postage prepaid, and properly addressed to the party to whom notice is to be given as set forth below.

If to Owner:

If to Supplier:

City of Pella
825 Broadway
Pella, IA 50219

- 14. **Casualty Insurance:** Except when the risk of loss of the Equipment is with Owner, Supplier shall maintain on the Equipment insurance against loss or damage by fire, lightning and all other risks covered by the so-called extended coverage insurance endorsement in an amount equal to the full insurable value of the Equipment. Upon the request of Owner, Supplier shall deliver to Owner a certificate of insurance evidencing the insurance required by this section.
- 15. **Risk of Loss:** Risk of loss of the Equipment shall remain with Supplier until the Equipment has been unloaded, inspected, and accepted by the Owner or Owner's Representative, at which time risk of loss shall pass to Owner. Notwithstanding the foregoing, if Owner rejects the Equipment as non-conforming, risk of loss of the equipment shall be and remain with Supplier until Supplier corrects the non-conformity or Buyer accepts the Equipment.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their duly authorized representatives all as of the day and year first above written.

CITY OF PELLA, IOWA
Owner

Supplier

By _____

By _____

ATTEST:

ATTEST:

By _____

By _____

SECTION 26 05 33
CONDUIT

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Rigid polyvinyl chloride conduit and fittings

1.2 REFERENCES

- A. NECA "Standards of Installation"
- B. National Electrical Manufacturers Association (NEMA):
 - 1. TC 2 – Electrical Polyvinyl Chloride (PVC) Conduit
 - 2. TC 9 – Fittings for PVC Plastic Utilities Duct for Underground Installation
- C. National Fire Protection Association (NFPA):
 - 1. ANSI/NFPA 70 – National Electrical Code
- D. Underwriters Laboratories (UL): Applicable Listings
 - 1. UL514-B – Conduit Tubing and Cable Fittings
 - 2. UL651-A – Type EB and a PVC Conduit and HDPE Conduit
- E. American Standard of Testing and Materials (ASTM):
 - 1. ASTM D 570 - Standard Test Method for Water Absorption of Plastics
 - 2. ASTM D 638 - Standard Test Method for Tensile Properties of Plastics
 - 3. ASTM D 648 - Standard Test Method for Deflection Temperature of Plastics under Flexural Load in the Edge Wise Position
 - 4. ASTM D 2412 - Standard Test Method for Determination of External Loading Characteristics of Plastic Pipe by Parallel-Plate Loading
 - 5. ASTM D 2447 - Standard Specification for Polyethylene (PE) Plastic Pipe, Schedules 40 and 80, Based on Outside Diameter
 - 6. ASTM D 3350 - Standard Specification for Polyethylene Plastic Pipe and Fittings Material
- F. Definitions:
 - 1. Fittings: Conduit connection or coupling.
 - 2. Body: Enlarged fittings with opening allowing access to the conductors for pulling purposes only.
 - 3. Concealed: Not visible by the general public. Often indicates a location either above the ceiling, in the walls, in or beneath the floor slab, in column coverings, or in the ceiling construction.

1.3 SUBMITTALS

- A. Provide product submittals to the Architect/Engineer, per specifications, for approval prior to purchase and installation.

PART 2 - PRODUCTS

2.1 RIGID NON-METALLIC CONDUIT (PVC) AND FITTINGS

- A. Acceptable Manufacturers: Carlon (Lamson & Sessions) Type 40, Cantex, J.M. Mfg., or approved equal.
- B. Construction: Schedule 40 rigid polyvinyl chloride (PVC), UL labeled for 90°C.
- C. Fittings and Conduit Bodies: NEMA TC 3; sleeve type suitable for and manufactured especially for use with the conduit by the conduit manufacturer.

END OF SECTION

SECTION 26 05 37
MANHOLES

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Prefabricated Concrete Manholes
- B. Manhole Accessories

1.2 QUALITY ASSURANCE

- A. Manufacturer: Company specializing in precast concrete structures with three (3) years documented experience.

1.3 REFERENCES

- A. ANSI/ASTM A153 - Zinc Coating (Hot-Dip) on Iron and Steel Hardware
- B. ANSI/ASTM A569 - Steel, Sheet and Strip, Carbon (0.15 Maximum Percent), Hot-Rolled, Commercial Quality
- C. ASTM A48 - Gray Iron Castings
- D. ASTM A123 - Zinc (Hot-Galvanized) Coatings on Products Fabricated from Rolled, Pressed, and Forged Steel Shapes, Plates, Bars, and Strips

1.4 SUBMITTALS

- A. Submit shop drawings and product data under provisions of Section 26 05 00.
- B. Indicate material specifications, dimensions, capacities, size and location of openings, reinforcing details, and accessory locations.
- C. Provide product data for manhole accessories.
- D. Submit manufacturer's installation instructions under provisions of Section 26 05 00.

PART 2 - PRODUCTS

2.1 ACCEPTABLE MANUFACTURERS - PRECAST CONCRETE MANHOLES

- A. Concast (see cut sheet following this section).
- B. Illinois Concrete Co.
- C. Grove Concrete
- D. Utility Concrete Products, LLC
- E. Hartford Concrete Products
- F. Lister Industries

2.2 PRECAST CONCRETE MANHOLES

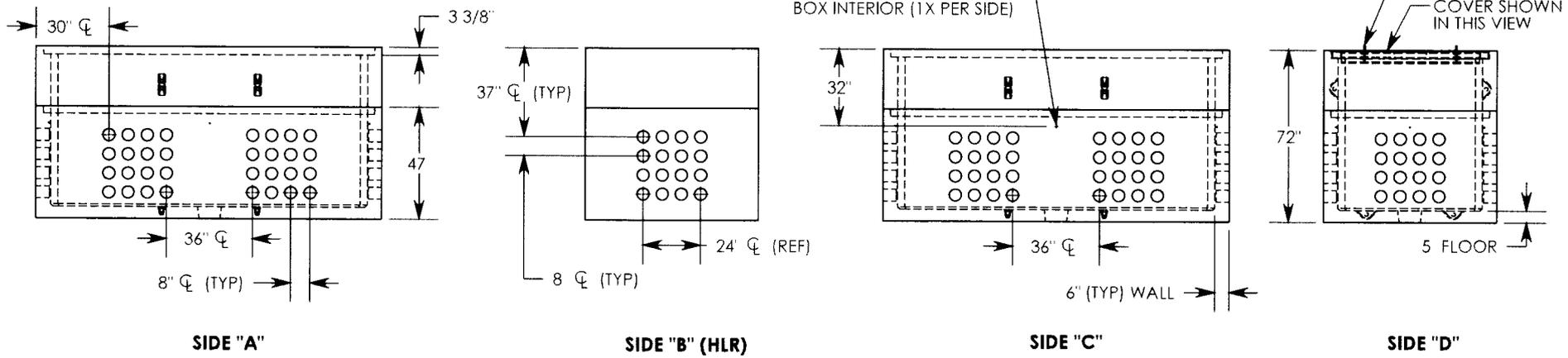
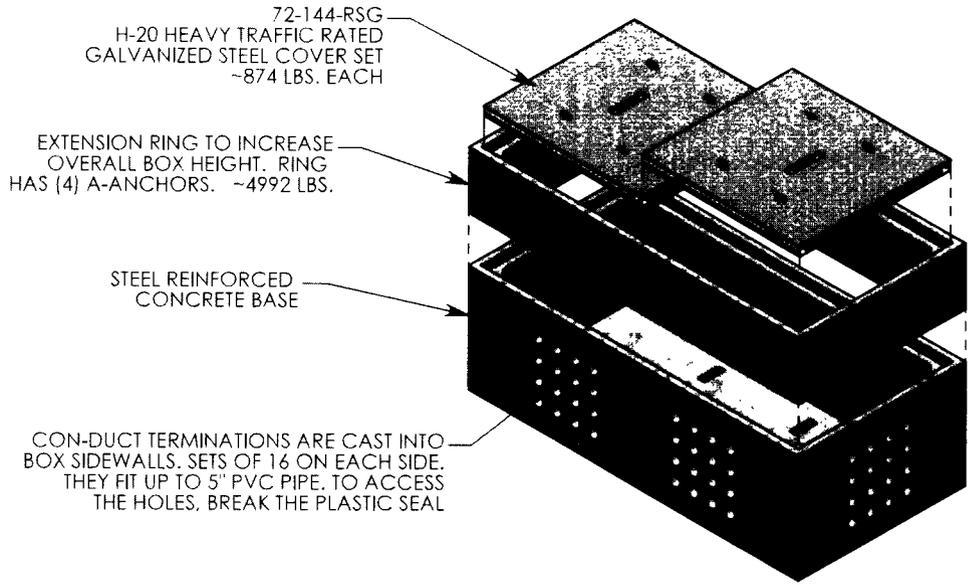
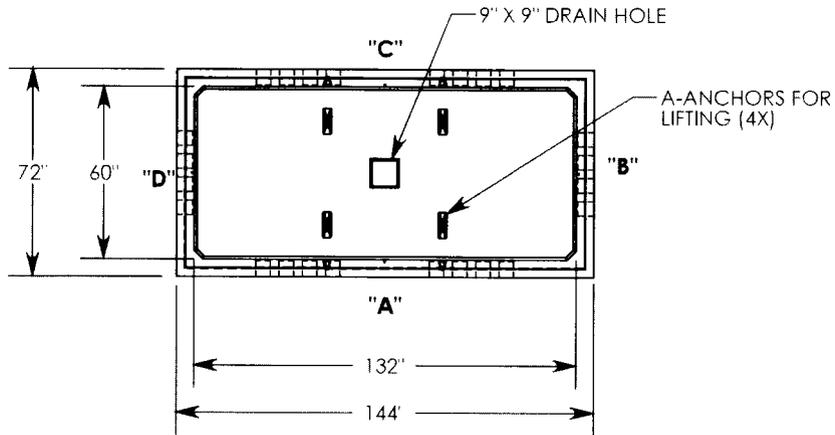
- A. Precast Concrete: Air-entrained, 2000 psi compressive strength at 28 days.
- B. Reinforcing: AASHTO HS-20; bridge loading.

- C. Construction: Monolithic.
- D. Manhole Shape: Rectangular.
- E. Outside Dimensions: 72" X 144".
- F. Wall Thickness: 6" inches.
- G. Include 9" X 9" drain opening and 2 one inch ground rod openings in base section.
- H. Duct Entry: Minimum of sixteen 5" diameter openings on each wall.
- I. Include cable pulling irons opposite each duct entry window.
- J. Include six inserts, three per side, for cable racks at four feet on center.

2.3 MANHOLE ACCESSORIES

- A. Manhole Frames and Covers: ASTM A48; Class 30B gray cast iron, machine finished with flat bearing surfaces.
- B. Sump Covers: ASTM A48; Class 30B gray cast iron.
- C. Pulling Irons: 7/8 inch diameter steel bar forming a triangle of 9 inches per side when set. Galvanize to ANSI/ASTM A153 for irregular shaped articles.
- D. Cable Rack Inserts: Anchor insert with 316 stainless steel hex head cap screw, minimum load capacity of 1250 pounds.
- E. Cable Rack Stanchion: Heavy Duty Non-metallic 50% glass reinforced nylon stanchion with cable rack arm mounting slots on 4 inch centers. Stainless steel cable rack, with cable rack arm mounting slots on 8 inch centers. Install a minimum of two stanchions on each wall, with a maximum of 3' spacing.
- F. Cable Rack Arms: 14" arm shall have a minimum 200 lbs load rating. Heavy Duty Non-metallic 50% glass reinforced nylon arm. Stainless steel T-section with high-glazed, wet-process porcelain insulators. Cable rack arm lengths shall be appropriate for the manhole size and amount of cable being installed. Provide two spare arms at each stanchion.

END OF SECTION



H-20 RATED - 32,000 LB. PER AXLE LOAD.

DRAWN BY: JESSE GUTTING		 1010 NORTH STAR DRIVE P.O. BOX 69 ZUMBROTA, MN 55992-0069	DESCRIPTION:		
DATE: 8/12/2016	REVISION LEVEL: 0		CONCRETE PULL BOX W/GALV. STEEL COVERS		
WEIGHT:	MATERIAL:		DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL: ± 1/8" ANGULAR: ± 2°	CONTACT INFORMATION: EMAIL: INFO@CONCASTINC.COM PHONE: (507) 732-4095 FAX: (507) 732-4094	SHEET 1 OF 1
18281 LBS. W/COVERS	NOTED		PART NUMBER:		
		PB165-72-144-72-RSG			



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: H-2

SUBJECT: Resolution Approving the Street Finance Report for Fiscal Year 2016

DATE: September 6, 2015

BACKGROUND: Annually, the City is required by the Code of Iowa to file with the Iowa Department of Transportation a Street Finance Report in order to receive Road Use Tax funds.

The City's Street Finance Report for Fiscal Year ending June 30, 2016 is presented for approval with this resolution. FY 15/16 revenues total \$3,260,995 and expenditures total \$2,992,628.

Listed below is a breakdown of the revenues and expenditures.

Revenues		Expenditures	
Road Use Tax	\$ 1,279,292	Road Way Maintenance	\$ 779,636
Tax Increment Financing	601,882	Snow and Ice Removal	38,250
Local Option Sales Tax	385,584	Engineering	215,351
Federal High Funds	987,523	Street Construction	1,921,967
Other	6,714	Equipment	33,924
		Right of way	3,500
Total Revenues	<u>\$ 3,260,995</u>	Total Expenditures	<u>\$ 2,992,628</u>

ATTACHMENTS: Resolution and Street Finance Report

REPORT PREPARED BY: FINANCE DIRECTOR

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve Resolution.

