

CITY OF PELLA, IOWA
TENTATIVE CITY COUNCIL MEETING AGENDA
July 5, 2016—7:00 p.m. – Public Safety Complex
Liberty Street Entrance

A. CALL TO ORDER BY MAYOR AND ROLL CALL

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
NONE
2. Approval of tentative agenda.
3. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.
4. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

(Public comments are limited to 3 minutes.)

C. APPROVAL OF CONSENT AGENDA

"Consent Agenda" means that all items listed below will be automatically approved with one Roll Call vote approving the "Consent Agenda". Any City Council member may ask to pull an item from the "Consent Agenda" for discussion and a separate vote. The purpose of a "Consent Agenda" is to expedite routine items and allow Council time to discuss more important matters."

1. Approval of Minutes
 - a. Official Council Minutes for June 21, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for June 21, 2016.
3. Petitions and Communications
 - a. None
4. Administration Reports
 - a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Amending the City Code Pertaining to Residential Use Types.
1. b. Ordinance No. 911 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING ORDINANCE, 165.11 CLASSIFICATION OF USES BY AMENDING THE PROVISIONS PERTAINING TO RESIDENTIAL USE TYPES AND AMENDING TABLE 165.12-2 PERMITTED USES BY ZONING DISTRICTS.
2. a. Public Hearing on Amending the City Code Pertaining to the Design Review and Dutch Residential Design Review Overlay Districts.
2. b. Ordinance No. 912 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING REGULATIONS, 165.16 AND 165.17 BY AMENDING THE PROVISIONS PERTAINING TO THE DESIGN REVIEW AND DUTCH RESIDENTIAL DESIGN REVIEW OVERLAY DISTRICTS".

E. PETITIONS & COMMUNICATIONS

1. Marion County Habitat for Humanity Brook Circle Park Presentation.

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

NONE

H. RESOLUTIONS

1. Resolution No. 5706 entitled, "RESOLUTION ORDERING SPECIFICATIONS, FORM OF CONTRACT, NOTICE TO BIDDERS, SETTING THE PUBLIC HEARING, AND AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING WATER SYSTEM MATERIALS—VERMEER ROAD UTILITY PROJECT—PELLA, IOWA."

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 910 entitled, "AN ORDINANCE AMENDING WATER RATES OF THE CITY OF PELLA, IOWA." (2nd Reading)

J. CLAIMS

1. Abstract of bills No. 1962.

K. OTHER BUSINESS/*PUBLIC FORUM (any additional comments from the Public)

(Public comments are limited to 3 minutes.)

L. CLOSED SESSION

1. Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

2. Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

M. ADJOURNMENT

NOTICE: Items to be presented to the City Council must be in the hands of the City Clerk no later than 4:00 p.m. on the Monday before the week of the Council meeting. A packet containing the agenda and documentation for each item listed on the agenda is then prepared on Friday and delivered to each Councilmember. The next regular Council meeting is scheduled for July 19 2016. The deadline for items is July 11, 2016. *The CITY OF PELLA encourages all citizens of Pella to attend Council meetings. Our Council Chambers are handicapped accessible and City Staff are available to give assistance if needed. If you are hearing impaired or vision impaired or a person with Limited English Proficiency and require an interpreter or reader, please contact City Hall by NOON on the Monday prior to Council meetings to arrange for assistance. (641-628-4173). TTY telephone service available for the hearing impaired through Relay Iowa 1-800-735-2942.*

**CITY OF PELLA, IOWA
CITY COUNCIL
OFFICIAL MINUTES
June 21, 2016**

A. CALL TO ORDER BY MAYOR AND ROLL CALL

The City Council of the City of Pella, Iowa, met in regular session at the Public Safety Complex meeting room at 7:00 p.m., Mayor James Mueller presiding. Members present were: Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Larry Peterson. Absent: Bruce Schiebout. City Administrator Mike Nardini, City Attorney Bob Stuyvesant, and City Clerk Ronda Brown were present. Six staff members and 5 members of the general public signed the register.

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
NONE
2. Approval of tentative agenda. Councilmember Vander Beek moved to approve the tentative agenda, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.
3. Proclamation Thanking Jim Danks.

SUBJECT: Proclamation Recognizing Jim Danks for Years of Service on the Planning and Zoning Commission

DATE: June 21, 2016

BACKGROUND:

The City would like to recognize Jim Danks for his years of outstanding service to the Pella Planning and Zoning Commission. Jim faithfully served for thirty-one years on the Commission.

ATTACHMENTS: Proclamation

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: None

4. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.

5. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

NONE

C. APPROVAL OF CONSENT AGENDA

Councilmember Van Stryland moved to approve the consent agenda, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Van Stryland, Vander Beek, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried. The following items were approved:

1. Approval of Minutes
 - a. Official Council Minutes for June 7, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for June 7, 2016.

Policy and Planning Minutes

June 7, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson

ABSENT: None

OTHERS: City Staff and Visitors

The Policy and Planning meeting began at 9:40 p.m. The only agenda item was concerning a proposed ordinance amending the water rates for the City of Pella. The increase is needed to fund the City's long term water supply plan.

The proposed ordinance represents a water rate increase of 7% for all customer classes and would be effective for utility bills due August 20, 2016 for July usage. At that time, the base fee for inside the City limits would increase from \$15.52 per month to \$16.61 per month. In addition to the increase in base fee, the ordinance would amend the cost per 1,000 gallons from \$3.75 to \$4.01.

After a brief discussion, staff was directed to proceed with the water rate increase. The first reading of the ordinance will be presented for formal Council consideration on June 21, 2016.

The meeting adjourned at 9:43 p.m.

Respectfully Submitted,
Ronda Brown, City Clerk

b. Community Development Committee Minutes for February 10, 2016.

Community Development Committee Regular Meeting Minutes February 10, 2016

1.) Call the Meeting to Order

The meeting of the Community Development Committee was called to order by Chairperson Patsy Cody at 5:30 p.m. at the Pella Community Center.

2.) Roll Call.

Members Present: Patsy Cody, Linda Groenendyk, Phil Groenendyk, Mike Kiser, Jody Lautenbach, Lori Parisee, Dennis Vander Beek.

Members Absent: Jerry Brummel, Ginny Moore, Wayne Stienstra, Robyn Van Berkum.

Others Present: George Wesselhoft – Director of Planning and Zoning, Jerry Byers – CDC Secretary, Mike Nardini – City Administrator, Steve Woodhouse – Pella Chronicle, Gary Van Vark, Joan Haman, Libbie Randall, David Benkain, Doug Van See, Ray Bisbee, Julie Bisbee, Joyce Vander Beek, Wally Pelds, LeAnne Krell, Rhonda Kermod, Dan Vander Beek.

3.) Design Permit Application – Casey's General Stores

Casey's General Stores is seeking approval for a design permit application for a new store at 505 – 513 Main Street. (Legal description: Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61 in the City of Pella, Iowa 50219).

Chairperson Cody addressed the audience and explained that the Community Development Committee (CDC) job was to review the architectural design of the building and detail presented to the Committee.

She continued by stating that the Committee did not decide if a building came or went, and only addressed what was presented before the Committee and if it met the architectural requirements.

Chairperson Cody opened the floor to Casey's. Wally Pelds, of Pelds Engineering, spoke to the Committee and indicated that the Committee had received preliminary designs and received several comments on the original design. Mr. Pelds continued by stating they were presenting the final design based on the comments received. He explained several elements of the design to the Committee and presented drawings and projected the drawings on a screen for those in attendance. Chairperson Cody commented that the Committee had made recommendations back concerning the initial design and that she felt they had done a good job with those requests.

Lori Parisee stated she had a design request for the canopy. She said she did not feel that the current design meet the Dutch elements of the community or the heritage elements of the neighborhood. Ms. Parisee gave the Committee a handout showing possible design element changes to the canopy. She indicated that Casey's had done a good job with the store but that the canopy lacked in design elements.

Mr. Pelds indicated that Casey's will usually try to make the canopy minimal. He continued by saying they could try and dress up the canopy and columns. He did indicate that there were limits to what he could do that would pass Building Code due to wind loads and shear design.

Mr. Pelds continued by asking for direction on what the Committee would like to see for design elements. Discussion ensued.

Mike Kiser asked if they could do anything except a flat roof. Mr. Pelds responded that to do so would change the size and shape of the canopy due to the loads and he would have to check with his engineer. He said they had never done one in 1900 plus stores. Chairperson Cody told the Committee that they could pass the design of the store and then have everyone come back and vote on a new canopy design at a future date.

Phil Groenendyk stated that as a former business owner, he didn't want the canopy to take away from the store design. Chairperson Cody asked if the Committee was in agreement that they would act on the design for the main store building and come back and act on the canopy at a future date. Joan Haman, 707 Union Street, spoke to the Committee concerning the canopy. She stated that it looks like a tin roof and doesn't fit in with the neighborhood. Dennis Vander Beek spoke that he was the owner of the properties in question and that he would be abstaining from vote. Mike Kiser made a motion to approve the submitted design for the building as submitted and all accessories except the canopy. Phil Groenendyk second the motion. Upon vote motion passed 6 to 0. Dennis Vander Beek abstained.

Mike Kiser made a second motion to review the canopy design after suggested changes have been made by Pelds Engineering. The committee would send back comments and then reconvene at a future date to review the changes and vote. Lori Parisee seconded the motion. Upon vote motion passed 6 to 0. Dennis Vander Beek abstained.

4.) Approval of Minutes

Approval of the January 13, 2016 meeting minutes were approved as submitted.

5.) Other Business

There was no other business.

6.) Adjourn

Chairperson Cody adjourned the meeting at 5:57 p.m.

Respectfully submitted.

Jerry Byers
Building Official

c. Community Development Committee Special Minutes for February 17, 2016.

Community Development Committee Special Meeting Minutes February 17, 2016

1.) Call the Meeting to Order

The meeting of the Community Development Committee was called to order by Chairperson Patsy Cody at 5:30 p.m. at the Pella Public Works conference room.

2.) Roll Call.

Members Present: Patsy Cody, Linda Groenendyk, Mike Kiser, Jody Lautenbach, Ginny Moore, Lori Parisee, Wayne Stienstra, Dennis Vander Beek.

Members Absent: Jerry Brummel, Phil Groenendyk, Robyn Van Berkum.

Others Present: George Wesselhoff – Director of Planning and Zoning, Jerry Byers – CDC Secretary, Rhonda Kermode, Ken Haman, Steve Woodhouse, Wally Pelds, Amy Costello, Martin Van Dyk, Verna Van Dyk, LeAnne Krell, Michael Robinson.

3.) Design Permit Application – Casey’s General Stores

Casey’s General Stores is seeking approval for a design permit application for a new store gas pump canopy at 505 – 513 Main Street. (Legal description: Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61 in the City of Pella, Iowa 50219).

Dennis Vander Beek commented that he would not be involved in conversation and would abstain from voting as he is the owner of the property in which Casey’s is looking to build.

Chairperson Cody addressed the audience and explained that the Community Development Committee (CDC) job was to review the architectural design of the building and details presented to the Committee.

Wally Pelds, Pelds Engineering, spoke to the Committee concerning the comments submitted by Committee members at the previous meeting.

Mr. Pelds explained to the Committee how the structural portions of the canopy would work and look. He told the Committee how the roof would hide the control systems and be hollow behind the sloped portions of the roof.

Discussion ensued concerning the structure and details and parapet width.

Ginny Moore made a motion to accept design number three as submitted.

Lori Parisee seconded the motion.

Upon vote, Patsy Cody – yes, Linda Groenendyk – yes, Mike Kiser – yes, Jody Lautenbach – yes, Ginny Moore – yes, Lori Parisee – yes, Wayne Steinstra – no, Dennis Vander Beek – abstain. Motion passed six to one, with one abstention.

4.) Other Business

There was no other business.

5.) Adjourn

Chairperson Cody adjourned the meeting at 5:50 p.m.

Respectfully submitted.

Jerry Byers

Building Official

d. Library Board of Trustees Minutes for May 10, 2016.

PELLA PUBLIC LIBRARY

Board of Trustees Meeting

May 10, 2016

I. Call To Order: President Rebecca Manifold called the meeting to order at 3:59 p.m. Board members present were: Alli Bogaard, Kenny Nedder, Jane Koogler, John Evenhouse and Praveen Mohan. Library Director Wendy Street was present. Mary Barnes was absent.

II. Recognition of Visitors and Visitor Comments: None

III. Approval of Agenda: There were no changes to the agenda. The agenda stood as approved.

IV. Disposition of Minutes: All Board members received the April minutes prior to the meeting. John moved to approve the minutes. Praveen seconded the motion and it carried. The minutes were unanimously approved.