RESOLUTION NO. 5715

RESOLUTION APPROVING THE STREET FINANCE REPORT
FOR FISCAL YEAR ENDING JUNE 30, 2016

WHEREAS, cities are required by the Code of Iowa to file with the Iowa Department of Transportation, on or before September 30th of each year, a Street Finance Report for the fiscal year ending June 30th preceding; and,

WHEREAS, the Street Finance Report of the City of Pella, Iowa has been prepared and submitted to the City Council for the fiscal year ending June 30, 2016.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

That the Street Finance Report of the City of Pella, Iowa for the fiscal year ending June 30, 2016 be and the same is hereby approved and the City Clerk is hereby directed to file said report with the Iowa Department of Transportation.

PASSED AND ADOPTED this 6th day of September, 2016 by the City Council of the City of Pella, Iowa.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

IOWADOT
 Form 517007 (5-2016)
 Office of Local Systems
 Ames, IA 50010

City Street Financial Report

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City Name
PELLA
City Number
5947

Cover Sheet

Now therefore let it be resolved that the city council PELLA, Iowa
 (City Name)

On _____ did hereby approve and adopt the annual
 (month/day/year)

City Street Financial Report from July 1, 2015 to June 30, 2016
 (Year) (Year)

Contact Information

Corey Goodenow	cgoodenow@cityofpella.com	825 BROADWAY	PELLA	50219-0000
7:30-4:30	641-628-4173	0000000226	641-780-0225	

Preparer Information

Corey Goodenow	cgoodenow@cityofpella.com	641-628-4173	0000000226	
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Mayor Information

JAMES MUELLER	mayor@cityofpella.com	825 BROADWAY	PELLA	50219-0000
641-628-2773				

Resolution Number _____

 Signature Mayor

 Signature City Clerk



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Ames, IA 50010

City Street Financial Report

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Miscellaneous Revenues and Expenses Sheet

181—Junk and Old	\$2,610.00	\$0.00
180—Receipts From Sales	\$1,557.00	\$0.00
190—Other Miscellaneous	\$2,547.00	\$0.00
144—FHWA Participation (Fed. Hwy. Admin.)	\$987,523.00	\$0.00
195—Tax Increment Financing (TIF)	\$601,882.00	\$0.00
174—Sales Tax / Local Option	\$385,584.00	\$0.00

[Redacted Section]		
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Form 517007 (5-2016)
Office of Local Systems
Ames, IA 50010

City Name
PELLA
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City Street Financial Report

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Bonds, Notes and Loans Sheet

New Bond Totals	Totals

City Street Financial Report

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City Name
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Project Final Costs Sheet

For construction, reconstruction, and improvement projects with costs equal to or greater than 90% of the bid threshold in effect as the beginning of the fiscal year.

Check here if there are no entities for this year

Project Final Costs Sheet (Section A)

Street Name	Amount	RDWY	Yes/No	Description
Washington Street	\$983,972	RDWY	Yes	Reconstruction of Washington Street
Hazel Street	\$174,601	RDWY	Yes	Reconstruction of Hazel Street
Jefferson Street	\$448,919	RDWY	Yes	Reconstruction of Jefferson Street
Oskaloosa Street	\$2,947,778	RDWY	Yes	Reconstruction of Oskaloosa Street

Project Final Costs Sheet (Section B)

Street Name	Contractor	Amount	RDWY	Yes/No	Yes/No	Yes/No	Yes/No	Yes/No
Washington Street	Blommers Construction	\$677,972		\$0	\$0	\$0	\$0	\$0
Hazel Street	Blommers Construction	\$174,601		\$0	\$0	\$0	\$0	\$0
Jefferson Street	Pella Concrete Contractor	\$448,919		\$0	\$0	\$0	\$0	\$0
Oskaloosa Street	Hawkeye Paving Company	\$2,947,778		\$0	\$0	\$0	\$0	\$0

IOWA DOT
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 Office of Local Systems
 Ames, IA 50010

City Street Financial Report

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City Name
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Road/Street Equipment Inventory Sheet

Year	Equipment Description	Original Cost	Current Value	Depreciation	Salvage Value	Condition	Status
2016	Ford F150	\$33,924	\$0	\$0	\$0	No	NEW
2011	INTNATL 7300 DUMP TRK	\$125,451	\$0	\$0	\$0	No	NOCH
2011	FORD F250 4x2	\$20,223	\$0	\$0	\$0	No	NOCH
2008	John Deer Backhoe	\$74,700	\$0	\$0	\$0	No	NOCH
2007	DUMP TRUCK	\$90,576	\$0	\$0	\$0	No	NOCH
2006	FORD F250	\$17,622	\$0	\$0	\$0	No	NOCH
2004	FORD F578 DUMP TRUCK	\$44,474	\$0	\$0	\$0	No	NOCH
2002	INTERNATIONAL 4700 DUMPTRUCK	\$41,715	\$0	\$0	\$0	No	NOCH
2001	CATERPILLAR 135 H MOTORGRADER	\$129,430	\$0	\$0	\$0	No	NOCH
2000	FORD PICKUP F182	\$18,345	\$0	\$0	\$0	No	NOCH
1998	CRAFCO MELTER 55125	\$23,900	\$0	\$0	\$0	No	NOCH
1997	CHEV CC31403 TRUCK	\$10,829	\$0	\$0	\$0	No	NOCH
1996	FORD 350 4X4 TRUCK	\$20,930	\$0	\$0	\$0	No	NOCH
1992	FORD F-700	\$27,574	\$0	\$0	\$0	No	NOCH
1991	J DEERE TRACTOR 1C70	\$5,968	\$0	\$0	\$0	No	NOCH
1997	CHEV CC30903	\$10,803	\$0	\$0	\$0	No	NOCH
1992	CASE 580 SUPER K BACKHOE	\$2,800	\$0	\$0	\$0	No	NOCH
2008	CASE 430SSL SKID LOADER	\$25,955	\$0	\$0	\$0	No	NOCH
2012	1-TON PICKUP TRUCK	\$40,206	\$0	\$0	\$0	No	NOCH

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 Ames, IA 50010

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Road/Street Equipment Inventory Sheet

Year	Equipment Description	Original Cost	Current Value	Depreciation	Salvage Value	Condition	Notes
2011	FORD F-150	\$23,422	\$0	\$0	\$0	No	NOCH
2012	ELGIN CROSSWIND	\$225,880	\$0	\$0	\$0	No	NOCH
2014	1 TON TRUCK	\$24,253	\$0	\$0	\$0	No	NOCH
2013	FORD 150 PICKUP TRUCK	\$28,078	\$0	\$0	\$0	No	NOCH
2013	CASE END LOADER	\$135,200	\$0	\$0	\$0	No	NOCH
2014	INTERNATIONAL DUMP TRUCK	\$162,046	\$0	\$0	\$0	No	NOCH
2014	1 TON TRUCK	\$13,380	\$0	\$0	\$0	No	NOCH



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City Street Financial Report

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Explanation Sheet

The beginning balance was adjusted based on changes made in preparation for the annual audit.

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City Street Financial Report

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Monthly Payment Sheet

July	\$106,443.16
August	\$143,390.77
September	\$127,183.51
October	\$97,284.52
November	\$110,661.98
December	\$111,700.28
January	\$93,098.04
February	\$106,998.62
March	\$109,768.32
April	\$76,130.13
May	\$81,935.61
June	\$114,697.54

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Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
ACCO UNLIMITED CORP (1020)						
0165607-IN	PUMP REPAIR - OUT POOL	07/31/2016	09/06/2016	317.65	08/16	100.5.04.4301.6310
0165684-IN	CHEMICALS - OUT POOL	08/05/2016	09/06/2016	1,253.40	08/16	100.5.04.4301.6503
0165831-IN	PUMP TUBING - OUT POOL	08/09/2016	09/06/2016	116.95	08/16	100.5.04.4301.6310
0165948-IN	CHEMICAL LINES - OUT POOL	07/31/2016	09/06/2016	40.15	08/16	100.5.04.4301.6503
166244	CHEMICALS - OUT POOL	08/22/2016	09/06/2016	580.25	08/16	100.5.04.4301.6503
Total ACCO UNLIMITED CORP (1020):				2,308.40		
ALLIANT-IES (GAS) (1060)						
08092016 - OUT P	NATURAL GAS - OUT POOL	08/09/2016	09/06/2016	1,499.17	08/16	100.5.04.4301.6371
08092016 - PK	NATURAL GAS - MOLENGRACHT GAR	08/09/2016	09/06/2016	17.43	08/16	100.5.09.4200.6371
08092016 - PK A	NATURAL GAS - MOLENGRACHT HEA	08/09/2016	09/06/2016	17.43	08/16	100.5.09.4250.6371
08122016 - IN POO	NATURAL GAS - IN POOL	08/12/2016	09/06/2016	234.68	08/16	100.5.04.4300.6371
082616PWO	GAS BILL-PWO	08/26/2016	09/06/2016	18.63	08/16	100.5.05.6500.6371
082616PWS	GAS BILL-PWS	08/26/2016	09/06/2016	21.97	08/16	100.5.05.6500.6371
08262016 - CC	NATURAL GAS - CC	08/26/2016	09/06/2016	18.63	08/16	100.5.04.4100.6371
08262016 - CC A	NATURAL GAS - CC	08/26/2016	09/06/2016	61.54	08/16	100.5.04.4100.6371
Total ALLIANT-IES (GAS) (1060):				1,889.48		
AMAZON (1070)						
005127896100	WIRELESS ACCESS POINTS - EL	08/09/2016	09/06/2016	263.98	08/16	400.5.06.8588.9950
033131463767	HAND CLEANER - EL	08/08/2016	09/06/2016	40.79	08/16	400.5.06.8588.9950
044541299982	AIR HOSE REEL - EL	08/04/2016	09/06/2016	110.51	08/16	400.5.06.8588.9950
044544864890	AIR HOSE REEL - EL	08/04/2016	09/06/2016	110.51	08/16	400.5.06.8588.9950
044545527472	AIR HOSE REEL - EL	08/04/2016	09/06/2016	110.51	08/16	400.5.06.8588.9950
055394672366	USB NETWORK ADAPTER - EL	07/29/2016	09/06/2016	19.99	08/16	400.5.06.8588.9950
055394672366	BATH TISSUE - EL	07/29/2016	09/06/2016	24.64	08/16	400.5.06.8588.9950
055395528204	SERVER RACK COOLING BLADES - E	07/29/2016	09/06/2016	100.85	08/16	400.5.06.8588.9950
060618449202	GOLIGHT SPOT LIGHT FOR PICKUP -	07/26/2016	09/06/2016	580.56	08/16	400.5.06.8588.9660
116353234999	WIRELESS ACCESS POINT - EL	07/27/2016	09/06/2016	142.99	08/16	400.5.06.8588.9950
190146180464	CABLE CUTTER - EL	07/20/2016	09/06/2016	633.90	08/16	400.5.06.8588.9950
244551605345	TIE DOWN LOOPS FOR PICKUPS - EL	08/04/2016	09/06/2016	106.00	08/16	400.5.06.8588.9660
Total AMAZON (1070):				2,245.23		
ARNOLD MOTOR SUPPLY (1126)						
37-512321	SAW BLADES - FD	08/12/2016	09/06/2016	18.34	08/16	100.5.02.1100.6510
Total ARNOLD MOTOR SUPPLY (1126):				18.34		
BANDSTRA, BECKY (6006)						
1611580084	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total BANDSTRA, BECKY (6006):				30.00		
BENSON, MATTHEW C (5989)						
6-09520-17	DEPOSIT REFUND	08/12/2016	09/06/2016	10.93	08/16	400.2210
Total BENSON, MATTHEW C (5989):				10.93		
BENTZ, ANDREW (1209)						
51-18021-09	DEPOSIT REFUND	08/31/2016	09/06/2016	25.91	08/16	400.2210
Total BENTZ, ANDREW (1209):				25.91		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
BIERMA, KRISTIN (5997)						
08252016 - A	REFUND ADDALYNN ART CLASS	08/25/2016	09/06/2016	37.00	08/16	100.4.04.4110.4577
08252016 - B	REFUND CORA'S ART CLASS	08/25/2016	09/06/2016	55.00	08/16	100.4.04.4110.4577
08252016 - C	REFUND PETER'S ART CLASS	08/25/2016	09/06/2016	55.00	08/16	100.4.04.4110.4577
Total BIERMA, KRISTIN (5997):				147.00		
BINNS & STEVENS SPRAYERS (1236)						
19029	DUST CONTROL - SOCCER COMPLEX	08/12/2016	09/06/2016	1,664.10	08/16	100.5.09.4205.6549
Total BINNS & STEVENS SPRAYERS (1236):				1,664.10		
BLOMMERS CONSTRUCTION (1256)						
WASHINGTONSTP	WASHINGTON STREET PROJECT-PP4	08/26/2016	09/06/2016	254,676.78	08/16	215.5.05.2179.6761
Total BLOMMERS CONSTRUCTION (1256):				254,676.78		
BLYTHE, CORBIN L (5993)						
39-03100-24	DEPOSIT REFUND	08/16/2016	09/06/2016	40.27	08/16	400.2210
Total BLYTHE, CORBIN L (5993):				40.27		
BROWN, CHRISTOPHER (1356)						
1611580097	EE REBATE - AC TUNE-UP - EL	08/30/2016	09/06/2016	30.00	08/16	400.2215
Total BROWN, CHRISTOPHER (1356):				30.00		
BRUMMEL, JERRY (1366)						
902268	VOLKSWEG TRAIL	08/15/2016	09/06/2016	675.00	08/16	201.5.05.7115.6790
Total BRUMMEL, JERRY (1366):				675.00		
BUCHANAN, JENNIFER (5999)						
1611580077	EE REBATE - AC TUNE-UP - EL	08/16/2016	09/06/2016	30.00	08/16	400.2215
Total BUCHANAN, JENNIFER (5999):				30.00		
CAPITAL SANITARY SUPPLY (1422)						
C215003	MULTIFOLD TOWELS - PD	08/11/2016	09/06/2016	111.84	08/16	100.5.01.1000.6411
Total CAPITAL SANITARY SUPPLY (1422):				111.84		
CARPENTER UNIFORM CO (1428)						
420671	UNIFORM EXPENSE - PD	08/12/2016	09/06/2016	121.98	08/16	100.5.01.1030.6510
420859	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	622.81	08/16	100.5.01.1030.6510
420861	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	21.98	08/16	100.5.01.1030.6510
420862	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	74.99	08/16	100.5.01.1030.6510
420864	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	256.93	08/16	100.5.01.1030.6510
420865	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	98.99	08/16	100.5.01.1030.6510
Total CARPENTER UNIFORM CO (1428):				1,197.68		
CENTRAL IA WATER ASSOC (1462)						
08232016	WATER BILLS - ANNEXED AREA	08/23/2016	09/06/2016	1,138.43	08/16	300.5.05.8100.6416
Total CENTRAL IA WATER ASSOC (1462):				1,138.43		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
CITY OF PELLA (1503)						
1615580002	EE REBATE - LIGHT. RETROFIT LIBRA	08/09/2016	09/06/2016	5,130.00	08/16	400.2215
Total CITY OF PELLA (1503):				5,130.00		
CIVIC PLUS (1507)						
160429	WEBSITE SMS SUPPORT	08/30/2016	09/06/2016	605.03	08/16	100.5.00.6200.6403
Total CIVIC PLUS (1507):				605.03		
CIVIC SYSTEMS LLC (1508)						
CVC14642	PAYMENTUS UB EXPORT FILE	08/17/2016	09/06/2016	600.00	08/16	201.5.00.7091.6725
Total CIVIC SYSTEMS LLC (1508):				600.00		
CLASSIC AVIATION INC (1519)						
09012016	AIRPORT MANAGER PAYMENT	09/01/2016	09/06/2016	3,447.50	09/16	100.5.05.2200.6405
Total CLASSIC AVIATION INC (1519):				3,447.50		
CLEMENTS, DAVID (5998)						
08292016	P & Z DIRECTOR INTERVIEW	08/29/2016	09/06/2016	375.66	08/16	100.5.08.6400.6500
Total CLEMENTS, DAVID (5998):				375.66		
CULLIGAN WATER (1609)						
081716WTP	FILTER HOUSING & FILTERS	08/17/2016	09/06/2016	240.00	08/16	300.5.05.8130.6399
Total CULLIGAN WATER (1609):				240.00		
CUSTOMIZED ENERGY SOLUTIONSLTD (1622)						
1041560	TRANSMISSION - FTR'S	08/12/2016	09/06/2016	1,000.00	08/16	400.5.06.8565.9520
Total CUSTOMIZED ENERGY SOLUTIONSLTD (1622):				1,000.00		
DE ARMOND, RON (5994)						
30-06100-03	DEPOSIT REFUND	08/09/2016	09/06/2016	14.91	08/16	400.2210
30-06200-02	DEPOSIT REFUND	08/09/2016	09/06/2016	198.49	08/16	400.2210
Total DE ARMOND, RON (5994):				213.40		
DE RUITER EQUIPMENT (1685)						
08042016	BLADES - PK	08/04/2016	09/06/2016	137.94	08/16	100.5.09.4200.6350
08072016	SAFETY MOWER LIFT - PK	08/07/2016	09/06/2016	299.00	08/16	100.5.09.4200.6320
08102016	RUSH MOWER REPAIR - PK	08/10/2016	09/06/2016	84.82	08/16	100.5.09.4200.6350
08102016 - A	MOWER BLADES - PK	08/10/2016	09/06/2016	110.50	08/16	100.5.09.4200.6350
08172016 - PK	OIL FILTERS - PK	08/17/2016	09/06/2016	19.60	08/16	100.5.09.4200.6350
08182016 - PK	TRIMMER LINE - PK	08/18/2016	09/06/2016	15.99	08/16	100.5.09.4200.6590
08192016 - PK	Z-TURN MOWER CHUTE - PK	08/19/2016	09/06/2016	109.00	08/16	100.5.09.4200.6350
08232016 - PK	WEED EATER REPAIR - PK	08/23/2016	09/06/2016	49.49	08/16	100.5.09.4200.6350
08252016 - PK	TRIMMER LINE - PK	08/25/2016	09/06/2016	14.89	08/16	100.5.09.4200.6590
Total DE RUITER EQUIPMENT (1685):				841.23		
DGR ENGINEERING (1706)						
00220592	CONSULT. - MISC. - EL	08/17/2016	09/06/2016	144.00	08/16	400.5.06.8588.9810
00220593	CONSULT. - WEST SUB 69 KV IMPRO	08/17/2016	09/06/2016	7,945.18	08/16	410.5.06.8955.3900
00220594	CONSULT. - 2016 DISTRIBUTION IMPR	08/17/2016	09/06/2016	13,830.00	08/16	410.5.06.8952.3670

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Total DGR ENGINEERING (1706):				21,919.18		
DICKINSON CO INC (1753)						
J16106	LINCOLN SCHOOL - TRAFFIC SIGNAL	08/26/2016	09/06/2016	200.00	08/16	400.5.06.8585.9030
Total DICKINSON CO INC (1753):				200.00		
DIGITAL-ALLY (1762)						
1087829	CAR VIDEO CAMERA - PD	08/12/2016	09/06/2016	4,420.00	08/16	201.5.01.7003.6710
CR1087829	CREDIT MEMO - CAR VIDEO CAMERA	08/12/2016	09/06/2016	500.00-	08/16	201.5.01.7003.6710
Total DIGITAL-ALLY (1762):				3,920.00		
DINGEMAN, MARVIN (BOB) (4818)						
082316COLL/DIST	BOOT REIMBURSEMENT	08/23/2016	09/06/2016	100.00	08/16	300.5.05.8100.6546
Total DINGEMAN, MARVIN (BOB) (4818):				100.00		
ELECTRICAL ENGINEERING (1876)						
108138-00	GENERATOR SERVICE - EL	08/11/2016	09/06/2016	597.54	08/16	400.5.06.8588.9300
Total ELECTRICAL ENGINEERING (1876):				597.54		
ELECTRICAL POWER PRODUCTS INC (6017)						
8019-A	69 KV CONTROL PANELS - EL	08/25/2016	09/06/2016	251,559.00	08/16	410.5.06.8955.3900
Total ELECTRICAL POWER PRODUCTS INC (6017):				251,559.00		
ELECTRONIC ENGINEERING (1878)						
80004846	PAGERS - EL	08/25/2016	09/06/2016	83.65	08/16	400.5.06.8588.9950
Total ELECTRONIC ENGINEERING (1878):				83.65		
ETHANOL PRODUCTS CO2 (1909)						
CO2167195	CO2 - WTP	08/10/2016	09/06/2016	753.19	08/16	300.5.05.8120.6503
Total ETHANOL PRODUCTS CO2 (1909):				753.19		
EYSINK, STAN & CARLA (6016)						
1610580003	EE REBATE - QUALITY IINSTALL - EL	08/30/2016	09/06/2016	350.00	08/16	400.2215
Total EYSINK, STAN & CARLA (6016):				350.00		
FASTENAL COMPANY (1929)						
IAPEA95688	SAFETY GLASSES	07/29/2016	09/06/2016	9.73	08/16	300.5.05.8100.6546
IAPEA95711	WOOD SCREWS - EL	08/01/2016	09/06/2016	24.08	08/16	400.5.06.8588.9300
IAPEA95716	SHOP HARDWARE	08/01/2016	09/06/2016	12.03	08/16	115.5.05.2100.6330
IAPEA95724	WOOD SCREWS AND BIT - EL	08/02/2016	09/06/2016	31.12	08/16	400.5.06.8588.9300
IAPEA95730	SHOP SUPPLIES	08/03/2016	09/06/2016	31.27	08/16	115.5.05.2100.6330
IAPEA95857	SHOP HARDWARE	08/08/2016	09/06/2016	6.85	08/16	115.5.05.2100.6330
IAPEA95878	SAFETY GLASSES	08/09/2016	09/06/2016	7.30	08/16	300.5.05.8100.6546
IAPEA95878	SAFETY GLASSES	08/09/2016	09/06/2016	7.30	08/16	350.5.05.8330.6546
IAPEA95925	EAR PLUGS - PK	08/10/2016	09/06/2016	32.32	08/16	100.5.09.4200.6546
IAPEA95969	SAFETY GLASSES - PK	08/11/2016	09/06/2016	19.46	08/16	100.5.09.4200.6546
IAPEA96021	NITRILE GLOVES	08/15/2016	09/06/2016	12.37	08/16	300.5.05.8120.6590
IAPEA96030	BRONZE HARDWARE - EL	08/17/2016	09/06/2016	664.54	08/16	400.5.06.8588.9950
IAPEA96030	UG MARKING PAINT - EL	08/17/2016	09/06/2016	66.18	08/16	400.5.06.8584.9030

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total FASTENAL COMPANY (1929):				924.55		
FLANDER, MICHELLE (6013)						
1611580093	EE REBATE - HVAC - EL	08/23/2016	09/06/2016	525.00	08/16	400.2215
Total FLANDER, MICHELLE (6013):				525.00		
FORD, KYLE (6003)						
1611580080	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total FORD, KYLE (6003):				30.00		
FORTERRA PIPE & PRECAST (5899)						
CE00004921	E 3RD STORM SEWER	08/12/2016	09/06/2016	5,943.20	08/16	115.5.05.2120.6548
Total FORTERRA PIPE & PRECAST (5899):				5,943.20		
FOX ENGINEERING ASSOCIATES INC (5933)						
40245	PROFESSIONAL FEES- WWTP	08/01/2016	09/06/2016	993.97	08/16	350.5.05.8310.6405
Total FOX ENGINEERING ASSOCIATES INC (5933):				993.97		
GALLS LLC (2022)						
005879050	ENTRY TOOL - PD	08/12/2016	09/06/2016	212.99	08/16	100.5.01.1030.6510
005882505	UNIFORM EXPENSE - PD	08/15/2016	09/06/2016	51.93	08/16	100.5.01.1030.6510
Total GALLS LLC (2022):				264.92		
GARDEN & ASSOCIATES LTD (2026)						
34473	WASHINGTON STREET PROJECT	08/24/2016	09/06/2016	36,435.39	08/16	215.5.05.2179.6761
34474	OSKALOOSA ST RECON	08/24/2016	09/06/2016	39,642.92	08/16	215.5.05.2191.6761
Total GARDEN & ASSOCIATES LTD (2026):				76,078.31		
GODAX LABORATORIES INC (2070)						
42	LABORATORY CLEANER	08/22/2016	09/06/2016	109.20	08/16	350.5.05.8300.6547
42	SHIPPING	08/22/2016	09/06/2016	13.85	08/16	350.5.05.8300.6531
Total GODAX LABORATORIES INC (2070):				123.05		
GOODENOW, COREY (4984)						
08182016	TRAVEL FOR SCCM MEETING	08/18/2016	09/06/2016	19.44	08/16	100.5.00.6100.6260
08232016	DOMAIN RENEWAL	08/23/2016	09/06/2016	314.91	08/16	100.5.00.6350.6422
Total GOODENOW, COREY (4984):				334.35		
GOSSELINK, DON (2080)						
1611580083	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total GOSSELINK, DON (2080):				30.00		
GRAYMONT WESTERN LIME INC. (2093)						
77512 RI	LIME	08/10/2016	09/06/2016	4,119.68	08/16	300.5.05.8120.6503
Total GRAYMONT WESTERN LIME INC. (2093):				4,119.68		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
GRITTERS ELECTRIC (2104)						
203012	ELECTRIC MOTOR	08/11/2016	09/06/2016	225.00	08/16	350.5.05.8300.6350
203080	CONFERENCE ROOM SUPPLIES	08/19/2016	09/06/2016	45.50	08/16	100.5.05.5000.6543
203106	INDOOR POOL PUMP - PK	08/23/2016	09/06/2016	266.05	08/16	100.5.04.4300.6310
Total GRITTERS ELECTRIC (2104):				536.55		
HACH COMPANY (2136)						
10042392	LAB SUPPLIES - WTP	08/01/2016	09/06/2016	251.39	08/16	300.5.05.8120.6547
10064367	LAB SUPPLIES - WTP	08/15/2016	09/06/2016	256.69	08/16	300.5.05.8120.6547
10068852	CHLORINE ANALYZER	08/18/2016	09/06/2016	500.97	08/16	300.5.05.8120.6547
Total HACH COMPANY (2136):				1,009.05		
HAGENS TREE SVC (2141)						
081916PWS	TREE REMOVAL-PWS	08/19/2016	09/06/2016	650.00	08/16	115.5.05.2100.6403
Total HAGENS TREE SVC (2141):				650.00		
HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798)						
61571	LEGAL FEES	08/18/2016	09/06/2016	45.81	08/16	100.5.00.6100.6431
Total HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798):				45.81		
HARTHOORN, BRYAN D (2180)						
1611580085	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total HARTHOORN, BRYAN D (2180):				30.00		
HAUSTEIN, BRUCE (6010)						
1611580090	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total HAUSTEIN, BRUCE (6010):				30.00		
HAWKEYE PAVING CORPORATION (5795)						
OSKALOOSASTPP	OSKALOOSA PROJECT-PP6	08/26/2016	09/06/2016	129,694.70	08/16	215.5.05.2191.6761
Total HAWKEYE PAVING CORPORATION (5795):				129,694.70		
HAWKINS INC (2198)						
3933825 RI	CHEMICALS	08/09/2016	09/06/2016	740.50	08/16	300.5.05.8120.6503
Total HAWKINS INC (2198):				740.50		
HEMANN, PATRICA A (6018)						
3-09400-10	CREDIT BALANCE REFUND	08/30/2016	09/06/2016	3.83	09/16	001.1199
Total HEMANN, PATRICA A (6018):				3.83		
HOWARD R GREEN COMPANY (2290)						
106448	RO WTP/JORDAN WELL	08/10/2016	09/06/2016	41,766.13	08/16	310.5.05.8182.6727
Total HOWARD R GREEN COMPANY (2290):				41,766.13		
HY-VEE (2328)						
4301611826	ICE FOR STAFF - POOL	08/09/2016	09/06/2016	15.92	08/16	100.5.04.4301.6590
4302050554	ICE FOR STAFF - POOL	08/16/2016	09/06/2016	3.98	08/16	100.5.04.4310.6530
4302227991	ICE & POPSICLES FOR STAFF - POOL	08/19/2016	09/06/2016	9.98	08/16	100.5.04.4301.6590