V. Approval of Bills: All Board members received the May list of bills prior to the meeting. The Board discussed the bills and questions were answered. Praveen moved to approve the bills. Jane seconded the motion and it carried. The bills were unanimously approved.

VI. Unfinished Business:

- A. Upcoming Board Vacancy: The board discussed the applications for the board vacancy. Rebecca moved to present Rachel Sparks as the new board member. Praveen seconded the motion and it carried. Wendy will present Rebecca to the Mayor of Pella for appointment.

VII. New Business: Customer Survey: Wendy shared with the board the results of the survey via email earlier in the month. Today she shared the staff’s input following their discussion of patrons suggestions for improvement.

1. Change the placement of bar codes on books where it doesn’t work on the self-check. Staff all agreed this was something that needed to be fixed and they are changing those out as they are discovered.
2. The courtesy notice sent to patrons should include a link to the library’s website. Chris is currently working on this.
3. The children’s area could be more tidy. Katie is working to maintain the area more efficiently.
4. Inter-library loan fees (\$3.00) should be reduced or eliminated. The board discussed this at length and it is simply too expensive to pay postage for these items. The library cannot afford to absorb this cost.
5. There were some complaints about the level of noise in the library in general. This is something that we are planning to address in the plans for remodeling. The board agrees that there needs to be space for the children to enjoy the library, balanced with space for others to use the library in a more traditional manner. Until the remodel is more of a reality, Wendy will research a white noise system that may reduce the perception of noise in the library.
6. Patrons asked for a “Hold Service” where they could go on-line and reserve items for check out and a staff member would pull those items and the patron could just come to the front desk to check-out. Right now that is not feasible based on budget constraints for employee time/compensation. This is something that we could explore when making future budgets.

VIII. President’s Report and Announcements: None

IX. Director’s Report:

A. Food for Fines

Food for Fines was a success this year! We waived \$239.90 in fines. In past years, it has been closer to \$100. I think the email announcement helped to advertise this event.

B. Friends of the library

- The Friends spring book sale netted almost \$1,700. Again, this is higher than usual and we think the email blast helped to promote the sale.
- The Friends of the library agreed to pay \$5,250 for the new book drop!

C. State funding

- The new book drop has been ordered. I negotiated the premium “root beer” color at no extra charge. It will arrive sometime after May 12.
- I am gathering quotes for new hand dryers.
- I have not made a decision on meeting room software yet, but am leaning towards keeping our current system for one more year, or until they require us to migrate.

D. Hoopla

SirsiDynix recently announced that hoopla could be fully integrated into the catalog. We are ready and eager to install this feature, but SirsiDynix has discovered some bugs, so it is on hold.

E. Building and grounds

- The Quiet room is open for business!

- LED light bulbs for the large fixtures in the great room have arrived and are awaiting installation. The bill for the bulbs is in your packet. We have also ordered replacement ballasts for the smaller fixtures, which won't get LEDs because we couldn't find one that would fit. Ceramic discharge metal halide bulbs have been installed in those fixtures.

F. Staff activities

April Denim Days raised \$270.00 for Crisis Intervention Services.

Youth Services Librarian: Finish story time and other school year programming. I also scheduled school visits for summer reading program promotion.
 Assistant Director: This month, Chris cataloged and wrote procedures to create the new Launchpad Tablets collection. He continues to work towards implementing the Verizon 4G backup solution for the library network, and he filed federal E-RATE documents for a discount on our telephone service.
 Director: I compiled, sorted and read through the survey results, worked with the Finance Director on our budget amendments, continued evaluating meeting room software, ordered the book drop, solicited quotes for the hand dryers, and attended the ISLA spring meeting.

G. My vacation

I will be on vacation May 31-June 5. I will have my cell phone and will check email if you need to reach me. If you have a library emergency during that time, please contact Chris Brown or Katie Dreyer at the library.

H. Upcoming events

- May 16 at 7:00 p.m.: **Monarch Butterflies**. Learn why monarch populations have declined, how to encourage monarchs in your garden, and what you can do to help monarchs thrive!
- May 19 at 10:15 a.m.: **Genealogy Club** will meet in the Library Meeting Room.
- May 25 at 4:00 p.m.: Author Chris Henry will read from his book *The Time Marauder*.
- Logs for the Summer Reading Program will be available on Monday, May 23 at 10:00 a.m.

X. Committee reports: None

XI. Adjournment: President Rebecca Manifold adjourned the meeting at 5:36 p.m. The next regularly scheduled Board Meeting is scheduled

e. Board of Adjustment Minutes for February 23, 2016.

Board of Adjustment
 Meeting Minutes
 February 23, 2016

1.) Call the meeting to Order

Chairperson Jim Corbett called the meeting of the Board of Adjustment to order at 6:00 p.m.

2.) Roll Call.

Members Present: Jim Corbett, Vince Nossaman, Merlan Rolffs, Jane Smith, Lyle Vander Meiden, Mike Vander Wert and Glenn Van Wyk.

Members Absent: Karissa Hastings

Others Present: George Wesselhoft – Director of Planning and Zoning, Jerry Byers – Board Secretary, Mike Kiser, Dawn Van Haaften, Joel Bennett, David Vollmar, Kim Huffman, John Roslley, Dennis Vander Beek, Joyce Vander Beek, Betsy Duffy, Marty Duffy, Cory Gosselink, Karen Eischen, Julie Visser, Rod Visser, Tony Bokhoven, Meaghan Flaherty, Sarah Morrison, Jessica Bixler, Jonah Coakly, Loren Steenhoek, Marlene Steenhoek, Joshua Tink, Calvin Bandstra, Walter Cannon, Taryn Pennington, Jake Keegan, Tiffany Brummel, Justin Black, Scott Blur, Doug McMillan, Curtis Brobst, Sam Davis, Elizabeth Van Gorp, Deanna Shalon, Cody Huisman, Scott Argo, Elizabeth Spenner, Dot Beason, Cyndi Atkins, Jacque Sanders

3.) Approval of Agenda

Mike Vander Wert made a motion to approve the agenda as submitted. Glenn Van Wyk seconded the motion. Upon vote, all voted yes. The agenda was approved.

4.) Approval of the Minutes.

The Minutes of the December 14, 2015 meeting were approved as submitted.

5.) Public Hearing on a Special Use Permit Application by The Cellar Peanut Pub concerning a Cocktail Lounge use at 629 Franklin Street (Legal Description: The West 23 feet of Lot 3 in Block 40 in the City of Pella, Iowa, except the south 40 feet thereof)

Chairperson Corbett informed the audience that the Board of Adjustment was a nine member board and required majority vote of five yes votes to pass any motion.

Chairperson Corbett asked if there were any written comments. Mr. Byers stated there were no written comments but an online petition was submitted with the packet. Chairperson Corbett opened the floor comments. Jackie Sanders spoke about the need for The Cellar Peanut Pub. She stated that she moved to Pella in July from Oskaloosa and spent a lot of time with the Duffy's and that she feels the peanut pub will be a good addition to the city of Pella. Kurtis Brobst, 1100 Lincoln, indicated that there was not a lot of places to go for individuals his age. He stated that the Lamppost Lounge was a little young and that Billy Jack's was too old of a crowd for his taste and that he would like a little different atmosphere to hang out.

Sarah Morrison, 503 E. 8th Street, moved here in April from Des Moines and worked in a similar style pub while in Des Moines. She indicated that she missed the pub atmosphere and she feels there was nowhere for her age to go and hang out and The Cellar Peanut Pub in Oskaloosa is a very family oriented facility. David Vollmar, 808 W. Second, stated as Chamber Director for 13 years and doing economic development dreamed about doing something like this for a long time. He indicated the more diversity you have in the downtown that everybody benefits. He stated that the Duffy's is the number one craft beer pub in the state of Iowa and Mr. Duffy is very passionate about what he does. The Duffy's are bringing something very unique to the town of Pella. Karen Eischen, Chamber Director, 818 Washington, stated that the Duffy's are providing a need for the city Pella. They are providing amenities to the city of Pella that are available in other communities of our size.

Ms. Eischen continued by stating several communities that have such pubs. Tony Bokhoven, 1702 Neil Drive, stated that as a councilman he has been contacted by numerous citizens in the community that support bringing The Cellar Peanut Pub to Pella. By saying how many people had told him that they spend their weekends in Oskaloosa at The Peanut Pub and that now those people will be staying in Pella and spend their money locally.

Elizabeth Van Gorp, 1256 W 170th, stated that the city of Pella is a family oriented community. She continued by stating that she had left and came back to Pella and that she feels the peanut pub provide a safe and healthy environment to educate kids turning 21, to be responsible in the consumption of alcoholic beverages. Deanna Scalon, 1349 Main Street, stated she was a transplant to Pella and had trouble meeting people when she returned to the community. She commented that if The Cellar Peanut Pub would've been here a year ago she would have an easier time meeting people. She commented that it would be another avenue for younger people to meet. Joel Bennett, 603 E. 15th St., indicated that having something like The Cellar Peanut Pub, is a community issue. He continued by stating some of the young professionals working for larger corporations are making choices on where they live based on the amenities offered to them in their community. He continued by stating that they hire a lot of college graduates that may not be married or have any kids in communities such as Pleasantville and Monroe are pulling these young professionals away from Pella closer to Des Moines were the action is. Rod Visser, 228 E 8th St., commented that he knew the Duffy's for several years and that he grew up in Pella. He indicated that he thinks that the community will benefit greatly from the Duffy's involvement with the new business.

The public hearing was closed.

6.) Public Hearing on a Special Use Permit Application by The Cellar Peanut Pub concerning a Cocktail Lounge use at 629 Franklin Street (Legal Description: The West 23 feet of Lot 3 in Block 40 in the City of Pella, Iowa, except the south 40 feet thereof)

Mike Vander Wert made a motion to approve the Special Use Permit, stating that his reason for approval was that it would make a nice addition to the community. Jane Smith seconded the motion. Upon vote, motion passes 7 to 0.

7.) Annual Elections

Mike Vander Wert nominated Jim Corbett to remain as Chairperson. Vince Nossaman seconded the nomination. Discussion ensued. Upon vote, the nomination was approved that Mr. Corbett remain as Chairperson. Lyle Vander Meiden nominated Vince Nossaman to remain as Vice Chairperson. Merlan Rolffs seconded the nomination. Discussion ensued. Upon vote, the nomination was approved that Vince Nossaman will remain as Vice Chairperson.

8.) Other Business.

There was no other business

9.) Adjournment

The meeting adjourned at 6.42 p.m.

Respectfully submitted,

Jerry Byers

Building Official

f. Board of Adjustment Minutes for March 8, 2016.

Board of Adjustment

Meeting Minutes

March 8, 2016

1.) Call the meeting to Order

Chairperson Jim Corbett called the meeting of the Board of Adjustment to order at 6:00 p.m.

2.) Roll Call.

Members Present: Jim Corbett, Karissa Hastings, Vince Nossaman, Lyle Vander Meiden, and Mike Vander Wert.

Members Absent: Merlan Rolffs, Jane Smith, Glenn Van Wyk

Others Present: Jerry Byers – Board Secretary, Jim Puller – Eagle Point Solar, Tod Hollenback – Eagle Point Solar, Harold Meinders, Florence Meinders, Lyle Borg, Julie Collins, Dell Collins.

3.) Approval of Agenda

Mike Vander Wert made a motion to approve the agenda as submitted. Lyle Vander Meiden seconded the motion. Upon vote, all voted yes. The agenda was approved.

4.) Public Hearing on a Special Use Permit Application by Vermeer Corporation concerning Proposed Solar Energy System (Legal Description: NW SW EXC N 21AC & N 218' SWSW & NESW & N 218' SESW & LT 13 SE1/4 EXC N 248.16')

Chairperson Corbett informed the audience that the Board of Adjustment was a nine member board and required majority vote of five yes votes to pass any motion. He continued by saying that because there was only five members present it does not take three all five is yes votes to pass. He continued giving the applicant the option to wait until there were more members present. Chairperson Corbett asked if there were any written comments. Mr. Byers stated there were none. Chairperson Corbett opened the floor comments. Dell Collins with Vermeer Corporation spoke to the company's foray into and gave quick background concerning this. He continued by saying that Eagle Point Solar used Vermeer products in the installation of the solar array and that premier felt this was a nice complement for the use of the product and their equipment. Jim Puller with Eagle Point Solar gave background information concerning Eagle Point Solar. Lyle Borg, neighbor to the north, asked the question concerning location height and about the units. Mr. Puller showed a map showing where the area is located on the property. He continued by explaining that the array is a grid connected solar array and it was connected directly to the Vermeer electrical system and there would be no battery storage. He also explained that the system was solid and was not adjustable and that there would be some inverters mounted on the back which were very big. Mr. Puller continued by talk about the height, location, cleaning of the panels, landscaping, and future expansion and what the neighbors may or may not be able to see from their properties.

Dell Collins commented that Vermeer Corporation was interested in being a good neighbor keep in the property looking nice.

There was more discussion about the panels. Harold Meinders asked about the racking for the panels.

Jim Puller spoke to Mr. Meinders concerns and told Mr. Minders about the foundation and about engineering for wind loads of up to 120 miles per hour.

Florence Meinders asked about the future growth. Mr. Puller talked about when and where future growth might occur and how connection to Vermeer and the City electric grid would take place. Discussion ensued concerning landscaping around the project.

Lyle Vander Meiden asked about electrical concerns to the soils. Tod Hollenback stated that a high voltage electrical lines run at about 12,000 Volts and that the solar array only be at 480 Volts. The public hearing was closed.

5.) Special Use Permit Application by Vermeer Corporation Concerning a proposed Solar Energy System. (Legal Description: NW SW EXC N 21AC & N 218' SWSW & NESW & N 218' SESW & LT 13 SE1/4 EXC N 248.16')

Mike Vander Wert made a motion to approve the Special Use Permit, subject to the interconnectivity agreement, due to positive impact in the area and that the project meets all of the criteria. Vince Nossaman seconded the motion. Upon vote, motion passes 5 to 0.

6.) Other Business

There was no other business

7.) Adjournment

The meeting adjourned at 6.28 p.m.

Respectfully submitted,

Jerry Byers

Building Official

3. Petitions and Communications

a. Special Event Permit—Pathways of Pella Walk for Life.

SUBJECT: Special Event Permit Request –Pathways of Pella Walk for Life

DATE: June 21, 2016

BACKGROUND: Pathways of Pella has requested a special event permit for "Pathways of Pella Walk for Life". The event is scheduled for August 27, 2016 from 8-10:30 a.m. with set-up for the event beginning at 7:00 a.m and take down by noon. This is the 20th year for this event, and they expect 100 participants.

They are requesting to use the same route as last year, which is the same route as the "Gene Van Wyk Run". The event would start at Pella Christian High School and head down Roosevelt Road, SE 9th to Truman Road, Prairie Street to South Street, SE 9th to Roosevelt, and head back to Pella Christian High School. A map of the proposed route is included for Council's review. There are no street closures requested; however, they are requesting two police officers to help at the intersection of SE 9th & Truman and SE 9th & South Street.

All pertinent City Departments have reviewed this application, and comments are attached. The insurance certificate and fee have been received, and approval is recommended.

ATTACHMENTS: Application, Map, Department Head Comments
REPORT PREPARED BY: Administration
REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK
RECOMMENDED ACTION: Approve permit as requested.

b. Renewal of Cigarette Permits for Wal-Mart SuperCenter #751 and The Lamppost Lounge.

SUBJECT: Applications for Renewal of Cigarette Permits

DATE: June 21, 2016

BACKGROUND: Cigarette/tobacco permits are required for the retail sale of all tobacco products. All current cigarette/tobacco permits expire June 30, 2016, and renewals will be valid until June 30, 2017. The following businesses have applied for renewal of their cigarette/tobacco permits. All applications and fees are in order.

Wal-Mart SuperCenter #751	1650 Washington Street
The Lamppost Lounge	813 Washington Street

ATTACHMENTS: None
REPORT PREPARED BY: City Clerk
REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve renewal of cigarette permits.

4. Administration Reports

a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

NONE

E. PETITIONS & COMMUNICATIONS

1. a Special Event—Independence Day--4th of July Events. Councilmember Bokhoven moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Bokhoven, Vander Beek, Van Stryland, Peterson, De Jong. NAYS: None. Motion carried.

SUBJECT: Special Event Permit and Street Closings for 4th of July Activities

DATE: June 21, 2016

BACKGROUND: The City of Pella is requesting a special event permit for the 4th of July activities. Plans call for a celebration on Monday, July 4, 2016 with a parade, fireworks and other activities around the community. There will also be fishing at Caldwell Park, tours of the Vermeer Windmill & Gardens, live music, and many games and activities in Central Park. At dusk, fireworks are planned east of Madison Elementary School.

There are street closings associated with the "4th of July Activities" event and the appropriate resolution, along with maps of the area, are included for Council's review. The following street closings are requested:

1) For Parade Staging from 6:00 am-5:00 pm: East 2nd Street from the intersection of Washington Street to the intersection of Union Street; Liberty Street from the intersection of East 1st Street to the intersection of East 3rd Street; Franklin Street from the intersection of East 1st Street to the intersection of East 3rd Street.

2) For Parade Route from 1:00 pm-4:00 pm: Franklin Street from W 3rd Street to East 1st Street.

3) Other activities from 6:00 am-6:00 pm: Franklin Street from Broadway Street to Main Street and Broadway Street from Washington to Franklin.

4) Fireworks Display from 8:00 pm-10:00 pm: 240th Place from the intersections of Business Highway 163 to the intersection of East Vermeer Road and from 12:00 pm to 12:00 am East University Street from the intersection of East 13th Street to the intersection of 240th Place.

Rain date for fireworks only will be Thursday July 7, 2016 after Thursdays in Pella events.

ATTACHMENTS: Resolution, Application, Map of Street Closings, Department Comments,

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve Special Event Permit and Resolution.

1. b. Resolution No. 5703 entitled, "A RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "4TH OF JULY ACTIVITIES". Councilmember Bokhoven moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Bokhoven, Van Stryland, Peterson, De Jong, Vander Beek. NAYS: None. Motion carried.

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

NONE

H. RESOLUTIONS

1. Resolution No. 5704 entitled, "RESOLUTION ORDERING SPECIFICATIONS, FORM OF CONTRACT, NOTICE TO BIDDERS, SETTING DATE FOR PUBLIC HEARING, AND AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH THE WEST CENTRAL UNDERGROUND CONVERSION PROJECT". Councilmember Vander Beek moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Vander Beek, De Jong, Bokhoven, Van Stryland, Peterson. NAYS: None. Motion carried.

SUBJECT: Resolution Ordering Specifications, Form of Contract, Notice to Bidders, Setting Date for Public Hearing, and Authorizing the Taking of Bids and Authorizing Bid Opening in Connection with the West Central Underground Conversion Project

DATE: June 21, 2016

BACKGROUND: This resolution sets the date for the public hearing for July 19, 2016 and authorizes seeking bids for the West Central Underground Conversion Project. The proposed improvements include the conversion of approximately ten blocks of the overhead electric system to an underground system in the Central College area bounded by Washington and University Streets between West 1st and West 5th Streets. Along with the placement of the distribution line underground, the voltages on these lines will be increased from 4.160 kV to 12.470 kV. As result, electric reliability in the area should be increased due to the increase in voltage and placement of the distribution system underground.

As with past conversion projects, a contractor will install the underground conduit system and set the primary transformer pads, and City staff will install the primary and secondary cables. The estimated construction cost for the project is approximately \$275,000-\$290,000.

It should be noted, there is also a homeowner expense associated with this project. The City's responsibility replaces overhead electric distribution lines with new underground lines to the structure. The homeowner is responsible for hooking up to the new lines. Depending on the customer's existing service, this cost could vary from a nominal cost up to a \$1,000.

The proposed timeline for the project is:

Bid Opening	July 7, 2016
Contract Award	July 19, 2016
Estimated Construction Start	August 15, 2016
Estimated Completion	November 15, 2016
Estimated Final Payment	December 15, 2016

ATTACHMENTS: Resolution, Map, Copies of specifications and bid documents are on file at the City Hall

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve resolution.

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 910 entitled, "AN ORDINANCE AMENDING WATER RATES OF THE CITY OF PELLA, IOWA." (1st Reading) Councilmember Peterson moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Peterson, Vander Beek, Van Stryland, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Ordinance Amending Water Rates of the City of Pella

DATE: June 21, 2016

BACKGROUND:

Purpose

The FY 16-17 Budget includes a 7% increase in the City's water rates which is needed to fund the long term water supply plan. Listed below is background information on the proposed increase.

Long-term Water Supply Plan

The City's long-term water supply plan is intended to meet the community's supply and treatment needs through the year 2037. Overall the plan includes a new 3.0 million gallon per day (MGD) reverse osmosis (RO) treatment process, an additional Jordan Well and new water main, and improvements to the existing lime softening treatment plant. The estimated cost of the plan is \$16 million, and the tentative completion date for the plan is the fall of 2017.

Proposed Rate Structure

The proposed rate increase of 7% would be effective for utility bills due August 20, 2016 for July usage. At that time, the base fee for inside the City limits would increase from \$15.52 per month to \$16.61 per month. In addition to the increase in base fee, the ordinance would amend the cost per 1,000 gallons from \$3.75 to \$4.01.

Impact of Water Rate Increases

The proposed ordinance represents a water rate increase of 7% for all customer classes. The following chart represents the impact of the water rate increase in both dollar amount and percentage of increase for different customer types inside the City limits. As you can see, for the average residential customer using 7,000 gallons per month, the proposed increase is \$2.91 per month. For the average commercial customer using 35,000 gallons per month, the proposed increase is \$10.19 per month. For the average industrial customer using 100,000 gallons per month, the proposed increase is \$27.09 per month.

Residential	7,000	\$41.77	\$44.68	\$2.91	7%
Commercial	35,000	\$146.77	\$156.96	\$10.19	7%
Industrial	100,000	\$390.52	\$417.61	\$27.09	7%

Comparable Cities

The chart below compares water rates of similar sized cities in our region. For the average residential user, Pella would continue to have the highest rate by a minimal amount. For the average commercial user, Pella would pay just slightly more than the City of Knoxville and would still be significantly less than

the City of Oskaloosa. For the industrial user, the City of Pella would continue to remain very competitive with the City of Knoxville and continue to be significantly less than the City of Oskaloosa.

It is important to note that when comparing our rates to others in the region one must consider the service level provided by the utilities. For instance, there are utilities who perform minimal water treatment. In comparison, our water treatment process is a significant component of our rates. In order to compensate for the lack of water treatment, their customers will often need to install additional filtration systems to obtain a higher quality of water. Unfortunately, these costs are typically not included in water rate comparisons.

Water Rate Comparisons--in City Limits

Knoxville	\$8.00	\$28.00	\$140.00	\$400.00
Oskaloosa	\$10.26	\$58.26	\$250.28	\$696.04
Pella	\$15.52	\$41.77	\$146.77	\$390.52
Pella Proposed	\$16.61	\$44.68	\$156.96	\$417.61

Summary

This ordinance would approve a 7% increase in the City's water rates. The proposed increase is needed to fund the City's long term water supply plan. This proposed rate increase reflects the second of four projected rate increases. Once fully implemented, the rate increases are expected to result in an overall 20-30% increase. However, future rate increases will be implemented on an incremental basis. The reason for this approach is to potentially minimize the financial impact to the rate payers while at the same time ensuring the utility has adequate cash flows to fund the plan.

ATTACHMENTS: Ordinance
 REPORT PREPARED BY: City Administration
 REPORT REVIEWED BY: CITY ADMINISTRATOR
 CITY CLERK
 RECOMMENDATION: Approve Ordinance.

J. CLAIMS

1. Abstract of bills No. 1961. Councilmember Van Stryland moved to approve, seconded by Councilmember Peterson. On roll call the vote was: AYES: Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

K. OTHER BUSINESS/*PUBLIC FORUM (any additional comments from the Public)

Comments were received and addressed.

L. CLOSED SESSION

1. At 7:24 p.m., Councilmember Vander Beek moved to enter into closed session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property, seconded by Councilmember Peterson. On roll call the vote was: AYES: Vander Beek, Peterson, De Jong, Bokhoven, Van Stryland. NAYS: None. At 7:37 p.m., Councilmember Vander Beek moved to reconvene to regular session, seconded by Councilmember De Jong. On roll call the vote was: AYES: Vander Beek, De Jong, Bokhoven, Van Stryland, Peterson. NAYS: None. Motion carried. No action was taken regarding this closed session.

2. At 7:38 p.m., Councilmember Vander Beek moved to enter into closed session pursuant to Iowa Code Chapter 21.5 1 (j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property, seconded by Councilmember Peterson. On roll call the vote was: AYES: Vander Beek, Peterson, De Jong, Bokhoven, Van Stryland. NAYS: None. At 8:00 p.m., Councilmember Peterson moved to reconvene to regular session, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Peterson, Vander Beek, Van Stryland, De Jong, Bokhoven. NAYS: None. Motion carried. No action was taken regarding this closed session.