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
4302237572	CONCESSION ITEMS - SPORTS PARK	08/19/2016	09/06/2016	24.46	08/16	100.5.09.4245.6530
4302793235	CONCESSION ITEMS - SPORTS PARK	08/28/2016	09/06/2016	1.79	08/16	100.5.09.4245.6530
4302810943	CONCESSION ITEMS - SPORTS PARK	08/28/2016	09/06/2016	8.98	08/16	100.5.09.4245.6530
Total HY-VEE (2328):				65.11		
IA ASSOC OF BUILDING OFFICIALS (2336)						
082916P&Z	P&Z TRAINING SEMINAR	08/29/2016	09/06/2016	100.00	08/16	100.5.05.5000.6230
Total IA ASSOC OF BUILDING OFFICIALS (2336):				100.00		
IA DEPT TRANSPORTATION (2361)						
35179	PAPER - PD	08/15/2016	09/06/2016	88.56	08/16	100.5.01.1030.6543
Total IA DEPT TRANSPORTATION (2361):				88.56		
IA DIVISION OF CRIMINAL INVEST (2363)						
#9-4096-F	REPLENISH FUNDS FOR BACKGROU	08/31/2016	09/06/2016	500.00	08/16	100.1650
Total IA DIVISION OF CRIMINAL INVEST (2363):				500.00		
IA DIVISION OF LABOR SERVICES (2364)						
150382 - 3	BOILER INSPECTION - POOL	06/24/2016	09/06/2016	240.00	08/16	100.5.04.4300.6416
Total IA DIVISION OF LABOR SERVICES (2364):				240.00		
IA MUNICIPALITIES WORKERS' (2382)						
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	1,453.00	08/16	115.5.05.2100.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	99.00	08/16	100.5.04.4100.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	833.00	08/16	300.5.05.8100.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	1,566.00	08/16	400.5.06.8925.9740
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	329.00	08/16	350.5.05.8300.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	669.00	08/16	100.5.02.1100.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	38.00	08/16	100.5.01.1000.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	467.00	08/16	100.5.01.1010.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	2,573.00	08/16	100.5.01.1030.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	82.00	08/16	100.5.01.1070.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	2.00	08/16	100.5.00.6000.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	64.00	08/16	100.5.00.6100.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	96.00	08/16	100.5.03.4000.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	470.00	08/16	100.5.04.4300.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	523.00	08/16	100.5.09.4200.6160
INV62439	WORK COMP PREMIUM	09/01/2016	09/06/2016	177.00	08/16	100.5.05.5000.6160
Total IA MUNICIPALITIES WORKERS' (2382):				9,441.00		
IA ONE CALL (2385)						
183359	LOCATES - EL	08/09/2016	09/06/2016	188.50	08/16	400.5.06.8588.9810
183923	LOCATES WTP	08/09/2016	09/06/2016	83.25	08/16	300.5.05.8100.6405
183923	LOCATES WWTP	08/09/2016	09/06/2016	83.25	08/16	350.5.05.8330.6405
Total IA ONE CALL (2385):				355.00		
IA PRISON INDUSTRIES (2392)						
941147	SIGNS	08/22/2016	09/06/2016	357.61	08/16	115.5.05.2100.6532
941154	SIGNS	08/24/2016	09/06/2016	858.50	08/16	115.5.05.2100.6532

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Total IA PRISON INDUSTRIES (2392):				1,216.11		
IA UTILITIES BOARD (2410)						
43141	2017 ANNUAL IUB ASSESSMENT	08/08/2016	09/06/2016	19,418.00	08/16	400.5.06.8930.9840
Total IA UTILITIES BOARD (2410):				19,418.00		
IDEAL READY MIX COMPANY (2429)						
484662	CONCRETE	07/30/2016	09/06/2016	780.51	08/16	300.5.05.8130.6399
485381	CONCRETE	08/06/2016	09/06/2016	390.25	08/16	310.5.05.8183.6790
485382	CONCRETE	08/06/2016	09/06/2016	1,032.75	08/16	310.5.05.8183.6790
485966	E 3RD PROJECT	08/13/2016	09/06/2016	2,015.50	08/16	215.5.05.2179.6761
486608	SAND-SHALLOW WELL	08/20/2016	09/06/2016	120.00	08/16	300.5.05.8110.6350
486610	CONCRETE	08/20/2016	09/06/2016	318.00	08/16	310.5.05.8183.6790
Total IDEAL READY MIX COMPANY (2429):				4,657.01		
IMPACT COMMUNITY ACTION PARTNERSHIP (5681)						
150150622	DEPOSIT REFUND - LAURIE D MIKITA	08/19/2016	09/06/2016	201.66	08/16	400.2210
Total IMPACT COMMUNITY ACTION PARTNERSHIP (5681):				201.66		
INT'L CODE COUNCIL (2462)						
1000719450	P&Z EDUCATIONAL MATERIAL	08/22/2016	09/06/2016	144.71	08/16	100.5.05.5000.6220
Total INT'L CODE COUNCIL (2462):				144.71		
IRBY (2483)						
S009646655.003	STREET LIGHT POLES - EL	08/15/2016	09/06/2016	26,577.60	08/16	410.5.06.8952.3670
S009692740.001	STREET LIGHT LED LUMINAIRES - EL	08/07/2016	09/06/2016	3,600.00	08/16	400.5.06.8585.9030
Total IRBY (2483):				30,177.60		
JANSEN, KENT M (5990)						
75-10600-01	CREDIT BALANCE REFUND	08/12/2016	09/06/2016	422.70	09/16	001.1199
Total JANSEN, KENT M (5990)				422.70		
JEFF ELLIS & ASSOCIATES INC. (2518)						
20078315	ELLIS FEE - POOL	09/01/2016	09/06/2016	934.58	09/16	100.5.04.4300.6416
Total JEFF ELLIS & ASSOCIATES INC. (2518):				934.58		
JIMMY JOHNS (2523)						
08292016	MEETING EXPENSE - HOUSEACC	08/29/2016	09/06/2016	105.64	08/16	100.5.00.6100.6240
08292016 - 2	MEETING EXPENSE - HOUSEACC	08/29/2016	09/06/2016	12.96	08/16	100.5.00.6100.6240
Total JIMMY JOHNS (2523):				118.60		
JOHN DEERE FINANCIAL (2528)						
2673496	SPRAYERS -WMP PLAYGROUND SEA	08/01/2016	09/06/2016	59.95	08/16	100.5.09.4200.6590
2674196	NUTS & BOLTS - PK	08/02/2016	09/06/2016	4.83	08/16	100.5.09.4200.6590
2678059	GEAR OIL FOR # 302 - PK	08/09/2016	09/06/2016	9.78	08/16	100.5.09.4200.6350
2679098	BLOCK FOR LIBRARY BENCH - PK	08/11/2016	09/06/2016	5.96	08/16	100.5.09.4200.6320
2679220	PAINT THINNER	08/11/2016	09/06/2016	17.98	08/16	115.5.05.2100.6330
2679702	TAPE/OIL DRY - PK	08/12/2016	09/06/2016	17.47	08/16	100.5.09.4200.6590
2679705	PATIO BLOCK - PK	08/12/2016	09/06/2016	5.96	08/16	100.5.09.4200.6590

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
2681852	GEAR OIL & ANTIFREEZE- PK	08/16/2016	09/06/2016	19.77	08/16	100.5.09.4200.6320
2681863	CLEANING GLOVES - CC	08/16/2016	09/06/2016	9.99	08/16	100.5.04.4100.6590
2681874	BUILDING MAINTENANCE	08/16/2016	09/06/2016	11.99	08/16	115.5.05.2100.6310
2682321	12 VOLT PUMP - MOLENGRACHT - PK	08/17/2016	09/06/2016	99.99	08/16	100.5.09.4200.6350
2685675	SHOP TOOL	08/23/2016	09/06/2016	1.29	08/16	115.5.05.2100.6510
2686316	DOGGIE DIP POOP BAGS - OUT POOL	08/24/2016	09/06/2016	2.99	08/16	100.5.04.4301.6590
2686633	BRUSH, WIPE - PK	08/25/2016	09/06/2016	7.98	08/16	100.5.09.4205.6310
2687109	OIL DRY, NUTS & BOLTS - PK	08/26/2016	09/06/2016	5.68	08/16	100.5.09.4200.6590
2687260	PAINT MIXER - PK	08/26/2016	09/06/2016	6.49	08/16	100.5.09.4200.6590
Total JOHN DEERE FINANCIAL (2528):				288.10		
KELLY SUPPLY CO (2579)						
8163801-0-1	PARTS- PW/TOOLS	07/26/2016	09/06/2016	86.91	08/16	115.5.05.2100.6510
8164108-0	ANNUNCIATOR - PP	08/08/2016	09/06/2016	57.22	08/16	400.5.06.8552.9020
8164134-0	PVC CEMENT	08/09/2016	09/06/2016	4.87	08/16	300.5.05.8120.6544
8164134-1	PVC	08/10/2016	09/06/2016	32.12	08/16	300.5.05.8120.6350
8164239-0	BALLAST - PD	08/16/2016	09/06/2016	17.25	08/16	100.5.01.1000.6310
8164293-0	FAN CONTROLS - PP	08/17/2016	09/06/2016	10.99	08/16	400.5.06.8552.9020
8164466-0	PVC & BUSHING	08/24/2016	09/06/2016	14.12	08/16	300.5.05.8120.6350
8164530-0	PVC LB CONDUIT BODY - EL	08/26/2016	09/06/2016	10.05	08/16	400.5.06.8588.9300
8164583-0	COPPER THHN WIRE - BLUE - EL	08/29/2016	09/06/2016	81.47	08/16	400.5.06.8586.9030
Total KELLY SUPPLY CO (2579):				315.00		
KEYSTONE LABORATORIES (2590)						
1Z06335	LAB TESTING	07/28/2016	09/06/2016	15.00	08/16	300.5.05.8100.6405
Total KEYSTONE LABORATORIES (2590):				15.00		
KLINGNER & ASSOC PC (5937)						
51533	SUNKEN GARDEN WINDMILL DESIGN	08/26/2016	09/06/2016	238.50	08/16	201.5.09.7223.6799
51533	PARKS PLANNING STUDY	08/26/2016	09/06/2016	5,481.57	08/16	201.5.09.7232.6795
Total KLINGNER & ASSOC PC (5937):				5,720.07		
KLK CONSTRUCTION (2621)						
16057	DISTRIBUTION BORES	08/11/2016	09/06/2016	3,300.00	08/16	310.5.05.8183.6790
Total KLK CONSTRUCTION (2621)				3,300.00		
KRIZ-DAVIS COMPANY (2667)						
S101378056.001	400 MCM CRIMPING DIE - EL	08/03/2016	09/06/2016	135.68	08/16	400.5.06.8588.9950
S101378056.003	400 MCM COPPER LUGS - EL	08/09/2016	09/06/2016	625.95	08/16	400.5.06.8584.9030
Total KRIZ-DAVIS COMPANY (2667):				761.63		
KUIPER, ARTHUR G (6011)						
1611580091	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total KUIPER, ARTHUR G (6011):				30.00		
LAMPERT LUMBER (2653)						
9114402	DRAIN TILE & TAPE	07/29/2016	09/06/2016	14.37	08/16	300.5.05.8130.6399
9114806	REROD & NAILS	08/05/2016	09/06/2016	57.89	08/16	300.5.05.8130.6399
9115033	E. 3RD PROJECT/ STORM	08/09/2016	09/06/2016	78.98	08/16	115.5.05.2120.6548
9115519	REROD & LUMBER	08/18/2016	09/06/2016	59.88	08/16	300.5.05.8130.6399
9115815	SHOP SUPPLIES	08/23/2016	09/06/2016	5.99	08/16	115.5.05.2100.6330

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Total LAMPERT LUMBER (2653):				217.11		
LANSER & SONS LTD,JOHN W (2713)						
1610580003	EE REBATE - QUALITY INSTALL (STA	08/30/2016	09/06/2016	100.00	08/16	400.2215
Total LANSER & SONS LTD,JOHN W (2713):				100.00		
LARSON, MARK (6014)						
1611580094	EE REBATE - AC TUNE-UP - EL	08/30/2016	09/06/2016	30.00	08/16	400.2215
Total LARSON, MARK (6014):				30.00		
LINCOLN NATIONAL (2752)						
3296308703	LIFE & LTD INSURANCE PREMIUM	08/10/2016	09/06/2016	486.00	09/16	191.5.08.9200.6154
3296308703	LIFE & LTD INSURANCE PREMIUM	08/10/2016	09/06/2016	86.14	09/16	191.5.08.9200.6154
3296308703	LIFE & LTD INSURANCE PREMIUM	08/10/2016	09/06/2016	81.00	09/16	191.5.08.9200.6154
3296308703	LIFE & LTD INSURANCE PREMIUM	08/10/2016	09/06/2016	1,281.92	09/16	191.5.08.9200.6155
Total LINCOLN NATIONAL (2752):				1,935.06		
LISCO (2761)						
1646707	RDSL - POLICE	08/05/2016	09/06/2016	51.00	08/16	100.5.01.1040.6373
1649276	RDSL - POLICE	08/05/2016	09/06/2016	5.00	08/16	100.5.01.1040.6373
Total LISCO (2761):				56.00		
LOGAN CONTRACTORS SUPPLY (2769)						
L35939	STREET SUPPLIES	08/17/2016	09/06/2016	175.35	08/16	115.5.05.2100.6545
L36044	STREET SUPPLIES	08/17/2016	09/06/2016	461.00	08/16	115.5.05.2100.6545
Total LOGAN CONTRACTORS SUPPLY (2769):				636.35		
MAHASKA BOTTLING/PEPSI-COLA (2803)						
0122314 A	CONCESSION POP RETURN - SPORT	08/03/2016	09/06/2016	255.20	08/16	100.5.04.4310.6530
1005085 - A	CONCESSION POP - POOL	07/27/2016	09/06/2016	165.40	08/16	100.4.04.4310.4760
1006473	CONCESSION POP - POOL	08/10/2016	09/06/2016	160.50	08/16	100.5.04.4310.6530
1007147	CONCESSION ITEMS - SPORTS PARK	08/17/2016	09/06/2016	457.20	08/16	100.5.09.4245.6530
Total MAHASKA BOTTLING/PEPSI-COLA (2803):				527.90		
MAHASKA COUNTY TREASURER (2804)						
EXC.TAX2016/17	EXCISE TAX - MAHASKA COUNTY - EL	08/01/2016	09/06/2016	111.00	08/16	400.5.06.8930.9940
Total MAHASKA COUNTY TREASURER (2804):				111.00		
MAILFINANCE INC (5552)						
N6098523	MAIL MACHINE LEASE	08/25/2016	09/06/2016	213.33	08/16	100.5.00.6100.6418
Total MAILFINANCE INC (5552):				213.33		
MALONE, HEATHER N (5218)						
081816PD	MEAL - PD	08/18/2016	09/06/2016	9.00	08/16	100.5.01.1010.6260
Total MALONE, HEATHER N (5218):				9.00		
MARION CTY TREASURER (2835)						
09012016	MARION COUNTY LOST RECON.	09/01/2016	09/06/2016	11,706.00	09/16	116.5.08.6420.6416

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
09012016	MARION COUNTY LOST RECON.	09/01/2016	09/06/2016	11,706.00-	09/16	116.5.08.6420.6416
15701	BROOK CIRCLE PROPERTY TAX	09/01/2016	09/06/2016	52.00	09/16	100.5.08.6400.6500
15703	BROOK CIRCLE PROPERTY TAX	09/01/2016	09/06/2016	184.00	09/16	100.5.08.6400.6500
17272	COUNTRY CLUB PROPERTY TAX	09/01/2016	09/06/2016	2,430.00	09/16	100.5.08.6400.6500
EXC.TAX2016/17	EXCISE TAX - MARION COUNTY - EL	08/01/2016	09/06/2016	13,399.00	08/16	400.5.06.8930.9940
Total MARION CTY TREASURER (2835):				16,065.00		
MARTIN MARIETTA MATERIALS (2842)						
18255137	ROCK - SOCCER COMPLEX	07/28/2016	09/06/2016	698.58	08/16	100.5.09.4205.6549
18350217	E 3RD STREET PROJECT	08/08/2016	09/06/2016	272.60	08/16	215.5.05.2179.6761
18382046	E 3RD/ WASHINGTON STORM	08/11/2016	09/06/2016	365.05	08/16	215.5.05.2179.6761
18417391	E 3RD/ WASHINGTON STORM	08/15/2016	09/06/2016	432.75	08/16	215.5.05.2179.6761
Total MARTIN MARIETTA MATERIALS (2842):				1,768.98		
MC CLEARY, ALAN OR MORGAN (5991)						
33-09802-18	DEPOSIT REFUND	08/11/2016	09/06/2016	29.64	08/16	400.2210
Total MC CLEARY, ALAN OR MORGAN (5991):				29.64		
MEDIACOM (5331)						
081416PW	INTERNET-PW	08/14/2016	09/06/2016	135.90	08/16	100.5.05.6500.6373
Total MEDIACOM (5331):				135.90		
MENNINGA PEST CONTROL (2913)						
46602	BAT EXCLUSION - CH	08/25/2016	09/06/2016	475.00	08/16	100.5.00.6100.6310
49187	PEST CONTROL - CC	08/12/2016	09/06/2016	92.00	08/16	100.5.00.6100.6310
49270	PEST CONTROL - CH	08/15/2016	09/06/2016	32.50	08/16	100.5.00.6100.6310
49310	PEST CONTROL - PP	08/17/2016	09/06/2016	59.92	08/16	400.5.06.8549.9020
49317	PEST CONTROL - SOCCER COMPLEX	08/17/2016	09/06/2016	30.50	08/16	100.5.09.4205.6310
Total MENNINGA PEST CONTROL (2913):				689.92		
METERING & TECHNOLOGY SOLUTIONS (4934)						
6937	WATER METERS	08/02/2016	09/06/2016	2,446.83	08/16	300.5.05.8140.6350
7069	WATER METERS	08/19/2016	09/06/2016	2,452.29	08/16	300.5.05.8140.6350
Total METERING & TECHNOLOGY SOLUTIONS (4934):				4,899.12		
MIDTOWN TIRE COMPANY (2961)						
159830	TIRE REPAIR - PK	05/10/2016	09/06/2016	29.00	08/16	100.5.09.4200.6350
160828	TIRES ON TRUCK E7 - EL	06/13/2016	09/06/2016	2,240.00	08/16	400.5.06.8588.9660
161618	FORK LIFT TIRE REPAIR - EL	07/05/2016	09/06/2016	49.00	08/16	400.5.06.8588.9660
162786	ST-15	08/19/2016	09/06/2016	956.00	08/16	115.5.05.2100.6350
162829	TIRE REPAIR - PK	08/22/2016	09/06/2016	22.00	08/16	100.5.09.4200.6350
162912	BATTERIES	08/24/2016	09/06/2016	294.00	08/16	350.5.05.8300.6330
162930	VEHICLE EXPENSE - PD	08/24/2016	09/06/2016	654.72	08/16	100.5.01.1030.6330
162983	TIRE REPAIR - PK	08/24/2016	09/06/2016	18.00	08/16	100.5.09.4200.6350
57765A	TIME CARDS	08/15/2016	09/06/2016	52.50	08/16	100.5.05.6500.6417
57765A-REV	TIME CARDS	08/15/2016	09/06/2016	52.50-	09/16	100.5.05.6500.6417
Total MIDTOWN TIRE COMPANY (2961):				4,262.72		
MIDWEST AUTOMATED TIME SYSTEM (2964)						
57765A	TIME CARDS	08/15/2016	09/06/2016	52.50	09/16	100.5.05.6500.6417

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Total MIDWEST AUTOMATED TIME SYSTEM (2964):				52.50		
MIDWEST SANITATION (2981)						
45293	GARBAGE/RECYCLE	07/31/2016	09/06/2016	10.00	08/16	115.5.05.2100.6372
Total MIDWEST SANITATION (2981)				10.00		
MILLER, ALICE (6008)						
1611580088	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total MILLER, ALICE (6008):				30.00		
MIRANDA, JAIME (5996)						
45-13001-07	DEPOSIT REFUND	08/23/2016	09/06/2016	16.68	08/16	400.2210
Total MIRANDA, JAIME (5996):				16.68		
MISSOURI RIVER ENERGY SERVICES (3001)						
082716	PURCHASED POWER	08/27/2016	08/27/2016	1,551,292.16	08/16	400.5.06.8555.9500
082716	TRANSMISSION	08/27/2016	08/27/2016	144,718.64	08/16	400.5.06.8565.9520
Total MISSOURI RIVER ENERGY SERVICES (3001):				1,696,010.80		
MOTION INDUSTRIES INC (3035)						
IA09-472242	VARI-DRIVE BELTS	08/30/2016	09/06/2016	612.36	08/16	350.5.05.8300.6350
IA09-472242	SHIPPING	08/30/2016	09/06/2016	34.12	08/16	350.5.05.8300.6531
Total MOTION INDUSTRIES INC (3035):				646.48		
MTI DISTRIBUTION INC (3042)						
1081991-00	TORO 4000 REPAIR - PK	08/05/2016	09/06/2016	180.00	08/16	100.5.09.4245.6350
1082908-00	TORO 4000 IGNITION SWITCH - PK	08/05/2016	09/06/2016	82.41	08/16	100.5.09.4245.6350
1083966-00	MOWER BELT COVER #310 - PK	08/12/2016	09/06/2016	62.51	08/16	100.5.09.4200.6350
Total MTI DISTRIBUTION INC (3042):				324.92		
MUNICIPAL SUPPLY INC (3052)						
0630904-IN	10" COUPLINGS	08/09/2016	09/06/2016	740.00	08/16	300.5.05.8130.6399
0631516-IN	REPAIR CLAMPS	08/12/2016	09/06/2016	899.90	08/16	300.5.05.8130.6398
0631517-IN	CORPORATION STOPS	08/12/2016	09/06/2016	143.40	08/16	300.5.05.8130.6399
0631671-IN	WATER MAIN	08/15/2016	09/06/2016	1,540.00	08/16	300.5.05.8130.6399
0632312-IN	CBD	08/19/2016	09/06/2016	2,850.00	08/16	201.5.05.7116.6790
Total MUNICIPAL SUPPLY INC (3052):				6,173.30		
MURPHY TRACTOR & EQUIPMENT CO (3056)						
575303	BACKHOE HOSES & FITTINGS	08/04/2016	09/06/2016	121.53	08/16	300.5.05.8130.6350
575303	BACKHOE HOSES & FITTINGS	08/04/2016	09/06/2016	121.52	08/16	350.5.05.8330.6350
Total MURPHY TRACTOR & EQUIPMENT CO (3056)				243.05		
N C L OF WISCONSIN INC (3063)						
377466	LAB SUPPLIES-WWTP	08/19/2016	09/06/2016	139.33	08/16	350.5.05.8300.6547
Total N C L OF WISCONSIN INC (3063):				139.33		

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NALCO (3070)						
64636375	CHEMICALS - PP	08/12/2016	09/06/2016	1,348.66	08/16	400.5.06.8548.9030
Total NALCO (3070):				<u>1,348.66</u>		
NARDINI, MIKE (3074)						
08152016	MILEAGE REIMBURSEMENT FOR IAM	08/15/2016	09/06/2016	203.04	08/16	100.5.00.6100.6240
Total NARDINI, MIKE (3074):				<u>203.04</u>		
NEOPOST USA INC (5553)						
N6098524	NEOPOST MAILING LEASE	08/25/2016	09/06/2016	482.85	08/16	100.5.00.6100.6418
N6098524	NEOPOST MAILING LEASE	08/25/2016	09/06/2016	482.85	08/16	195.5.05.8400.6531
N6098524	NEOPOST MAILING LEASE	08/25/2016	09/06/2016	482.85	08/16	300.5.05.8100.6531
N6098524	NEOPOST MAILING LEASE	08/25/2016	09/06/2016	482.85	08/16	350.5.05.8310.6531
N6098524	NEOPOST MAILING LEASE	08/25/2016	09/06/2016	482.85	08/16	400.5.06.8921.9020
Total NEOPOST USA INC (5553):				<u>2,414.25</u>		
NORRIS ASPHALT PAVING (3134)						
100573	ASPHALT-WTP	08/06/2016	09/06/2016	1,058.20	08/16	300.5.05.8130.6398
100573	ASPHALT-PWS	08/06/2016	09/06/2016	710.40	08/16	115.5.05.2100.6549
Total NORRIS ASPHALT PAVING (3134):				<u>1,768.60</u>		
OATI (OPEN ACCESS TECH INTER) (3170)						
122835	TAGGING - EL	09/01/2016	09/06/2016	481.70	08/16	400.5.06.8565.9520
Total OATI (OPEN ACCESS TECH INTER) (3170):				<u>481.70</u>		
O'BRIEN, PATRICK (5258)						
1611580086	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total O'BRIEN, PATRICK (5258):				<u>30.00</u>		
O'BRIEN, SARA (6005)						
1611580082	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total O'BRIEN, SARA (6005):				<u>30.00</u>		
OSKALOOSA HERALD (3200)						
073116PW	VERMEER ROAD UTILITY PROJECT	07/31/2016	09/06/2016	13.09	08/16	310.5.05.8154.6790
073116PZ	LEGAL ADVERTISEMENTS	07/31/2016	09/06/2016	41.87	08/16	100.5.05.5000.6414
93 - 2016	LEGAL PUBLICATIONS	07/31/2016	09/06/2016	488.70	08/16	100.5.00.6000.6414
Total OSKALOOSA HERALD (3200):				<u>543.66</u>		
PACE SUPPLY (3218)						
10006003	FIELD LAZER PARTS - PK	08/03/2016	09/06/2016	460.85	08/16	201.5.09.7218.6727
10006004	FIELD LAZER PARTS - PK	08/03/2016	09/06/2016	151.45	08/16	201.5.09.7218.6727
1006144	FIELD PAINT - SPORTS PARK	08/17/2016	09/06/2016	298.94	08/16	100.5.09.4245.6552
Total PACE SUPPLY (3218):				<u>911.24</u>		
PARTSMASER (4615)						
23051792	SHOP TOOLS - PK	08/08/2016	09/06/2016	482.19	08/16	100.5.09.4200.6510