M. ADJOURNMENT

There being no further business claiming their attention, Councilmember Bokhoven moved to adjourn, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Bokhoven, Vander Beek, Van Stryland, Peterson, De Jong. NAYS: None. Motion carried. Meeting adjourned at 8:05 p.m.

C-2-a

Policy and Planning Minutes
June 21, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Larry Peterson

ABSENT: Bruce Schiebout

OTHERS: None

No meeting was held.

Respectfully Submitted,
Ronda Brown, City Clerk



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: D-1a & 1b

SUBJECT: Amendments to Chapter 165 Zoning Regulations by Amending the Provisions Pertaining to 165.11 Zoning Classification of Uses, Table 165.12-2 Permitted Uses by Zoning Districts

DATE: July 5, 2016

BACKGROUND:

This proposed ordinance amendment would add additional housing definitions to the City Code. The purpose of the new definitions is to assist and provide guidance to housing developers.

Ordinance for Additional Housing Definitions

This proposed ordinance amendment adds the three housing definitions below. In addition, it also adds single family attached and townhome residential as permitted uses in the City zoning code.

(1.) *Single-Family Residential (Detached)*: A single-family residential use in which one dwelling unit is located on a single lot, with no physical or structural connection to any other dwelling unit.

(2.) *Single-Family Residential (Attached)*: A single-family residential use in which one dwelling unit is located on a single lot and is attached by a party wall to only one other adjacent dwelling unit on another single lot. Said party wall shall meet the requirements of the City's Building Code.

(3.) *Townhouse Residential*: The use of a site for three or more attached dwelling units, each occupied by one family and separated by party walls extending from foundation through roof without openings. Each townhouse unit must have at least two exposed exterior walls and be located on a separate lot. Said party walls shall meet the requirements of the City's Building Code.

The ordinance proposes to add Single-Family Attached to 165.12 12-2 Permitted Uses by Zoning Districts under Residential Uses with P for permitted use added under the R1A, R1B, R1C, R2 and R3 Districts. The R1A, R1B and R1C Districts are single family residential districts but which have somewhat smaller lot size requirements than the standard R1 District. The R2 District is the Two Family Residential Zoning District which permits both single family homes and duplexes while R3 is Multiple Family Residential.

The ordinance proposes to add Townhouse Residential to 165.12 12-2 Permitted Uses by Zoning District under Residential Uses with P for permitted use added under R3 District. The R3 is the Multiple Family Residential Zoning District.

Summary

Staff is recommending approval of this proposed ordinance amendment which would add additional housing definitions to the city code. It is important to note, the Planning and Zoning Commission approved the proposed amendment on a 10-0 vote at their June 27, 2016 meeting.

ATTACHMENTS: Ordinance

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve Ordinance.

ORDINANCE NO. 911

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING ORDINANCE, 165.11 CLASSIFICATION OF USES BY AMENDING THE PROVISIONS PERTAINING TO RESIDENTIAL USE TYPES AND AMENDING 165.12-2 PERMITTED USES

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. TEXT AMENDMENTS. The City Code of the City of Pella is hereby amended by deleting 165.11 2. Residential Use Types and replacing with the following:

165.11 CLASSIFICATION OF USES

2. Residential Use Types. Residential use types include uses providing wholly or primarily non-transient living accommodations. They exclude institutional living arrangements providing 24-hour skilled nursing or medical care, forced residence or therapeutic settings.

A. Single-Family Residential – the use of a site for one dwelling unit, occupied by one family. Mobile home units (manufactured homes not on permanent foundations) are not a single-family use type.

(1.) *Single-Family Residential (Detached)*: A single-family residential use in which one dwelling unit is located on a single lot, with no physical or structural connection to any other dwelling unit.

(2.) *Single-Family Residential (Attached)*: A single-family residential use in which one dwelling unit is located on a single lot and is attached by a party wall to only one other adjacent dwelling unit on another single lot. Said party wall shall meet the requirements of the City's Building Code

B. Duplex – the use of a legally described lot for two dwelling units, each occupied by one family within a single building, excluding manufactured or mobile home units, but including modular housing units.

C. Townhouse Residential - The use of a site for three or more attached dwelling units, each occupied by one family and separated by party walls extending from foundation through roof without openings. Each townhouse unit must have at least two exposed exterior walls and be located on a separate lot. Said party walls shall meet the requirements of the City's Building Code

D. Multiple-Family Residential – the use of a site for three or more dwelling units within one building in any vertical or horizontal arrangement or any number of units designed as part of a multi use building.

E. Group Residential – the use of a site for a residence by more than four unrelated persons, not defined as a family, on a weekly or longer basis. Typical uses would include fraternities, sororities or college dormitories.

F. Home Occupation / Home Office – an accessory use conducted entirely within a dwelling unit by its inhabitants, which is clearly incidental to the residential use of the dwelling unit or residential structure and does not change the residential character of its site. A home occupation or home office is a business, profession, occupation or trade conducted for gain or support.

G. Manufactured Home Residential – use of a site for one or more manufactured home dwellings.

H. Mobile Home Park – use of a site under single ownership for one or more mobile home units. Generally, the land on which mobile homes are placed in a mobile home park is leased from the owner of the facility.

I. Mobile Home Subdivision – division of a tract of land into lots that meet all the requirements of the City’s Subdivision Ordinance for the location of mobile homes. Generally, a lot within a mobile home subdivision is owned by the owner of the mobile home placed upon such lot.

J. Retirement Residence – a building or group of buildings which provides residential facilities for more than four residents of at least 55 years of age, or households headed by a householder of at least 55 years of age. A retirement residence may provide a range of residential building types and may also provide support services to residents, including but not limited to food service, general health supervision, medication services, housekeeping services, personal services, recreation facilities and transportation services. The retirement residence may accommodate food preparation in independent units or meal service in one or more common areas. Retirement residences may include additional health care supervision or nursing care.

The City Code of the City of Pella is hereby amended by adding Single-Family Attached to Table 165.12-2 Permitted Uses by Zoning Districts under Residential Uses with P for permitted use added under the R1A, R1B, R1C, R2 and R3 Districts.

The City Code of the City of Pella is hereby amended by adding Townhouse Residential to Table 165.12-2 Permitted Uses by Zoning District under Residential Uses with P for permitted use added under R3 District.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this ____ day of _____, 2016.

James Mueller, Mayor

ATTEST: _____
Ronda Brown, City Clerk



THE

CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: D-2a & 2b

SUBJECT: Amendments to Chapter 165 Zoning Regulations by Amending the Provisions Pertaining to Design Review in 165.16 and 165.17

DATE: July 5, 2016

BACKGROUND:

This proposed ordinance amendment would establish a design review district for new single and two family homes along the Washington Street and Main Street Corridors. This new design district is identified as the Dutch Residential District – Gateway Corridor (DURE-GC). Listed below is a summary of the main provisions of the design district:

- 1. Existing Design Review District for Residential Properties** - In considering this proposed design district, it is important to note new residential properties in the Central Business District are subject to design review standards. This design review district is identified as the Dutch Residential District Central Business District (DURE-CBD). The proposed design district is based on the same concepts utilized in the DURE-CBD.
- 2. Properties Subject to Review** - The properties subject to DURE-GC review would be residential properties along West Washington Street west of the DURE-CBD extending to the city limits and Washington Street east of the DURE-CBD to Hazel Street (see map). In addition, the new design district would extend south of the DURE-CBD along Main Street to Oskaloosa Street and north of the CURE-CBD to Elm Street (see map).
- 3. Design Review Permit** – The design standards under this proposed ordinance would be for new construction only:
 - A. Any new residential building (building used for residential purposes) or residential building addition, residential accessory structure.
 - B. It is important to note, setback requirements and other bulk regulations would be pursuant to the underlying base zoning district and Gateway Corridor Overlay District standards, including Section 165.18 D(4).
 - C. A design permit would be reviewed and issued by the Community Development Committee.

Revisions to the Dutch Residential Design District Manual

In order to accommodate the proposed Gateway Corridor Overlay District, staff is proposing modifications to the Dutch Residential Design District Manual which would be administered by the Community Development Committee. The main adjustment will be simply differentiating between design DURE-CBD and DURE-GC as per the proposed ordinance. The intention is to designate different design standards with the CBD area more traditional or Netherlands style Dutch. Likewise the Gateway Corridor area would include early 20th century residential styles. The intention for the Gateway Corridor Design Standards is to simply fit in with the existing neighborhood. Therefore, the proposed standards are less rigid than those in the CBD.

In addition, there is a proposed change to the Dutch Residential Design Manual in regards to garages and parking. Clarification language was added to emphasize the preference for garages to be installed in the rear yard. If it is not feasible to install a garage in the rear yard, they would be allowed to be attached to the housing unit as long as the garage is a minimum of five feet behind the front façade. The intention of this clarification is not to have the garage as the dominant feature of the front façade.

Summary

Staff is recommending approval of this proposed ordinance amendment which would establish a design review district for new single and two family homes along the Washington Street and Main Street Corridors. It is important to note, the Planning and Zoning Commission approved the proposed amendment on an 8-2 vote at their June 27, 2016 meeting.

ATTACHMENTS: Ordinance; Map, Proposed Design Manual

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve Ordinance.

ORDINANCE NO. 912

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING ORDINANCE, 165.16 DESIGN REVIEW DISTRICT AND 165.17 DUTCH RESIDENTIAL DISTRICT

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. TEXT AMENDMENTS. The City Code of the City of Pella is hereby amended by deleting 165.16 and 165.17 and replacing with the following:

165.16 DR – DESIGN REVIEW DISTRICT.

The (DR) Design Review District is intended to preserve and promote “Dutch Architecture” for commercial businesses. Development in the DR District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community.

1. Permitted Uses. Uses permitted in the DR Design Review Overlay District are those permitted in the underlying base district.

2. Applicability. A design review permit is required for the following activities:

A. Any new commercial building within the DR District, or any existing commercial building within the DR District for which architectural detail modifications are proposed, shall be reviewed for architectural compliance to Dutch Architectural themes or other historical significance. Architectural detail modifications subject to review include any construction, maintenance, repair, alterations, modifications, painting, repainting, signs, graphics, visual displays, outdoor furniture and fixtures.

B. A design review permit is not required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit.

C. The replacement of outdoor furniture, fixtures and visual displays that are consistent with a prior permit shall be exempt from a design review permit.

D. Single or two-family residential uses in a commercial zoned area are exempted from design review unless they are located in a DURE Overlay District.

3. Community Development Committee Review. A design permit is reviewed by a committee comprised of nine (9) members, who are appointed by the City Council. The committee shall be known as the Community Development Committee. Each member shall be appointed for a term of three (3) years and shall be eligible for reappointment. A Chairperson shall be chosen from the members to serve for one year. The Chairperson can be reelected provided that no more than three (3) consecutive years have been served. The Committee shall meet at least once a month or more frequently as required to adequately fulfill any required duties.

A. The Committee shall advise the Building Official concerning all applications for building permits or design permits within the Design Review District, and to act in an advisory capacity to the City Council and the Mayor in all matters pertaining in the development of the Business District.

B. The Community Development Committee shall have the authority to inform the various departments of the City of any violations regarding architectural details, materials or colors. The Committee shall recommend to these departments appropriate action in compliance with current ordinances that are in force at the time of violation; subject to appeal procedures.

C. The Committee shall have the authority to review design permits for the placement, repair, alterations, modification, painting or repainting of any sign, graphic, visual display or outdoor furniture or fixtures, and to make recommendations to the various departments of the City concerning such requests.

D. The Community Development Committee shall not have the authority to bind the City by contract.

A design permit shall be required for any change of use from residential to commercial in the Design Review District.

4. Building/Design Permits.

A. Whenever application is made for a building/design permit for any building within the Design Review District, the Building Official shall refer said application, together with the plan and specifications for the proposed work, to the Committee for its recommendations.

B. The Committee shall review the proposed plans and specifications. The review shall include the proposed appearance, colors, texture, materials and architectural design of the exterior, including the front, sides, rear and roof of said building, and also including all parts of the building that are in a visual line from all areas or any alterations, modification or repair or any courtyard, fence or dependency thereof. The *Design Review District Design Manual* shall be used by both the applicant and the Committee for determining permitted Dutch architectural elements and colors. Architectural elements or colors which are not specifically identified in the *Design Review District Design Manual* may only be used upon approval of the Community Development Committee. After due consideration, the Committee shall promptly report to the Building Official its recommendations, including such changes, if any, as in the judgment of the Committee are reasonably necessary to comply with the requirements of this section. The Building Official shall take no action on the application for a permit until the expiration of fourteen (14) days or until the Building Official has received the recommendation of the Committee in writing, whichever occurs first.

C. The Committee shall also review the proposed plans and specifications, so far as they relate to the placement, alteration, modifications, repair of any signs, graphic, visual display, outdoor furniture or fixtures with respect to the appearance, colors, texture, materials and architecture and design factors of the sign, visual display, outdoor furniture or fixture, including all parts of same that are visible from all areas.

5. Building/Design Permit Denial. If the Committee recommends denial of a building/design permit, said recommendation must be delivered to the Building Official, who shall notify the applicant that the building/design permit shall not be issued and the reason therefor. The Building Official may proceed with issuance of a building/design permit upon amendment of the application to conform with the recommendations of the Committee pursuant to the powers and duties of the Building Official. Any person denied a building/design permit by the Building Official pursuant to the recommendation of the Committee may appeal the denial within thirty (30) days after notification of the denial to the City Council.

6. Violations and Penalties. Any person who violates, disobeys, omits, neglects or refuses to comply with or who resists enforcement of any of the provisions of this section, upon conviction, shall be in violation of this Code of Ordinances and subject to penalty for each offense. Proceeding with any construction work or repair work requiring a permit without applying for a permit shall be considered an offense and punishable by the provisions of this section. All departments, officials and employees of the City who are vested with the duty or authority to

issue permits or licenses shall issue no such permit or license for any use, structure or purpose if the same would not conform to the provisions of this section.

7. Commercial Zoning District Rezoning. Any land rezoned to a commercial zoning district or annexed into the corporate limits as a commercial zoning district shall be concurrently rendered part of the DR Design Review Overlay District. The boundaries of the DR Design Review Overlay District shall be the same as the boundaries of the land that is being rezoned commercial.

8. Extraterritorial Zoning. Any land rezoned to a commercial zoning district as part of extraterritorial zoning jurisdiction shall be rendered part of the DR Design Review Overlay District concurrent with the adoption of extraterritorial zoning.

165.17 DURE – DUTCH RESIDENTIAL DISTRICT.

The (DURE) Dutch Residential District is intended to preserve and promote “Dutch Architecture” for new residential developments as well as to promote the long-term enhancement of residential properties in two areas of the community: (1) in and around the Central Business District (CBD), and (2) along Pella’s Gateway Corridors (GC). These two subdistricts of the DURE District shall be referenced as DURE-CBD and DURE-GC. Development in the DURE District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community.

1. Permitted Uses. Uses permitted in the DURE Dutch Residential District are those permitted in the underlying base district.

2. Properties Subject to DURE Review. The properties subject to DURE-CBD review is established as the former DURE central business district area. The properties subject to DURE-GC review are those properties in the West Washington Street west of the DURE-CBD to the City limits and Washington Street east of the DURE-CBD to Hazel Street; Main Street including south of the DURE-CBD to Oskaloosa Street in the South Main Street portion and north of the DURE-CBD to Elm Street; all of said areas part of the Gateway Corridor (GC) Overlay District areas that have frontage on those two streets and are either currently in residential use or on which residential buildings can be built under the current zoning.

3. Applicability. A design review permit is required for the following activities:

A. Any new residential building (building used for residential purposes) or residential building addition, residential accessory structure, a fence or wall associated with a structure used for residential purposes, or architectural modifications to existing residential buildings within the DURE District shall be reviewed for architectural compliance to Dutch Architectural themes. Architectural modifications for which design review is required include any construction, maintenance, repair, alterations, modifications, painting, or repainting.

B. A design permit is not required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit.

C. Exemptions. Residences in existence at the time of adoption of this Zoning Ordinance are hereby exempted from all the provisions of the DURE District. This exemption shall in no way exempt residential structures used for commercial purposes in commercial districts from the Design Review District requirements. Further, in such cases where an existing residence is demolished or destroyed and a new residential structure is to be constructed, all the requirements of the DURE District shall apply.

4. Design Permits. A design permit for the DURE District is reviewed by the Community Development Committee and Building Official following the same procedure as specified for a Design Review District design permit. Whenever application is made for a design permit for any building within the Dutch Residential District, the Building Official shall refer said application, together with the plan and specifications for the proposed work, to the Committee for its recommendations. The Committee shall review the proposed plans and specifications. The review shall include the proposed appearance, colors, texture, materials and architectural design of the exterior, including the front, sides, rear and roof of said building, and also including all parts of the building that are in a visual line from all areas or any alterations, modification or repair or any courtyard, fence or dependency thereof. The *Dutch Residential Design Manual* shall be used by both the applicant and the Committee for determining permitted Dutch architectural elements and colors. Architectural elements, colors or building styles which are not specifically identified in the *Dutch Residential Design Manual* may only be used upon approval by the Community Development Committee. After due consideration, the Committee shall promptly report to the Building Official its recommendations, including such changes, if any, as in the judgment of the Committee are reasonably necessary to comply with the requirements of this section. The Building Official shall take no action on the application for a permit until the expiration of fourteen (14) days or until the Building Official has received the recommendation of the Committee in writing, whichever occurs first.

5. DURE District Setbacks and Lot Coverage. Within the DURE-GC subdistrict, the front yard setback and other bulk regulations shall be pursuant to the underlying base zoning district and Gateway Corridor Overlay District standards, including Section 165.18 D(4). Within the DURE-CBD subdistrict, the intent of allowing lesser setbacks and smaller lot sizes than would otherwise be required by the underlying base zoning district is to develop in a manner that is more consistent with urban residential developments in the Netherlands which often have minimal setbacks and are in relatively close proximity compared to American standards. The following setbacks and lot coverage standards shall apply to all new residential construction in the DURE-CBD subdistrict except in the following situations:

A. Where the front setback has generally been already established by adjacent residential or commercial buildings. In such instances, the average front yard setback of structures within 200 feet shall apply. All other setback requirements and minimum green space requirements shall still apply if applicable per this section.

B. Where the setbacks listed below would require a greater setback than the base underlying zoning district requires (example: requiring a 3'6" side yard setback where no side yard setback is required by the underlying base zoning).

C. Where a new subdivision or residential development is being created in the DURE-CBD subdistrict and the Community Development Committee determines that other setback and lot coverage standards are acceptable while still consistent with Pella's Dutch heritage and the character of Dutch residential neighborhoods in the Netherlands. In no case, however, shall any setback or lot coverage standards determined by the Committee be more stringent than those of the underlying base district (example: requiring a larger setback than would be required in the underlying base zoning district).

D. Where the lot for new residential construction in the DURE-CBD subdistrict is an existing lot of record at the time of adoption of this zoning ordinance and there is no resubdivision or replatting of land as part of the new residential construction. In such cases, the minimum/maximum lot frontage requirements and the minimum lot area requirements of the

DURE-CBD subdistrict shall not apply. Setback requirements shall still apply where applicable per this section.

DURE-CBD Subdistrict Bulk Regulations:

Regulator

DURE-CBD

Minimum Lot Area (square feet)

One-family dwelling

Duplex/Townhouse

Multiple-family dwelling*

4,000 square feet

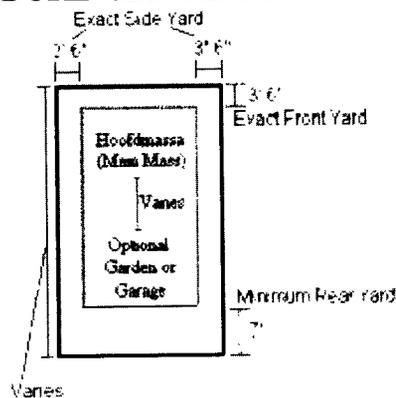
4,000 square feet

5,500 square feet

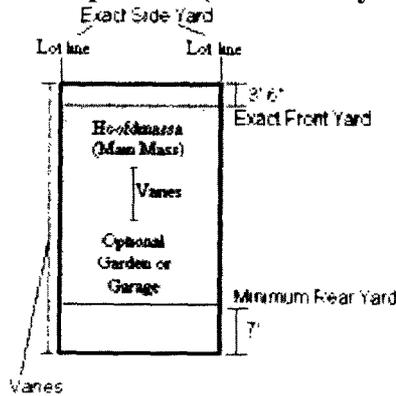
Minimum Lot Width (feet)	Minimum	Maximum
One-family dwelling	40	50
Duplex	40	80
Townhouse	40	None
Multi-Family	55	None

Minimum Yards (feet)	
Front Yard	3'6"*
Side Yard	3'6"* or lot line
Rear Yard	7' minimum
Minimum yards apply only where underlying base zoning district allows as a permitted use	
*Exact setback, not minimum for one-family only, all other uses—minimum	

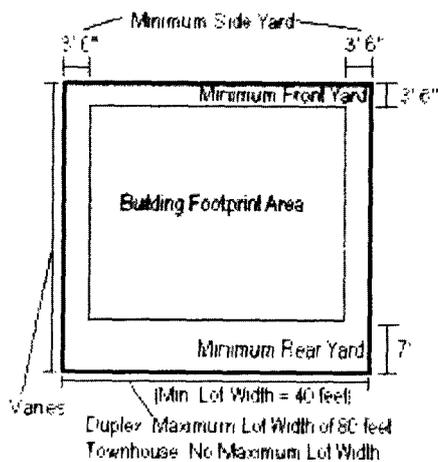
DURE-CBD Subdistrict Lot Setbacks



Lot Option A (One Family Dwelling)



Lot Option B (One Family Dwelling)



Lot Option C (Townhouse or Duplex)

6. DURE District Garages and Other Accessory Structures.

A. Garages and other accessory structures for one-family structures are permitted only on the side of the building footprint area facing the rear yard. In no case shall a garage or accessory structure be located closer to the rear property line or alley than five (5) feet. Parking for one-family residences shall be in a garage or hard-surfaced parking area situated to the rear of the main structure with access to an alley. Existing lots of record at the time of adoption of this Zoning Ordinance, including resubdivisions thereto, are exempt from the alley requirement when no alley is accessible. The preferred alternative in this situation is to locate the garage or parking area to the rear of the main structure, accessed from the street by a driveway alongside the house. If this is not feasible, an attached garage can be considered, provided the garage is recessed a minimum of five feet behind the front facade. The intent is that the garage not be the dominant element of the façade.

B. Garages for duplex, townhouse and multi-family structures are also preferred to be located in the rear yard, accessed by a driveway alongside the dwelling. If this arrangement is not feasible, garages may be permitted on the front side of the structure facing the street provided that they are attached to the main structure and have a minimum recess of five feet behind the front facade. The intent is that the garage not be the dominant element of the façade.

7. Design Permit Denial. If the Committee recommends denial of a design permit, said recommendation must be delivered to the Building Official, who shall notify the applicant that

the design permit shall not be issued and the reason therefor. The Building Official may proceed with issuance of a design permit upon amendment of the application to conform with the recommendations of the Committee pursuant to the powers and duties of the Building Official. Any person denied a design permit by the Building Official pursuant to the recommendation of the Committee may appeal the denial within thirty (30) days after notification of the denial to the City Council.

8. **Violations and Penalties.** Any person who violates, disobeys, omits, neglects or refuses to comply with or who resists enforcement of any of the provisions of this section, upon conviction, shall be in violation of this Code of Ordinances and subject to penalty for each offense. Proceeding with any construction work or repair work requiring a permit without applying for a permit shall be considered an offense and punishable by the provisions of this section. All departments, officials and employees of the City who are vested with the duty or authority to issue permits or licenses shall issue no such permit or license for any use, structure or purpose if the same would not conform to the provisions of this section.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this ____ day of _____, 2016.

James Mueller, Mayor

ATTEST: _____

Ronda Brown, City Clerk



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PROPOSED REVISION TO INCORPORATE GATEWAY CORRIDORS

Gary Lozano, RDG 040616

This manual is meant to be used in conjunction with the Dutch Residential (DURE) Overlay District regulations of the Pella Zoning Ordinance. Please also refer to the DURE District regulations as these zoning regulations shall apply for Dutch Residential in conjunction with Community Development Committee review.

Purpose

The Dutch Residential (DURE) District is intended to preserve and promote “Dutch Architecture” for new residential developments as well as to promote the long term enhancement of residential properties in and around the downtown and along Pella’s gateway corridors. Development in the DURE District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community and seek to capture the essence of residential neighborhoods found in the Netherlands. This design manual used in conjunction with the DURE District regulations in the Pella Zoning Ordinance provides a unique framework to allow developers to have significantly reduced minimum lot size and building setback requirements in exchange for the requirement of Dutch residential architecture.

Community Development Committee

The Community Development Committee (CDC) was established by the City Council to oversee Dutch Architecture review. The CDC is a design review committee that reviews new building, additions, exterior modifications and repainting in the Design Review (DR) District and the DURE District. A Design Permit is required for any such modifications or new construction in the DR and DURE Districts. No building permit will be issued until the Community Development Committee approves the architectural design of the proposed new building or modifications.