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Total PARTSMaster (4615)				482.19		
PELLA CHAMBER OF COMMERCE (3258)						
08192016	PELLA BUCKS FOR EMPLOYEE RECO	08/19/2016	09/06/2016	150.00	08/16	100.5.00.6320.6412
Total PELLA CHAMBER OF COMMERCE (3258):				150.00		
PELLA COOP ELECTRIC ASSN (3268)						
073116AIR	ELECTRIC-AIRPORT	07/31/2016	09/06/2016	977.04	08/16	100.5.05.2200.6370
Total PELLA COOP ELECTRIC ASSN (3268):				977.04		
PELLA ENGRAVING CO (3272)						
141289	MEMORIAL PLAQUE - GARDEN CLUB	08/26/2016	09/06/2016	85.06	08/16	176.5.09.4230.6560
Total PELLA ENGRAVING CO (3272):				85.06		
PELLA GLASS/HOME IMP (3275)						
89486	PAINT AND BRUSH - PD	06/13/2016	09/06/2016	59.55	08/16	100.5.01.1000.6310
89793	PAINT - PK	07/11/2016	09/06/2016	100.48	08/16	100.5.09.4200.6552
89799	WMP PLAYGROUND SEALANT - PK	07/12/2016	09/06/2016	1,799.60	08/16	100.5.09.4200.6320
89975	PAINT - PK	07/26/2016	09/06/2016	92.56	08/16	100.5.09.4200.6552
Total PELLA GLASS/HOME IMP (3275):				2,052.19		
PELLA PRINTING CO (3292)						
50001	DOOR HANGERS	07/07/2016	09/06/2016	241.00	08/16	350.5.05.8330.6499
Total PELLA PRINTING CO (3292)				241.00		
PETTY CASH (3318)						
082916PD	DRIVERS LICENSE REPLACEMENT -	08/29/2016	09/06/2016	10.00	08/16	100.5.01.1030.6417
082916PD	RMS VISIT PASTRIES - PD	08/29/2016	09/06/2016	30.00	08/16	100.5.01.1050.6240
Total PETTY CASH (3318):				40.00		
PLUMB SUPPLY COMPANY (3357)						
4030958	6" PVC PIPE FOR PICKUP STICK BOX	08/19/2016	09/06/2016	65.00	09/16	400.5.06.8588.9660
Total PLUMB SUPPLY COMPANY (3357):				65.00		
POMMER, MARY (3363)						
08312016	EMPLOYEE RECONGNITION EXPENS	08/31/2016	09/06/2016	206.51	08/16	100.5.00.6320.6412
Total POMMER, MARY (3363):				206.51		
POSITIVE PROMOTIONS INC (3370)						
05558601	STICKERS FOR FIRE PREVENTION W	08/15/2016	09/06/2016	165.80	08/16	100.5.02.1100.6230
Total POSITIVE PROMOTIONS INC (3370):				165.80		
POST OFFICE (3371)						
082416	MAIL 12 DAY NOTICES	08/24/2016	08/24/2016	56.27	08/16	300.5.05.8100.6531
082416	MAIL 12 DAY NOTICES	08/24/2016	08/24/2016	50.64	08/16	195.5.05.8400.6531
082416	MAIL 12 DAY NOTICES	08/24/2016	08/24/2016	50.64	08/16	350.5.05.8310.6531
082416	MAIL 12 DAY NOTICES	08/24/2016	08/24/2016	67.51	08/16	400.5.06.8921.9020
083116	MAILING UTILITY BILLS	08/31/2016	08/31/2016	1,633.25	08/16	100.5.00.6310.6531

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Total POST OFFICE (3371):				1,858.31		
POWER LINE SUPPLY COMPANY (5705)						
56059487	FR SAFETY CLOTHING - EL	08/15/2016	09/06/2016	999.38	08/16	400.5.06.8588.9720
56064683	SAFETY APPAREL - PP	08/29/2016	09/06/2016	136.43	08/16	400.5.06.8549.9020
Total POWER LINE SUPPLY COMPANY (5705):				1,135.81		
PRAETORIAN GROUP INC (5468)						
010132-9424	TRAINING - PD	08/15/2016	09/06/2016	1,736.00	08/16	100.5.01.1030.6230
Total PRAETORIAN GROUP INC (5468):				1,736.00		
PRAXAIR DISTRIBUTION INC (3385)						
73928363	CYLINDER RENTAL - EL	07/31/2016	09/06/2016	46.93	08/16	400.5.06.8588.9950
Total PRAXAIR DISTRIBUTION INC (3385)				46.93		
PREMIER STORAGE (4505)						
1253	TULIP FLOAT SHED RENTAL	08/16/2016	09/06/2016	1,575.00	08/16	100.5.09.4200.6418
1254	TULIP FLOAT SUPPLIES - SHED RENT	08/16/2016	09/06/2016	810.00	08/16	100.5.09.4200.6418
Total PREMIER STORAGE (4505):				2,385.00		
QUILL CORPORATION (3420)						
8070936	OFFICE SUPPLIES-PW	08/08/2016	09/06/2016	99.99	08/16	100.5.05.6500.6543
8070936	OFFICE SUPPLIES-PZ	08/08/2016	09/06/2016	37.83	08/16	100.5.05.5000.6543
8144337	DVD LABELS AND LAMINATING POU	08/10/2016	09/06/2016	64.76	08/16	100.5.01.1010.6543
8436182	OFFICE SUPPLIES-PW	08/19/2016	09/06/2016	78.02	08/16	100.5.05.6500.6543
8475233	OFFICE SUPPLIES - EL	08/22/2016	09/06/2016	25.24	08/16	400.5.06.8588.9920
8489254	TONER - EL	08/22/2016	09/06/2016	161.91	08/16	400.5.06.8588.9920
8562650	OFFICE SUPPLIES-PW	08/24/2016	09/06/2016	27.27	08/16	100.5.05.6500.6543
Total QUILL CORPORATION (3420):				495.02		
R J ENTERPRISES (5069)						
081016WTP	BACKFLOW DEVICE TESTING	08/10/2016	09/06/2016	80.00	08/16	300.5.05.8100.6405
Total R J ENTERPRISES (5069):				80.00		
RACOM CORPORATION (3429)						
5B119763	MIC FOR PAGER - FD	08/12/2016	09/06/2016	64.50	08/16	100.5.02.1100.6510
5B119785	PORTABLE BATTERY - PD	08/12/2016	09/06/2016	67.00	09/16	100.5.01.1030.6544
5B119997	MIC FOR RADIO - FD	08/26/2016	09/06/2016	78.00	08/16	100.5.02.1100.6510
Total RACOM CORPORATION (3429):				209.50		
RESCO (3480)						
652008-00	WORK GLOVES - EL	08/08/2016	09/06/2016	564.47	08/16	400.5.06.8588.9720
652010-00	400 MCM COPPER LUGS - EL	08/11/2016	09/06/2016	513.60	08/16	400.5.06.8584.9030
652233-00	700 MCM ALUMINUM LUGS - EL	08/16/2016	09/06/2016	1,071.07	08/16	400.5.06.8584.9030
654093-00	STREET LIGHT MATERIALS - EL	08/22/2016	09/06/2016	722.25	08/16	400.5.06.8585.9030
654093-00	UNDERGROUND MATERIALS - EL	08/22/2016	09/06/2016	976.91	08/16	400.5.06.8584.9030
654096-00	MEDIUM VOLTAGE 200A ELBOWS - E	08/22/2016	09/06/2016	770.40	08/16	400.5.06.8584.9030
Total RESCO (3480):				4,618.70		

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RMJ ENTERPRISES LLC (5752)						
6-02601-04	DEPOSIT REFUND	08/18/2016	09/06/2016	570.22	08/16	400.2210
Total RMJ ENTERPRISES LLC (5752):				570.22		
ROOSE, WILFORD (6015)						
1611580095	EE REBATE - AC TUNE- UP (807 W 5T	08/30/2016	09/06/2016	30.00	08/16	400.2215
1611580096	EE REBATE - AC TUNE- UP (114 E 12T	08/30/2016	09/06/2016	30.00	08/16	400.2215
Total ROOSE, WILFORD (6015):				60.00		
ROZENDAAL DRAIN CLEANING INC (3560)						
12119	WASHINGTON ST PROJECT	08/06/2016	09/06/2016	300.00	08/16	215.5.05.2179.6761
Total ROZENDAAL DRAIN CLEANING INC (3560):				300.00		
RSM US LLP (5657)						
P-4897745-226	MONITOR ADAPTERS - PD	08/10/2016	09/06/2016	199.00	08/16	100.5.01.1010.6373
Total RSM US LLP (5657):				199.00		
SAMPLE, SHELLY (5233)						
081016PD	MEAL - PD	08/10/2016	09/06/2016	9.00	09/16	100.5.01.1010.6260
Total SAMPLE, SHELLY (5233):				9.00		
SCHURING, TARA G (6019)						
51-18022-11	CREDIT BALANCE REFUND	08/30/2016	09/06/2016	13.17	09/16	001 1199
Total SCHURING, TARA G (6019):				13.17		
SCHWERDTFEGER, DAN (3645)						
30319962	SAFETY FOOTWEAR - DAN S. - EL	07/25/2016	09/06/2016	140.74	08/16	400.5.06.8588.9720
Total SCHWERDTFEGER, DAN (3645):				140.74		
SISCO (3718)						
083016	FLEX SPENDING CLAIMS	08/30/2016	08/30/2016	98.91	08/16	191.5.08.9200.6157
179555	FIXED INSURANCE COSTS	08/18/2016	08/18/2016	165.75	08/16	191.5.08.9200.6157
179555	FIXED INSURANCE COSTS	08/18/2016	08/18/2016	55,630.68	08/16	191.5.08.9200.6152
179555	FIXED INSURANCE COSTS	08/18/2016	08/18/2016	699.72	08/16	191.5.08.9200.6196
179555	FIXED INSURANCE COSTS	08/18/2016	08/18/2016	1,500.00	08/16	191.5.08.9200.6196
179555	FIXED INSURANCE COSTS	08/18/2016	08/18/2016	1.67	08/16	191.5.08.9200.6196
2213-081616-F	FLEX SPENDING CLAIMS	08/16/2016	08/17/2016	581.20	08/16	191.5.08.9200.6157
2213-081616-M	MEDICAL CLAIMS	08/16/2016	08/17/2016	7,964.99	08/16	191.5.08.9200.6153
2213-082316-F	FLEX SPENDING CLAIMS	08/23/2016	08/23/2016	201.41	08/16	191.5.08.9200.6157
2213-082316-M	MEDICAL CLAIMS	08/23/2016	08/23/2016	3,661.06	08/16	191.5.08.9200.6153
2213-083016-M	MEDICAL CLAIMS	08/30/2016	08/30/2016	1,032.33	08/16	191.5.08.9200.6153
Total SISCO (3718):				71,537.72		
SKARSHAUG TESTING LABS (3720)						
211477	TEST EQUIPMENT - EL	08/25/2016	09/06/2016	728.59	08/16	400.5.06.8588.9720
Total SKARSHAUG TESTING LABS (3720):				728.59		
SNACK EXPRESS (5397)						
1253	CONCESSION ITEMS - SPORTS PARK	08/18/2016	09/06/2016	628.60	08/16	100.5.09.4245.6530

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Total SNACK EXPRESS (5397):				628.60		
SNYDER & ASSOCIATES INC (3748)						
115.0932.01-3	GENERAL ENGINEERING- PZ	08/16/2016	09/06/2016	455.00	08/16	100.5.05.5000.6403
116-0024.01-4	GENERAL ENGINEERING	08/16/2016	09/06/2016	1,662.00	08/16	100.5.05.6500.6405
Total SNYDER & ASSOCIATES INC (3748):				2,117.00		
SNYDER, JIM (6009)						
1611580089	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total SNYDER, JIM (6009):				30.00		
SPORTS PAGE TEAM (3777)						
1673	UNIFORM EXPENSE - PW	08/18/2016	09/06/2016	7.85	08/16	115.5.05.2100.6413
2621	445 SOCCER SHIRTS	08/19/2016	09/06/2016	2,704.00	08/16	100.5.04.4443.6530
2736	160 FOOTBALL SHIRTS	08/19/2016	09/06/2016	2,048.00	08/16	100.5.04.4446.6530
2930	24 SOCCER SHIRTS	08/19/2016	09/06/2016	144.00	08/16	100.5.04.4443.6530
2931	12 FOOTBALL SHIRTS	08/29/2016	09/06/2016	157.50	08/16	100.5.04.4446.6530
3057	12 SOCCER SHIRTS	08/29/2016	09/06/2016	72.00	08/16	100.5.04.4443.6530
3058	14 FOOTBALL SHIRTS	08/29/2016	09/06/2016	191.00	08/16	100.5.04.4446.6530
Total SPORTS PAGE TEAM (3777):				5,324.35		
SPX TRANSFORMER SOLUTIONS, INC (3785)						
040706	TRANSM-PT/CT BOX HEATERS	08/06/2016	09/06/2016	821.27	09/16	410.5.06.8955.3900
Total SPX TRANSFORMER SOLUTIONS, INC (3785):				821.27		
STEENHOEK, CORINNE (6004)						
1611580081	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total STEENHOEK, CORINNE (6004):				30.00		
STRAVERS TRUE VALUE (3838)						
10068271	LITHIUM BATTERIES - PD	08/28/2016	09/06/2016	27.98	09/16	100.5.01.1030.6544
A233632	TOILET BOWL CLEANER - PK	08/05/2016	09/06/2016	32.50	08/16	100.5.09.4200.6553
A234003	FLOOR STRIPPER/CLEANSER - POOL	08/12/2016	09/06/2016	23.75	08/16	100.5.04.4300.6590
A234199	CREDIT MEMO - DOOR CHIME - PD	08/16/2016	09/06/2016	61.98	09/16	100.5.01.1000.6310
A234524	SHOP VAC FILTERS	08/23/2016	09/06/2016	31.98	08/16	350.5.05.8300.6510
A234705	MISC SUPPLIES	08/26/2016	09/06/2016	12.45	08/16	350.5.05.8310.6544
E57780	MURIATIC ACID - POOL	08/11/2016	09/06/2016	19.98	08/16	100.5.04.4300.6590
E57789	SHOP SUPPLIES	08/11/2016	09/06/2016	3.49	08/16	115.5.05.2100.6330
E57875	DOOR CHIME - PD	08/15/2016	09/06/2016	61.98	09/16	100.5.01.1000.6310
E58012	BATTERIES - MOLENGRACHT PARKIN	08/23/2016	09/06/2016	24.99	08/16	100.5.09.4250.6320
Total STRAVERS TRUE VALUE (3838):				177.12		
STROBEL, KEGAN (4844)						
081016WTP	EDUCATION REIMBURSEMENT	08/10/2016	09/06/2016	113.00	08/16	300.5.05.8100.6250
Total STROBEL, KEGAN (4844):				113.00		
STUYVESANT & BENTON (3860)						
12165-S	LEGAL EXPENSE	08/09/2016	08/18/2016	911.67	08/16	100.5.00.6100.6430