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Pictorial Examples of Dutch Residential Architecture



This design manual used in conjunction with the DURE District regulations in the Pella Zoning Ordinance provides a unique framework to allow developers to have significantly reduced minimum lot size and building setback requirements in exchange for the requirement of Dutch residential architecture.



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I. DESIGN REVIEW STANDARDS FOR THE DURE-CBD SUBDISTRICT

The following design review standards are applicable to the Central Business District subdistrict of the Dutch Residential Overlay District. It is intended that the more stringent standards for consistency with traditional Dutch residential architecture be applied in the CBD area. These standards are required to assure consistency and compatibility with the high-quality existing architecture. Also, in the CBD there will be more intense, larger-scale development, including mixed residential/commercial projects. These projects can greatly impact perceptions of the Central Business District and therefore warrant the application of quality architectural standards.

A. Typical Dutch Residential Elements

The elements listed below are representative of typical Dutch Residential elements. The following are acceptable elements, upon review and approval of the Community Development Committee. Other architectural elements may be allowed upon approval of the Community Development Committee.

- Red colored brick
- Stucco (in some cases)
- Gable
- Steep roof
- Different bonds of masonry
- Mixture of brick and concrete elements
- Geometric decorations
- Keystoning
- Mullions
- Bay windows
- Stucco decoration around windows
- Stucco decoration around entry door
- Fascia
- Dormers
- Faux shutters or real shutters
- Hip treatments
- Steps
- Railings
- Pedestrian lighting

B. Architectural Facades, Exterior Walls and Elevations

Brick is the primary acceptable exterior wall material. Stucco-like material and wood are also acceptable in some instances but shall be treated only as an exception. Wall material selection shall be approved by the Community Development Committee.



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Building facades of all residential buildings shall be consistent with the character, massing, volume, and materials of the building typology. Variety in building massing is encouraged for non-street fronting portions of the building as this is often found in residential districts in the Netherlands.

C. Roofs

Roof styles and pitches for residential buildings shall be in a manner consistent with the building typology. Flat roofs on the main body of residential structures are generally prohibited. Sloped and steeped roofs are strongly encouraged.

Clay tile, imitation clay tile or slate are the primary acceptable roof materials for sloped roofs on all buildings in the Dutch Residential District. Roof tile or slate selection or deviation from this primary acceptable standard shall be approved by the Community Development Committee.

Skylights, solar collectors, or other rooftop equipment must be integrated as part of the roof design. Roof mounted equipment, including any satellite or television dishes or antennae, are generally prohibited. Antennae or satellite dishes shall be placed in the rear yard and screened from view from public streets or pedestrian areas.

II. DESIGN REVIEW STANDARDS FOR THE DURE-GC SUBDISTRICT

The intent of the application of residential design standards in Pella's Gateway Corridors is to both promote the community's Dutch heritage and to insure compatibility with the existing character of residential development. There are many examples of existing residential development along the Gateway Corridors that exhibit Dutch residential architecture elements. However, other early 20th century residential styles are also evident along the corridors; primarily Colonial Revival and Craftsman. It is not the intent here to prepare an academic categorization of existing homes by historical period or style. What is important is the identification of architectural elements that can be deemed acceptable for new construction or architectural modification requests.

The DURE-CBD design standards above require utilization of specific materials characteristic of Dutch residential architecture. Within the Gateway Corridors, the approach is to require incorporation of specific Dutch or "period-compatible" housing style elements, while permitting use of typical residential construction materials. The following sections identify the appropriate housing style elements that should be exhibited in proposed development along Pella's Gateway Corridors.

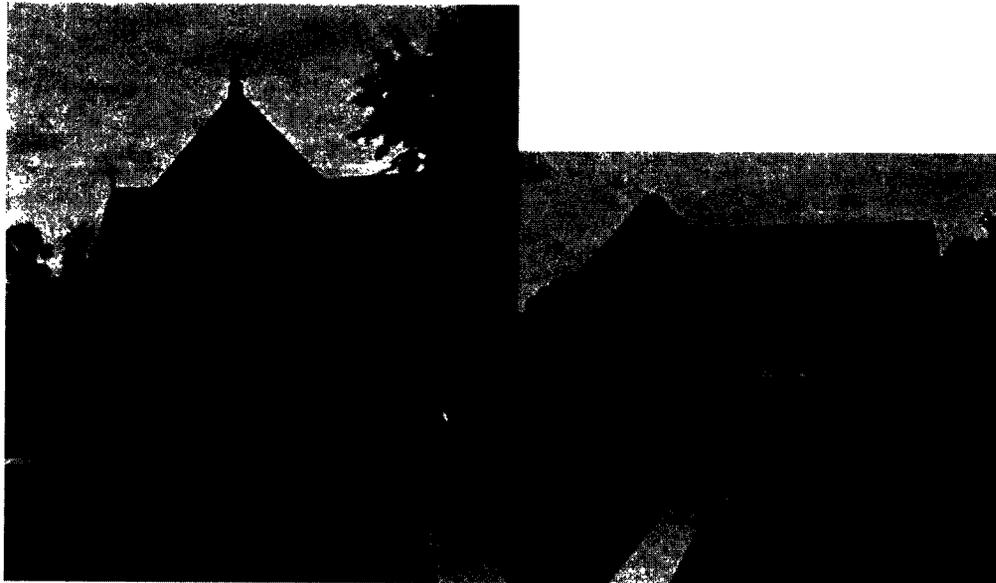
The following house style elements are deemed appropriate for new development and to provide a guide for the review of proposed home modifications within the Gateway Corridors. The bulleted elements under each style are deemed acceptable, upon review



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and approval of the Community Development Committee. Other architectural elements may be allowed upon approval of the Community Development Committee.

A. Pella Early Dutch Eclectic



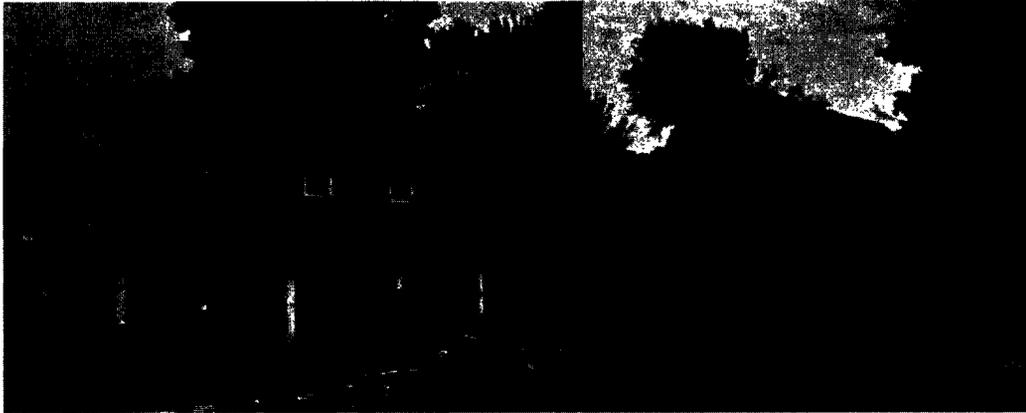
While not conforming to a generally-recognized style, the above homes are characteristic of a number of residences along the corridors. The style elements include:

- Red colored brick or wood siding
- Gable
- Steep roof
- Tall, narrow windows, often in pairs, arched and with mullions



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B. Dutch Colonial Revival



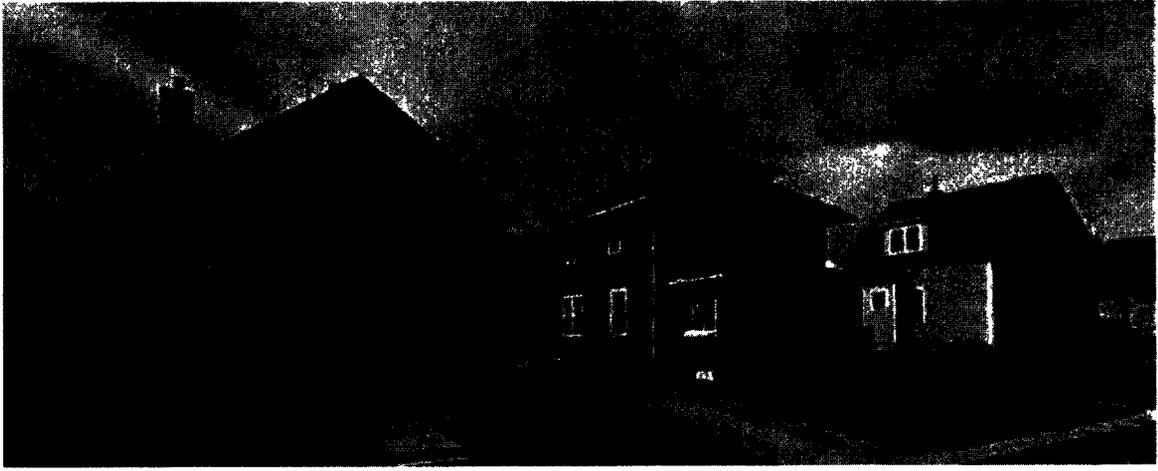
The first three homes above are located along Washington St. in Pella. The fourth (lower right) is included to show a “typical” Dutch colonial revival home. The typical design elements of this style include:

- ❑ Wood siding or red brick walls
- ❑ Steep gambrel roof
- ❑ Flared eaves
- ❑ Continuous dormer
- ❑ Side wall orientation to street, with entrance in middle
- ❑ Federal or Georgian entrance detail



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C. Colonial Revival Reference



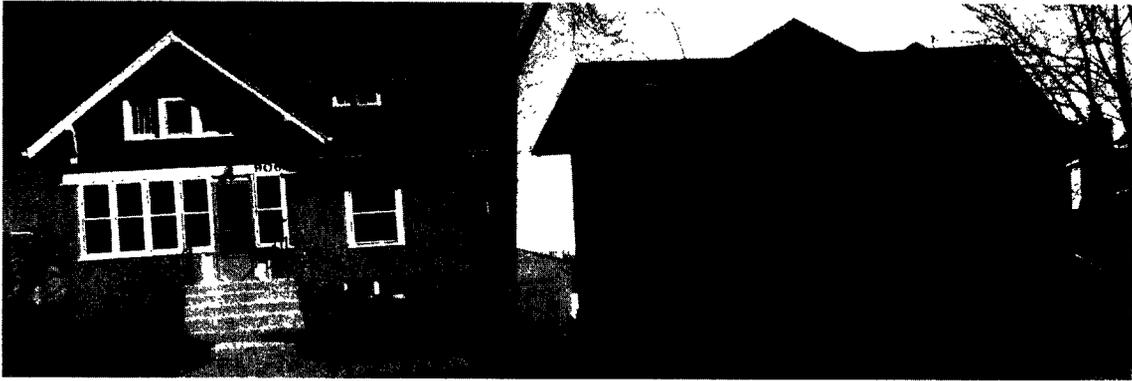
This style covers a wide range of houses along the corridor. While these homes are not good “textbook” examples of the Colonial Revival style, they do exhibit some of the style characteristics. The following are typical elements of the Colonial Revival style.

- Symmetrical façade
- Rectangular
- 2 stories
- Brick or wood siding
- Simple, classical detailing
- Gable roof
- Pillars and columns
- Multi-pane, double-hung windows with shutters
- Dormers
- Temple-like entrance: porticos topped by pediment
- Fireplaces

D. Craftsman



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Typical elements of the Craftsman style include:

- ❑ A low-pitched, gabled roof.
- ❑ A front porch
- ❑ Tapered columns
- ❑ A partially paned door
- ❑ Multi-pane instead of single-pane windows
- ❑ Earthy colors
- ❑ Single dormers
- ❑ Stone details
- ❑ Exposed rafter tails and beams under deep roof eaves.
- ❑ Knee braces

III. DESIGN REVIEW STANDARDS APPLICABLE TO BOTH THE DURE-CBD AND DURE-GC SUBDISTRICTS

A. Garages

Single Family Dutch Residential:

Garage door widths shall not exceed nine (9) feet. No more than two garage doors shall be permitted per residential lot in the DURE-CBD area and no more than three garage doors in the DURE-GC area. Garage doors shall be designed so as to be compatible with the architectural character of the residence. Garages and other accessory structures are permitted only on the side of the main structure facing the rear yard. In no case shall a garage or accessory structure be located closer than five (5) feet to the rear property line or alley or located within the side yard setbacks. Parking for residences shall be in a garage or hard surfaced parking area situated to the rear of the main structure with access to an alley. Existing lots of record, including resubdivisions thereto, in the DURE district around the downtown are exempt from the alley requirement when no alley is accessible. The preferred alternative in this situation is to locate the garage or parking area to the rear of the main structure, accessed from the street by a driveway alongside the house. If this is not feasible, an attached garage can be considered, provided the garage is recessed a minimum of 5 feet behind the front facade. The intent is that the garage not be the dominant element of the façade.



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Duplex or Townhouse Dutch Residential: Garages for duplex, townhouse and multifamily structures are also preferred to be located in the rear yard, accessed by a driveway alongside the dwelling. If this arrangement is not feasible, garages may be permitted on the front side of the structure facing the street provided that they are attached to the main structure and have a minimum recess of 5 feet behind the front facade. The intent is that the garage not be the dominant element of the façade.

B. Alleys

Alleys as part of a new residential subdivision in the DURE-CBD Subdistrict in general are encouraged. Alleys are required for new one family Dutch residential developments except for existing lots of record in the DURE-CBD subdistrict around the downtown.

C. Screened Porches or Patio Enclosures

Screened enclosures are permitted only within the interior areas of the site and not along the front or other street-fronting facades. All screened enclosures shall be approved by the Community Development Committee.

D. Variety in Design

Variety in architectural design, including building floor plan, ornamentation and colors is strongly encouraged. New residential subdivisions which are created under a DURE District are especially encouraged to have a variety of architecture.

E. Architectural Colors

The most delicate feature of Dutch Architecture expression is color.



The most delicate feature of Dutch Architecture expression is color. All painted and material colors should be representative of the respective residential building typology and avoid bright, harsh, bold, or invasive pigmentation. Colors shall be chosen from the *Dutch Color Palette*. Other color selections may only be used upon approval of the Community Development Committee. The color of roofing and siding materials is extremely important. Selection shall be made from a limited palette as described in the *Dutch Color Palette*. Both initial and weathered color characteristics should be considered when selecting specific colors. Other color selections or building material selections may only be used upon approval of the Community Development Committee. All specific colors, both before initial construction and subsequent repainting are subject to Community Development Committee approval.

Dutch Color Palette Index of Pantone Colors



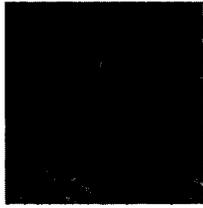
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Reds	Yellows	Greens	Greens	Blues	Blues	Blues	Browns	Trim colors
1797C	7401U	555C	578U	5463C	307U	657U	4625U	871U
1807C	7402U	347C	579U	5473C	308U	658U	4695C	872U
485C	7403U	348C	580U	5483C	309U	659U	462C	873U
201C	7404U	349C		5493C	3105U	660U	463C	874U
202C	7405U	350C	Blues	5503C	3115U	661U	4625C	875U
1795C	7406U	371C	7474U	5513C	3125U	662U	4635C	876U
7420C	7407U	621C	7475U	5523C	3145U		4645C	877U
186C	7499U	622C	7476U	642C	3155U	Violets	4655C	
187C	7506C	623C	7477U	643C	3165U	2665U	4665C	Greys
188C	7508C	624C	7474C	644C	539U	2685U	4675C	Cool grey 1U
	7411C	625C	7475C	645C	540U	2695U	4685C	Cool grey 2U
Orange	141C	626C	7476C	646C	541U	2735U	726C	Cool grey 3U
173C	1205C	627C	7477C	647C	542U	2745U	727C	Cool grey 4U
174C	1215C	5605C	327U	648C	543U	2755U	728C	Cool grey 5U
175C		5615C	328U	649C	544U	2765U	729C	Cool grey 6U
158C		5625C	329U	650C	545U	663U	730C	Cool grey 7U
159C		5635C	330U	651C	5463U	664U	731C	Cool grey 8U
160C		5645C	539C	652C	5473U	665U	732C	Cool grey 9U
158U		5655C	540C	653C	5483U	666U	719U	Cool grey 10U
159U		5665C	541C	654C	5493U	667U	720U	Cool grey 11U
160U		448C	542C	655C	5503U	668U	721U	420C
		449C	543C	283U	5513U	669U	722U	421C
		450C	544C	284U	5523U	256U	723U	422C
		451C	545C	285U	628U	257U	724U	423C
		452C	5395C	286U	629U	258U	725U	424C
		453C	5405C	287U	630U	259U		425C
		454C	5415C	288U	631U	260U		426C
		5743C	5425C	289U	632U	261U		
		5753C	5435C	290U	633U	262U		
		5763C	5445C	291U	634U	7443C		
		5773C	5455C	292U	642U	7444C		
		5783C	546C	293U	643U	7445C		
		5793C	547C	294U	644U	7446C		
		5803C	548C	295U	645U	7447C		
		574U	549C	296U	646U	7448C		
		575U	550C	304U	647U	7449C		
		576U	551C	305U	648U			
		577U	552C	306U	656U			

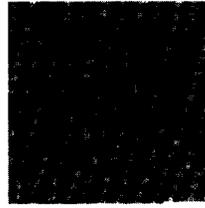
Dutch Residential (DURE-CBD) Overlay District Roof Tiles and Brick Palette



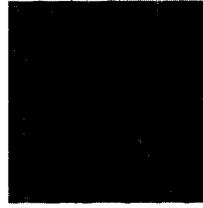
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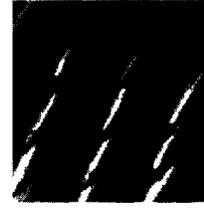
Roof Tile 01



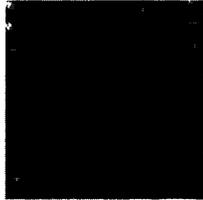
Roof Tile 02



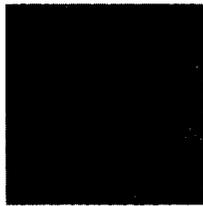
Roof Tile 03



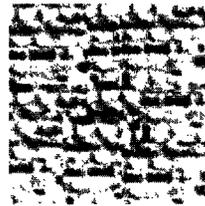
Roof Tile 04



Roof Tile 05



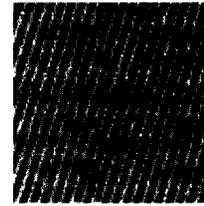
Brick 01



Brick 02



Brick 03



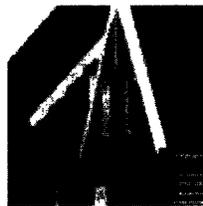
Brick 04

*Other roof or exterior materials may be approved by the Community Development Committee provided they are in keeping with residential Dutch architecture

Combinations - Examples



Brick 04/Roof Tile 03



White 04/Green 05/Roof Tile 05



Brown 02/Brick 03

Other Resources



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Amsterdam Heritage web page (www.bmz.amsterdam.nl/adam/intro/intro.html)

This web resource has excellent pictorial and descriptive data on Dutch architecture. If web page address changes, you can use search engines to look for “Amsterdam Heritage” or “Dutch Architecture”.

Pella web page: www.cityofpella.com

Pella’s own web page can provide additional contextual information for those unfamiliar with Pella.



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: E-1

SUBJECT: Marion County Habitat for Humanity Brook Circle Park Presentation

DATE: July 5, 2016

BACKGROUND:

Lisa Crabbs, Executive Director for Marion County Habitat for Humanity, will provide an update on the Brook Circle Park Improvement Project. This project was a partnership between Habitat for Humanity, Wellmark Foundation, Pella Boy Scouts and the City of Pella.

ATTACHMENTS: None

REPORT PREPARED BY: Community Service Director

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: No Action



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: H-1

SUBJECT: Resolution Ordering Specifications, Form of Contract, Notice to Bidders, Setting the Public Hearing, and Authorizing the Taking of Bids and Authorizing Bid Opening in Connection with “Furnishing Water System Materials—Vermeer Road Utility Project, Pella, Iowa”

DATE: July 5, 2016

BACKGROUND: This resolution sets the public hearing date as June 19, 2016 and authorizes the taking of bids for the materials necessary to construct an extension of water main on Vermeer Road running east-west from 240th Street to 250th Street and north-south beginning at 250th Street and running north 970 feet. This project is expected to be constructed through a development agreement with Vermeer Corporation, scheduled to be presented at a future Council meeting, by which the City of Pella will publicly bid and purchase the necessary materials and Vermeer Corporation will construct the project in accordance with City approved plans and specification.

This project was included in the FY 2017 budget and should greatly improve the City’s water infrastructure in this area. It should also be noted, this improvement will accommodate future development in the area, should it occur.

Critical dates have been identified as:

July 14, 2016 - Bid Opening at 10:00 am at City Hall
July 19, 2016 - Public Hearing and Award at 7:00 p.m.

As noted above, this project is expected to be a joint project between the City of Pella and Vermeer for which the terms and conditions of the project will be incorporated into a development agreement and presented to the Council for approval at a future Council meeting. The engineer’s estimate of the project, were the City to undertake the project alone through the utilization of a private contractor, is approximately \$500,000. Given the partnership with Vermeer Corporation, the City’s total estimated cost, which will only include materials, is estimated at \$246,000. It should be noted that the project is expected to get underway immediately following the award of bids and will likely be completed by the fall of 2016.

Given the significant savings associated with the development agreement and the improved service associated with this project, staff is recommending Council approve the resolution ordering specifications, form of contract, notice to bidders, setting the public hearing and authorizing bid opening in connection with “Furnishing Water System Materials--Vermeer Road Utility Project—Pella, Iowa”.

ATTACHMENTS: Resolution, Bid Specifications

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

RESOLUTION NO. 5706

RESOLUTION ORDERING THE PREPARATION OF PLANS AND SPECIFICATIONS, FORM OF CONTRACT, NOTICE OF HEARING AND LETTING, SETTING DATE FOR PUBLIC HEARING, AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING WATER SYSTEM MATERIALS—VERMEER ROAD UTILITY PROJECT--PELLA, IA.

WHEREAS, the City Council has deemed it advisable and necessary to construct certain improvements described in general as “Furnishing Water System Materials--Vermeer Road Utility Project—Pella, Iowa”, and has caused to be prepared plans, specifications and form of contract, on file in the office of Public Works for public inspection, for the construction of said improvements, and said plans, specifications and form of contract are deemed suitable for the making of said improvements; and,

WHEREAS, before said plans, specifications, form of contract are entered into, it is necessary, pursuant to Division VI of Chapter 384 of the Code of Iowa, to hold a public hearing and to advertise for bids.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That it is hereby determined that it is necessary and advisable to construct improvements described in general as “Furnishing Water System Materials--Vermeer Road Utility Project--Pella, Iowa”, in the manner set forth in the plans and specifications and form of contract, above referred to, the cost thereof to be paid in accordance with the provisions as set out in the Notice of Hearing and Letting, said improvements being more generally described as follows:

Materials necessary for the construction of a new 12” water main construction along Vermeer Road from 240th Place to 250th Street and along 250th Street from Vermeer Road to 900 feet north.

Section 2. That the amount of bid security to accompany each bid shall be in an amount which shall conform to the provisions of the notice of hearing and letting approved as a part of said specifications; and,

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to post notice of letting once in a relevant contractor plan room service with statewide circulation, in a relevant construction lead generating service with statewide circulation and an internet site sponsored by the City. Postings shall be not less than thirteen days nor more than forty-five days prior to July 14, 2016, which is hereby fixed as the date for receiving bids. Said bids are to be filed prior to 10:00 a.m. on said date; and,

BE IT FURTHER RESOLVED, that the City Clerk is hereby designated as the authority to receive and open said bids on behalf of the City of Pella, Iowa; and,

BE IT FURTHER RESOLVED, that bids shall be received and reviewed at a public meeting as provided in the notice of hearing and letting and the results of said bids shall be considered at a meeting of this Council on July 19, 2016 at 7:00 o'clock p.m.; and,

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to publish notice of hearing once in said newspaper, said publication to be not less than four days nor more than twenty days prior to the date hereinafter fixed as the date for a public hearing on the final plans, specifications, form of contract and estimate of costs for said project, said hearing to be at 7:00 o'clock p.m. on July 19, 2016.