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Total STUYVESANT & BENTON (3860):				911.67		
SUMMIT COMPANIES (5585)						
1141603	MONTHLY INSPECTION - EL	08/25/2016	09/06/2016	55.00	08/16	400.5.06.8588.9300
1228954	EXTINGUISHER MAINTENANCE	08/25/2016	09/06/2016	75.50	08/16	100.5.00.6100.6310
1237800	FILL EXTINGUISHER - FD	08/25/2016	09/06/2016	49.50	08/16	100.5.02.1100.6510
Total SUMMIT COMPANIES (5585):				180.00		
SUNNY SLOPE GREENHOUSE (3871)						
SUN1454	SOIL MIX - PK	08/12/2016	09/06/2016	32.00	08/16	100.5.09.4200.6560
Total SUNNY SLOPE GREENHOUSE (3871):				32.00		
TACTICAL SOLUTIONS (5910)						
5743	FIREARM INSTRUCTOR CARRIERS - P	08/15/2016	09/06/2016	323.66	09/16	100.5.01.1030.6510
Total TACTICAL SOLUTIONS (5910):				323.66		
TERRY-DURIN CO (3928)						
334064	480V PANELBOARD, BREAKERS - EL	08/16/2016	09/06/2016	1,241.20	08/16	400.5.06.8588.9300
Total TERRY-DURIN CO (3928):				1,241.20		
THE BIGWORD INC (4614)						
INV545741	INVESTIGATION - INTERPRETER - PD	07/31/2016	09/06/2016	2.98	09/16	100.5.01.1040.6434
Total THE BIGWORD INC (4614):				2.98		
THE QUILTED WINDMILL (6002)						
1614580006	EE REBATE - LIGHT. RETROFIT - EL	08/16/2016	09/06/2016	240.00	08/16	400.2215
1614580007	EE REBATE - LIGHT. RETROFIT - EL	08/30/2016	09/06/2016	120.00	08/16	400.2215
Total THE QUILTED WINDMILL (6002):				360.00		
TITAN MACHINERY (3959)						
675766-CL	ST-10	08/23/2016	09/06/2016	647.11	08/16	115.5.05.2100.6350
8133988GP	AIR GUN	08/10/2016	09/06/2016	22.00	08/16	350.5.05.8300.6510
Total TITAN MACHINERY (3959):				669.11		
TONY'S AUTO PARTS (3968)						
5797-222695	FUNNEL & GLOVES - PK	08/02/2016	09/06/2016	25.43	08/16	100.5.09.4245.6310
5797-222813	BRAKE PADS	08/03/2016	09/06/2016	69.99	08/16	300.5.05.8130.6330
5797-222881	MOTOR OIL - PK	08/04/2016	09/06/2016	29.88	08/16	100.5.09.4200.6350
5797-222900	FLOOR MATS	08/04/2016	09/06/2016	25.99	08/16	300.5.05.8130.6330
5797-223126	SHOP SUPPLIES	08/09/2016	09/06/2016	58.86	08/16	115.5.05.2100.6330
5797-223236	OIL & FILTER - PK	08/10/2016	09/06/2016	48.90	08/16	100.5.09.4200.6350
5797-223269	MOTOR OIL - PK	08/10/2016	09/06/2016	29.22	08/16	100.5.09.4200.6350
5797-223303	SPARK PLUGS & OIL - PK	08/11/2016	09/06/2016	14.76	08/16	100.5.09.4200.6350
5797-223395	TRACTOR OIL - TRACTOR 2720 - PK	08/12/2016	09/06/2016	13.99	08/16	100.5.09.4200.6350
5797-223733	TRACTOR OIL - PK	08/17/2016	09/06/2016	27.98	08/16	100.5.09.4200.6350
5797-224144	OIL FILTERS	08/23/2016	09/06/2016	18.46	08/16	350.5.05.8300.6350
5797-224155	PPE	08/23/2016	09/06/2016	23.70	08/16	115.5.05.2100.6546
5797-224155	SHOP SUPPLIES	08/23/2016	09/06/2016	15.59	08/16	115.5.05.2100.6330
5797-224275	ST-23	08/24/2016	09/06/2016	3.56	08/16	115.5.05.2100.6350
5797-224282	MOWER HYDRAULIC FULID - PK	08/24/2016	09/06/2016	42.99	08/16	100.5.09.4205.6350

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Total TONY'S AUTO PARTS (3968):				449.30		
TRANS-IOWA EQUIPMENT INC (3988)						
P00271	ST-22 PARTS	08/05/2016	09/06/2016	264.58	08/16	115.5.05.2100.6350
W00018	ST-22	08/19/2016	09/06/2016	721.18	08/16	115.5.05.2100.6350
Total TRANS-IOWA EQUIPMENT INC (3988):				985.76		
TREASURER STATE OF IOWA (3992)						
08-05-16	STATE SALES TAX 2ND HALF OF JUL	08/05/2016	08/17/2016	28,456.41	08/16	400.2140
08-05-16	STATE SALES TAX 2ND HALF OF JUL	08/05/2016	08/17/2016	12,692.01	08/16	400.2141
08-05-16	STATE SALES TAX 2ND HALF OF JUL	08/05/2016	08/17/2016	2,201.16	08/16	400.2140
08-05-16	STATE SALES TAX 2ND HALF OF JUL	08/05/2016	08/17/2016	366.89	08/16	400.2141
08-05-16	STATE SALES TAX 2ND HALF OF JUL	08/05/2016	08/17/2016	.53	08/16	400.5.06.8930.9940
Total TREASURER STATE OF IOWA (3992):				43,717.00		
TUCKER TRUCKING, ALAN (4009)						
11552	ROCK HAULING	08/21/2016	09/06/2016	104.56	08/16	300.5.05.8130.6399
11552	ROCK HAULING	08/21/2016	09/06/2016	104.55	08/16	350.5.05.8330.6499
Total TUCKER TRUCKING, ALAN (4009)				209.11		
TWO RIVERS COOPERATIVE (4019)						
34834	DIESEL FUEL - GENERATOR - PD	08/29/2016	09/06/2016	47.44	09/16	100.5.01.1000.6514
Total TWO RIVERS COOPERATIVE (4019):				47.44		
US BANK HOME MORTGAGE (5992)						
27-06400-08	DEPOSIT REFUND	08/11/2016	09/06/2016	200.57	08/16	400.2210
Total US BANK HOME MORTGAGE (5992):				200.57		
US CELLULAR (4047)						
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	54.62	08/16	400.5.06.8588.9920
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	10.14	08/16	400.5.06.8549.9020
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	64.87	08/16	100.5.05.6500.6373
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	34.13	08/16	300.5.05.8100.6373
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	46.91	08/16	400.5.06.8584.9030
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	23.45	08/16	350.5.05.8330.6373
0150747711	491953432-CELL PHONES	08/12/2016	09/06/2016	23.46	08/16	300.5.05.8100.6373
Total US CELLULAR (4047):				257.58		
USA BLUE BOOK (4050)						
018633	GASKETS	07/27/2016	09/06/2016	37.72	08/16	300.5.05.8120.6350
026112	LOCATE STRIPE WAND	08/04/2016	09/06/2016	107.93	08/16	300.5.05.8130.6510
031804	3" SUCTION HOSE	08/11/2016	09/06/2016	627.23	08/16	300.5.05.8120.6510
032398	SAMPLING TAP	08/11/2016	09/06/2016	19.98	08/16	300.5.05.8120.6544
Total USA BLUE BOOK (4050):				792.86		
USPS-HASLER 0008014227 (5414)						
0000536050356	UPS	08/27/2016	09/06/2016	157.81	08/16	400.5.06.8588.9920
Total USPS-HASLER 0008014227 (5414):				157.81		

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VAN BERKUM APPLIANCE (4061)						
40427	SHOP/CONCESSION VACUUM - PK	08/22/2016	09/06/2016	224.90	08/16	100.5.09.4200.6310
Total VAN BERKUM APPLIANCE (4061):				224.90		
VAN ESSEN AUTO (4075)						
070516PD	VEHICLE EXPENSE - PD	07/05/2016	09/06/2016	46.15	09/16	100.5.01.1030.6330
071916PD	VEHICLE EXPENSE - PD	07/19/2016	09/06/2016	425.94	09/16	100.5.01.1030.6330
Total VAN ESSEN AUTO (4075):				472.09		
VAN VARK, ROLAND (6007)						
1611580087	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total VAN VARK, ROLAND (6007):				30.00		
VANDER BEEK TRUCK ACCESSORIES (4190)						
21823	TRUCK LIGHT WIRING - EL	08/23/2016	09/06/2016	597.50	08/16	400.5.06.8588.9660
Total VANDER BEEK TRUCK ACCESSORIES (4190):				597.50		
VANDER HORST, RICHARD (6001)						
1611580079	EE REBATE - AC TUNE-UP - EL	08/16/2016	09/06/2016	30.00	08/16	400.2215
Total VANDER HORST, RICHARD (6001):				30.00		
VANDER PLOEG BAKERY (4209)						
45523	BIRTHDAY CAKE - POOL	08/13/2016	09/06/2016	28.00	08/16	100.5.04.4310.6530
Total VANDER PLOEG BAKERY (4209):				28.00		
VAN-WALL EQUIPMENT (5434)						
379525	OIL, FILTER	08/17/2016	09/06/2016	332.02	08/16	350.5.05.8300.6330
382428	ST-18	08/22/2016	09/06/2016	16.87	08/16	115.5.05.2100.6350
Total VAN-WALL EQUIPMENT (5434):				348.89		
VAUGHAN, JEANETTE (4230)						
08272016	GYM DIVIDER REIMBURSEMENT	08/27/2016	09/06/2016	137.82	08/16	100.5.04.4100.6310
Total VAUGHAN, JEANETTE (4230):				137.82		
VEENSTRA CONSTRUCTION INC (4235)						
9536	LIFT TRANSFORMERS - EL	08/05/2016	09/06/2016	480.00	08/16	400.5.06.8588.9810
9572	LIFT TRANSFORMERS - EL	08/05/2016	09/06/2016	240.00	08/16	400.5.06.8588.9810
9580	LIFT TRANSFORMERS - EL	08/05/2016	09/06/2016	240.00	08/16	400.5.06.8588.9810
9596	LIFT TRANSFORMERS - EL	08/12/2016	09/06/2016	540.00	08/16	400.5.06.8588.9810
Total VEENSTRA CONSTRUCTION INC (4235):				1,500.00		
VERDOORN, ROBERT (6000)						
1611580078	EE REBATE - AC TUNE-UP - EL	08/16/2016	09/06/2016	30.00	08/16	400.2215
Total VERDOORN, ROBERT (6000):				30.00		
VERMEER SALES & SERVICE (4252)						
01142383	VACUUM EXCAVATOR REPAIR - EL	08/03/2016	09/06/2016	207.56	08/16	400.5.06.8588.9660

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total VERMEER SALES & SERVICE (4252):				207.56		
VERSCHUURE, ASHTON D (5995)						
30-01700-12	DEPOSIT REFUND	08/23/2016	09/06/2016	43.85	08/16	400.2210
Total VERSCHUURE, ASHTON D (5995):				43.85		
VESSCO INC (4261)						
66352	LIME SLAKER BELT	05/23/2016	09/06/2016	677.05	08/16	300.5.05.8120.6350
Total VESSCO INC (4261):				677.05		
VON BOKERN ASSOCIATES INC (4281)						
08252016	BI-ANNUAL BILLING	08/25/2016	09/06/2016	1,800.00	08/16	100.5.00.6320.6405
Total VON BOKERN ASSOCIATES INC (4281):				1,800.00		
VOS, KEVIN (4294)						
08202016	CONCESSION REIMBURSEMENT	08/20/2016	09/06/2016	12.57	08/16	100.5.09.4245.6530
Total VOS, KEVIN (4294):				12.57		
VRIEZELAAR, VIVIAN (4300)						
081616	CIVIC SYMPOSIUM-HOTEL	08/16/2016	08/24/2016	299.97	08/16	100.5.00.6100.6260
Total VRIEZELAAR, VIVIAN (4300):				299.97		
WADDELL, RYAN (4305)						
081116PWS	STEEL TOE BOOTS REIMBURSEMEN	08/11/2016	09/06/2016	100.00	08/16	115.5.05.2100.6546
Total WADDELL, RYAN (4305):				100.00		
WALMART COMMUNITY (4312)						
002172	ICE, GLOVES	08/01/2016	09/06/2016	26.44	08/16	100.5.04.4301.6590
002414	TRAINING PROP - PD	07/18/2016	09/06/2016	23.79	09/16	100.5.01.1050.6240
002980	CLEANING SUPPLIES - CH	08/03/2016	09/06/2016	18.66	08/16	100.5.00.6100.6411
003107	MEMORY CARDS - PD	08/03/2016	09/06/2016	15.96	09/16	100.5.01.1030.6543
003385	POSTER BOARD, PENS	07/13/2016	09/06/2016	12.88	08/16	100.5.04.4300.6590
003396	NAPKINS	07/12/2016	09/06/2016	3.98	08/16	100.5.09.4200.6590
003396	CLEANER	07/12/2016	09/06/2016	11.76	08/16	100.5.04.4100.6590
004236	JANITORIAL SUPPLIES - PD	08/05/2016	09/06/2016	140.42	09/16	100.5.01.1000.6411
004272	DISH	08/02/2016	09/06/2016	3.94	08/16	100.5.09.4200.6590
005186	WINDSHIELD WIPERS - PD	08/08/2016	09/06/2016	28.44	09/16	100.5.01.1030.6330
006093	PRINTER INK AND MEMORY CARD - F	07/18/2016	09/06/2016	40.85	09/16	100.5.02.1100.6543
006945	SHOWER CURTAIN	08/12/2016	09/06/2016	26.88	08/16	100.5.04.4300.6590
006945	PLATES	08/12/2016	09/06/2016	10.34	08/16	100.5.04.4301.6590
007556	MERMAID PARTY SUPPLIES	07/16/2016	09/06/2016	41.23	08/16	100.5.04.4301.6590
007954	CLEANER, TOWELS, FLY RIBBON	07/20/2016	09/06/2016	20.37	08/16	100.5.04.4301.6590
008928	CITIZEN POLICE ACADEMY - MEALS -	07/24/2016	09/06/2016	56.72	09/16	100.5.01.1050.6240
009294	MOUTHGUARDS	08/03/2016	09/06/2016	126.10	08/16	100.5.04.4446.6530
012122	BUILDING SUPPLIES	08/12/2016	09/06/2016	56.26	08/16	300.5.05.8120.6590
016502	MISC SUPPLIES	08/16/2016	09/06/2016	63.76	08/16	350.5.05.8310.6544
018924	SHOP SUPPLIES	07/18/2016	09/06/2016	62.29	08/16	115.5.05.2100.6590
021096	SAMPLER ICE	07/21/2016	09/06/2016	13.41	08/16	350.5.05.8300.6547
021096	HARD DRIVE, FLASH DRIVE	07/21/2016	09/06/2016	60.97	08/16	350.5.05.8330.6510

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total WALMART COMMUNITY (4312):				865.45		
WARRIOR GOLF VENTURE LLC (5237)						
08012016	BOS LANDEN REIMB	08/01/2016	09/06/2016	52,937.34	09/16	100.5.04.4460.6403
Total WARRIOR GOLF VENTURE LLC (5237):				52,937.34		
WEBBER, PHILIP E (6012)						
1611580092	EE REBATE - AC TUNE-UP - EL	08/23/2016	09/06/2016	30.00	08/16	400.2215
Total WEBBER, PHILIP E (6012):				30.00		
WESCO DISTRIBUTION INC (4357)						
447438	UG CONDUIT COUPLERS - EL	08/09/2016	09/06/2016	228.13	08/16	400.5.06.8584.9030
450545	GUY WIRE CLAMPS - EL	08/12/2016	09/06/2016	81.28	08/16	400.5.06.8583.9030
452106	TRAFFIC SIGNAL BULBS - EL	08/16/2016	09/06/2016	130.97	08/16	400.5.06.8585.9030
453240	STROBE LIGHTS - EL	08/17/2016	09/06/2016	818.34	08/16	400.5.06.8549.9020
Total WESCO DISTRIBUTION INC (4357):				1,258.72		
WHITE, JUSTIN T (6020)						
45-03903-08	DEPOSIT REFUND	08/31/2016	09/06/2016	54.49	08/16	400.2210
Total WHITE, JUSTIN T (6020):				54.49		
WINDSTREAM IOWA COMMUNICATIONS (4413)						
081616WWTP	FAX LINE-WWTP	08/16/2016	09/06/2016	48.91	08/16	350.5.05.8310.6373
081816COLL/DIST	PHONE SERVICE- COLL/DIST	08/18/2016	09/06/2016	45.91	08/16	350.5.05.8330.6373
081816COLL/DIST	PHONE SERVICE- COLL/DIST	08/18/2016	09/06/2016	45.91	08/16	300.5.05.8130.6373
08232016-1456	PHONE 1456 - EL	08/23/2016	09/06/2016	3.86	08/16	400.5.06.8549.9020
082516PD	TELEPHONE BILL - PD	08/25/2016	09/06/2016	282.41	09/16	100.5.01.1010.6373
082516PW	PHONE BILL- PW	08/25/2016	09/06/2016	231.40	08/16	100.5.05.6500.6373
082516WWTP	TELEPHONE- WWTP	08/25/2016	09/06/2016	77.48	08/16	350.5.05.8310.6373
08252016 - CC	PHONE 6830 - CC	08/25/2016	09/06/2016	105.82	08/16	100.5.04.4100.6373
08252016 - CH	PHONE 9584 - CH	08/25/2016	09/06/2016	252.89	08/16	100.5.00.6100.6373
08252016 - FD	PHONE 1414 - FD	08/25/2016	09/06/2016	85.08	08/16	100.5.02.1100.6373
08252016 - PK	PHONE 4299 - PK	08/25/2016	09/06/2016	70.92	08/16	100.5.09.4200.6373
08252016 - POOL	PHONE 0-9212 - POOL	08/25/2016	09/06/2016	79.28	08/16	100.5.04.4300.6373
08252016 - REC	PHONE- 4571 - REC	08/25/2016	09/06/2016	29.89	08/16	100.5.04.4100.6373
08252016-1108	PHONE 1108 - EL	08/25/2016	09/06/2016	74.57	08/16	400.5.06.8562.9030
08252016-9096	PHONE 9096 - EL	08/25/2016	09/06/2016	80.68	08/16	400.5.06.8592.9030
Total WINDSTREAM IOWA COMMUNICATIONS (4413):				1,515.01		
WOJCIK, BARTHOLOMEW & AMBER (4429)						
1620580026	EE REBATE - EL	08/23/2016	09/06/2016	50.00	08/16	400.2215
Total WOJCIK, BARTHOLOMEW & AMBER (4429):				50.00		
WOLFF, NATHAN (5197)						
082916PD	MEALS - PD	08/29/2016	09/06/2016	35.55	09/16	100.5.01.1030.6260
Total WOLFF, NATHAN (5197):				35.55		
Grand Totals:				2,857,278.70		

GL Period Amount

GL Period Amount

09/16	64,820.74
08/16	2,792,457.96

Vendor number hash:	0
Vendor number hash - split:	0
Total number of invoices:	0
Total number of transactions:	0

Report Criteria:

Vendor.Vendor number = {<>} 1303
Vendor.Vendor number = {<>} 3557
Vendor.Vendor number = {<>} 3784
Invoice Detail.Input date = 08/17/2016-09/06/2016

Report Criteria:
 Paid transmittals included
 Unpaid transmittals included

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
1							
1	EFTPS	160819162	08/13/2016	74-00	SOCIAL SECURITY Pay Period: 8/13/2	100.2165	11,611.15
1	EFTPS	160819162	08/13/2016	74-00	SOCIAL SECURITY Pay Period: 8/13/2	100.2165	11,611.15
1	EFTPS	160819162	08/13/2016	75-00	MEDICARE Pay Period: 8/13/2016	100.2165	3,269.71
1	EFTPS	160819162	08/13/2016	75-00	MEDICARE Pay Period: 8/13/2016	100.2165	3,269.71
1	EFTPS	160819162	08/13/2016	76-00	FEDERAL WITHHOLDING TAX Pay Pe	100.2165	22,753.44
1	EFTPS	160902149	08/27/2016	74-00	SOCIAL SECURITY Pay Period: 8/27/2	100.2165	10,594.66
1	EFTPS	160902149	08/27/2016	74-00	SOCIAL SECURITY Pay Period: 8/27/2	100.2165	10,594.66
1	EFTPS	160902149	08/27/2016	75-00	MEDICARE Pay Period: 8/27/2016	100.2165	3,034.51
1	EFTPS	160902149	08/27/2016	75-00	MEDICARE Pay Period: 8/27/2016	100.2165	3,034.51
1	EFTPS	160902149	08/27/2016	76-00	FEDERAL WITHHOLDING TAX Pay Pe	100.2165	21,121.32
Total 1:							100,894.82
2							
2	IOWA DEPARTMENT OF	160819163	08/13/2016	77-00	STATE WITHHOLDING TAX Pay Period	100.2166	9,348.32
2	IOWA DEPARTMENT OF	160819163	08/13/2016	77-00	STATE WITHHOLDING TAX	100.5.00.6100.6502	.32-
2	IOWA DEPARTMENT OF	160902150	08/27/2016	77-00	STATE WITHHOLDING TAX Pay Period	100.2166	8,901.66
2	IOWA DEPARTMENT OF	160902150	08/27/2016	77-00	STATE WITHHOLDING TAX	100.5.00.6100.6502	.34
Total 2:							18,250.00
3							
3	IPERS	160819164	08/13/2016	50-01	IPERS-REGULAR Pay Period: 8/13/201	100.2160	10,324.36
3	IPERS	160819164	08/13/2016	50-01	IPERS-REGULAR Pay Period: 8/13/201	100.2160	15,495.21
3	IPERS	160819164	08/13/2016	50-02	IPERS-ELECTED Pay Period: 8/13/201	100.2160	27.46
3	IPERS	160819164	08/13/2016	50-02	IPERS-ELECTED Pay Period: 8/13/201	100.2160	41.21
3	IPERS	160819164	08/13/2016	50-01	IPERS-REGULAR	100.2160	.08-
3	IPERS	0	08/27/2016	50-01	IPERS-REGULAR Pay Period: 8/27/201	100.2160	9,863.36
3	IPERS	0	08/27/2016	50-01	IPERS-REGULAR Pay Period: 8/27/201	100.2160	14,803.46
3	IPERS	0	08/27/2016	50-02	IPERS-ELECTED Pay Period: 8/27/201	100.2160	27.46
3	IPERS	0	08/27/2016	50-02	IPERS-ELECTED Pay Period: 8/27/201	100.2160	41.21
Total 3:							50,623.65
4							
4	MUNICIPAL FIRE & POLI	2117	08/13/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	3,499.95
4	MUNICIPAL FIRE & POLI	2117	08/13/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	9,677.52
4	MUNICIPAL FIRE & POLI	0	08/27/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	3,653.66
4	MUNICIPAL FIRE & POLI	0	08/27/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	10,074.82
Total 4:							26,905.95
5							
5	ICMA-457	160819159	08/13/2016	52-01	ICMA RETIREMENT 457 Pay Period: 8/	100.2169	3,630.00
5	ICMA-457	160819159	08/13/2016	52-02	ICMA RETIREMENT 457%(GROSS) Pa	100.2169	617.15
5	ICMA-457	160902146	08/27/2016	52-01	ICMA RETIREMENT 457 Pay Period: 8/	100.2169	3,630.00
5	ICMA-457	160902146	08/27/2016	52-02	ICMA RETIREMENT 457%(GROSS) Pa	100.2169	617.15
Total 5:							8,494.30
6							
6	ICMA-401	160819158	08/13/2016	53-00	401A Pay Period: 8/13/2016	100.2167	787.38

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
6	ICMA-401	160902145	08/27/2016	53-00	401A Pay Period: 8/27/2016	100.2167	787.38
Total 6:							1,574.76
7							
7	ICMA-ROTH	160819160	08/13/2016	52-05	ICMA ROTH IRA Pay Period: 8/13/2016	100.2171	1,207.30
7	ICMA-ROTH	160902147	08/27/2016	52-05	ICMA ROTH IRA Pay Period: 8/27/2016	100.2171	1,222.30
Total 7							2,429.60
8							
8	AFLAC	2116	08/13/2016	42-00	AFLAC SHORT TERM DISABILITY Pay	100.2152	170.50
8	AFLAC	2116	08/13/2016	45-01	AFLAC ACCIDENT-SICK Pay Period: 8/	100.2152	397.48
8	AFLAC	2116	08/13/2016	45-02	AFLAC CANCER Pay Period: 8/13/2016	100.2152	282.65
8	AFLAC	0	08/27/2016	42-00	AFLAC SHORT TERM DISABILITY Pay	100.2152	141.75
8	AFLAC	0	08/27/2016	45-01	AFLAC ACCIDENT-SICK Pay Period: 8/	100.2152	397.48
8	AFLAC	0	08/27/2016	45-02	AFLAC CANCER Pay Period: 8/27/2016	100.2152	282.65
Total 8:							1,672.51
9							
9	TRANSAMERICA LIFE IN	2118	08/13/2016	43-00	SUPPLIEMENTAL LIFE INSURANCE P	100.2152	152.91
9	TRANSAMERICA LIFE IN	0	08/27/2016	43-00	SUPPLIEMENTAL LIFE INSURANCE P	100.2152	152.91
Total 9:							305.82
11							
11	CHILD SUPPORT RECOV	160819161	08/13/2016	56-01	CHILD SUPPORT-FLAT AMT Pay Perio	100.2158	556.14
11	CHILD SUPPORT RECOV	160902148	08/27/2016	56-01	CHILD SUPPORT-FLAT AMT Pay Perio	100.2158	556.14
Total 11:							1,112.28
12							
12	TEAMSTERS LOCAL UNI	2148	08/27/2016	55-01	UNION DUES-PUBLIC WORKS Pay Pe	100.2154	952.00
12	TEAMSTERS LOCAL UNI	2148	08/27/2016	55-02	UNION DUES-ELECTRIC Pay Period: 8	100.2153	56.00
Total 12:							1,008.00
13							
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-01	DENTAL-SINGLE Pay Period: 8/13/201	191.4.08.9200.4795	185.13
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-02	DENTAL-FAMILY Pay Period: 8/13/201	191.4.08.9200.4795	1,216.51
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-01	DENTAL-SINGLE TK	191.5.08.9200.6158	21.78-
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-02	DENTAL-FAMILY TK	191.5.08.9200.6158	72.20
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-02	DETNAL-FAMILY RB	191.5.08.9200.6158	151.29
13	METLIFE SMALL BUSINE	2119	08/13/2016	41-01	DENTAL-SINGLE	100.5.00.6100.6502	.16-
13	METLIFE SMALL BUSINE	0	08/27/2016	41-01	DENTAL-SINGLE Pay Period: 8/27/201	191.4.08.9200.4795	185.13
13	METLIFE SMALL BUSINE	0	08/27/2016	41-02	DENTAL-FAMILY Pay Period: 8/27/201	191.4.08.9200.4795	1,083.00
Total 13:							2,871.32
Grand Totals:							216,143.01

<u>Name</u>	<u>Pay Per Date</u>	<u>Description</u>	<u>GL Account</u>	<u>Amount</u>
ACH	8/19/2016	DIRECT DEPOSITS	100.2010	147,537.69
CHECK RUN	8/19/2016	PAYCHECKS	100.2010	10,788.96
ACH	9/2/2016	DIRECT DEPOSITS	100.2010	137,794.58
CHECK RUN	9/2/2016	PAYCHECKS	100.2010	6,953.94
 Grand Totals:				<hr/> 303,075.17 <hr/> <hr/>