PASSED and ADOPTED this 5th day of July, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

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BIDDING DOCUMENTS
FOR
FURNISHING WATER SYSTEM MATERIALS
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA
2016

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**FURNISHING WATER SYSTEM MATERIALS
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA
2016**

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Proposal	00300-1 through 00300-3
Bidder Status Form	Iowa Administrative Code
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BIDDING DOCUMENTS
FURNISHING WATER SYSTEM MATERIALS
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA
2016

	<p>I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.</p> <hr/> <p>Bradley J. Uitermarkt, P.E. Date License Number: 16716 My license renewal date is December 31, 2016</p> <p>Page or sheets covered by this seal: All Pages</p> <hr/> <hr/> <hr/>
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Prepared by
GARDEN & ASSOCIATES, LTD.
1701 3rd Avenue East, Suite 1
PO Box 451
Oskaloosa, Iowa 52577
641-672-2526

NOTICE OF LETTING

Notice is hereby given that sealed bids will be received by the City Clerk for **City of Pella, Iowa**, at the City offices at 825 Broadway, Pella, IA 50219 before **10:00 AM** on **July 14, 2016** for Furnishing Water System Materials for the City of Pella, Iowa. At said time and place, bids will be publicly opened, read and considered by the City Council at a subsequent meeting to be held on July 19, 2016 at 7:00 PM. At said meeting, or at a later time and place as will then be fixed, the Council will act upon the bids.

The materials generally consist of the following:

Water Main, Trenchless, RJ-C900 DR 18 PVC, 12"- 5,650 LF; Water Main, Trenched, C900 DR 18 PVC, 6" – 500 LF; Gate Valve, 6" MJ – 20 EA; Gate Valve, 12" MJ – 7 EA; Stainless Steel Tapping Valve, 12"x12" MJ – 1 EA; Stainless Steel Tapping Valve, 8"x8" MJ – 1 EA, Fire Hydrant-5 ¼ x 5 ½' Bury Clow "Medallion" or Mueller "Super Centurion" – 13 EA; 6" x 12" Holding Spool – 13 EA; 6" MJ Tee – 7 EA; 12" MJ Tee – 2 EA; 12" x 6" MJ Anchor Tee – 13 EA; 12" Cap – 2 EA; Reducer, 12"x8" MJ – 1 EA; 12" Couplers – 6 EA; Tracer Wire 6,500 LF; Retainer Glands "Grip Rings", 6" – 92 EA; Retainer Glands "Grip Rings", 8" – 1 EA; Retainer Glands "Grip Rings", 12" – 47 EA.

The above material shall be in accordance with the specifications and proposed form of material agreement no on file in the City offices in said City of Pella, Iowa, by this reference made a part hereof, as though fully set out and incorporated herein.

Material suppliers desiring a copy of the bid forms and specifications for individual use may obtain them from the office of the Engineer, Garden & Associates, Ltd., P.O. Box 451, 1701 3rd Avenue East, Suite 1, Oskaloosa, IA 52577, telephone 641-672-2526, no deposit is required.

Bids shall be submitted on a unit price basis as stated on the Bid Form.

Each Bid shall be made out on a blank form furnished by the City and must contain either (1) a cashier's check or draft or check or share draft certified and drawn on a solvent State or National bank, in an amount equal to ten percent (10%) of the amount of the Bid; or (2) a bid bond executed by a corporation authorized to contract as surety in the State of Iowa, in an amount not less than ten percent (10%) of the amount of the Bid. The bid security shall be made payable to the City of Pella, Iowa. The bid security must not contain any conditions either in the body or as an endorsement thereon. Such bid security shall be forfeited to the Utility as liquidated damages in the event the successful bidder fails or refuses to enter into a material agreement within ten (10) days after the award of the material agreement and post a satisfactory Performance Bond.

Payment to the Supplier will be made on the basis of one hundred percent (100%) of the base bid with in thirty (30) days of receipt of the materials in acceptable condition and associated invoice.

Delivery of the materials may start after execution of Material Agreement. All materials shall be delivered by the dates set in the Specifications.

By virtue of statutory authority, a preference will be given to products and provisions grown, and coal produced with the State of Iowa, and preference shall be given to Iowa domestic labor in the construction of said improvements.

The City may award the material agreement to the lowest responsive, responsible bidder meeting specifications. The City reserves the right to defer acceptance of any bid for a period not to exceed thirty (30) days after the date bids are received and no bid may be withdrawn during this period. The Council also reserves the right to waive irregularities and to reject any or all bids.

Date this 29th day of June, 2016.

CITY OF PELLA, IOWA

BY Ronda Brown
City Clerk

NOTICE OF PUBLIC HEARING

The City Council of Pella, Iowa, will hold a public hearing on the proposed Plans and Specifications, form of material agreement and estimate of cost for **“Furnishing Water System Materials – Vermeer Road Utility Project - Pella, Iowa”** and as described in detail in the Plans and Specifications for said materials now on file in the office of the City Clerk.

The public hearing will be held at **7:00 o’clock p.m. on the 19th day of July, 2016**, in the Council Chambers, Public Safety Complex, 614 Main Street, Pella, Iowa. The City of Pella reserves the right to reject any and all bids. At said hearing any interested person may appear and file objections thereto or to the cost of the improvements. At the hearing, the City will receive and consider any objections made by any interested party, to the Plans and Specifications, proposed form of Material Agreement, and the estimate of cost for the project.

CITY OF PELLA, IOWA

By: _____
James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

Bid Date: July 14, 2016
Time: 10:00 AM

INSTRUCTIONS TO BIDDERS

Project Name FURNISHING WATER SYSTEM MATERIALS
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA

The work comprising the above referenced project shall be constructed in accordance with the 2016 edition of the Urban Standard Specifications for Public Improvements, and as further modified by supplemental specifications and special provision included in the material agreement documents. The terms used in the material agreement revision of the documents are defined in said Standard Specifications. Before submitting your bid, please review the requirements of Division One, General Provisions and Covenants, in particular the sections regarding proposal requirements, bonding, material agreement execution and insurance requirements. Please be certain that all documents have been completed properly, as failure to complete and sign all documents and to comply with the requirements listed below can cause your bid not to be read.

I. BID SECURITY

The bid security must be in the minimum amount of 10% of the total bid amount including all add alternates (do not deduct the amount of deduct alternates). Bid security shall be in the form of a cashier's check, a certified check, or a bank money order drawn on a FDIC insured bank in Iowa or drawn on a FDIC insured bank chartered under the laws of the United States; or a certified share draft drawn on a credit union in Iowa of chartered under the laws of the United States; or a bid bond executed by a corporation authorized to material agreement as a surety in Iowa or satisfactory to the City of Pella, Iowa. The bid bond must be submitted on the enclosed Bid Bond form as no other bid bond forms are acceptable. All signatures on the bid bond must be original signatures in ink; facsimile (fax) of any signature on the bid bond is not acceptable. Bid security other than said bid bond shall be made payable to the City of Pella, Iowa. "Official Checks", "Miscellaneous Bank Checks", and personal checks, as well as "Money Orders" and "Traveler's Checks" issued by persons, firms or corporations licensed under Chapter 533B of the Iowa Code, are not acceptable bid security.

II. SUBMISSION OF THE PROPOSAL AND IDENTITY OF BIDDER

- A. The proposal shall be sealed in an envelope, properly identified as the Proposal with the project title and the name and address of the bidder, and deposited with the City of Pella, Iowa, at or before the time and at the place provided in the Notice to Bidders. It is the sole responsibility of the bidder to see that its proposal is delivered to the City prior to the time for opening bids, along with the appropriate bid security sealed in the separate envelope identified as Bid

Security and attached to the outside of the bid proposal envelope. Any proposal received after the scheduled time for the receiving of proposals will be returned to the bidder unopened and will not be considered. If the City provides envelopes for proposals and bid security, bidders shall be required to utilize such envelopes in the submission of their bids.

B. The following documents shall be completed, signed and returned in the Proposal envelope. The bid cannot be read if any of these documents are omitted from the Proposal envelope.

1. PROPOSAL – Complete each of the following parts:

- Part B – Acknowledgment of Addenda, if any have been issued;
- Part C – Bid Items, Quantities and Prices;
- Part F – Additional Requirements;

The following documents which are proposal attachments, must be completed and attached:

<u>ITEM NO.</u>	<u>DESCRIPTION OF ATTACHMENT</u>
1.	<u>Bidder Status Form</u>
2.	_____
3.	_____
4.	_____
5.	_____
6.	_____

- Part G – Identity of Bidder;

sign the proposal; and have the signature notarized. The signature on the proposal and all proposal attachments must be an original signature in ink signed by the same individual who is the Company Owner or an authorized Officer of the Company; copies or facsimile of any signature will not be accepted.

The following documents must be submitted as printed. No alterations, additions, or deletions are permitted. If the Bidder notes a requirement in the material agreement documents which the Bidder believes will require a conditioned or unsolicited alternate bid, the Bidder must immediately notify the Engineer in writing. The Engineer will issue any necessary interpretation by an addendum.

III. PERFORMANCE BOND

The Bidder to whom the material agreement is awarded shall furnish a Performance Bond in an amount equal to the total amount of the bid guaranteeing the faithful performance of the work in accordance with the terms of the material agreement. Such bond shall be with a surety company authorized to do business in the State of Iowa and in form acceptable to the Owner.

IV. EXECUTION OF MATERIAL AGREEMENT

The Bidder to whom the material agreement has been awarded shall enter into material agreement with the City within ten (10) days after the award has been made. No bid shall be considered binding upon the City until the material agreement is properly executed by both parties and the material agreement bond filed.

The material agreement, when executed, shall be combined with all the Material Agreement documents identified in the Material Agreement representing the entire agreement between parties. The Bidder shall not claim any modification resulting from representation or promise made by representative of the owner or other persons.

V. SHOP DRAWINGS

Approval drawings will be required to verify compliance with the specifications. Drawings shall be submitted to the Engineer within 10 days of the Notice of Award.

VI. MATERIAL DELIVERIES

Materials specified within shall be purchased FOB, Pella, Iowa, Freight prepaid and included in quoted price. Materials shall be shipped in total or in truckload lots, minimum. Deliveries shall be arranged with the Owner. Acceptable delivery times are 8:00 a.m. to 3:00 p.m., Monday through Friday, working days only.

The Owner agrees to work in good faith with the Supplier to adjust the delivery schedule for any delays attributed to circumstances beyond the Supplier's control, including acts of God, acts of government, and related circumstances. Actions that cause delivery delays that are under the control of the Supplier are failure to allow sufficient time for manufacturing, failure to inform the Engineer of changes in the manufacturing schedule, or lack of cooperation in establishing effective measures by which delays could be minimized.

VII. WARRANTY

The Supplier shall warrant that the materials included in the material agreement are free of defects for one (1) year from the delivery date. The Supplier shall repair or replace any materials found to be defective at no cost to the Owner. Any costs incurred by the Owner due to defective materials supplied by the Supplier shall be reimbursed to the Owner by the Supplier.

END OF SECTION

PROPOSAL

TO: City Council
Pella, Iowa

FROM: Bidder's Name _____
Address _____

Pursuant to and in compliance with the Advertisement for Bids and the Instructions to Bidders relating thereto, the terms of which are incorporated herein by reference thereto, the undersigned as bidder offers and agrees, if this offer is accepted, to furnish and deliver the equipment and materials in strict conformance with the Specifications forming a part of these material agreement documents and in accordance with following addenda for the sum indicated on the following bid schedule.

<u>Addendum Number</u>	<u>Addendum Date</u>
_____	_____
_____	_____
_____	_____

1. The prices set forth herein **do** include any sums which are or may be payable by the seller on account of taxes imposed by the State of Iowa upon the sale, purchase or use of the equipment. If any such tax is applicable to the sale, purchase or use of the equipment, the amount thereof shall be paid by the purchaser.
2. The prices included herein are firm without regard for time of delivery, increase in cost from manufacturer, or any other factor.
3. The price of the equipment set forth herein shall include the cost of delivery to the job site in Pella, Iowa. The guaranteed delivery date shall be included in the bid.
4. Title to the equipment shall pass to the Owner upon completion of the material agreement and acceptance by the Owner.
5. This bid is void unless a material agreement based on this bid is entered into by the Owner and the Supplier within 30 days after the date hereof.
6. The undersigned being familiar with all the details, conditions, and requirements hereby proposes to furnish the following material to the City of Pella, Iowa, in strict conformance with the specifications and Bidding Documents, to-wit:

All materials shall be F.O.B., Pella, Iowa.

Dated this day _____ of _____, 2016.

Bidder _____

Address _____

Authorized Officer _____

Signature _____

Title _____

Phone No. (W) _____

E-mail _____

PROPOSAL

PROPOSAL ATTACHMENT: BID ITEMS, QUANTITIES AND PRICES

This is a UNIT BID PRICE CONTRACT. The bidder must provide the Bid Price(s), any Alternate Price(s), and the Total of the Base Bid plus any Add-Alternates in this Proposal Attachment.

DESCRIPTION	ESTIMATED UNITS	UNIT PRICE	AMOUNT
1 Water Main, Trenchless, RJ- C900 DR 18 PVC, 12"	LF 5,650	\$ _____	\$ _____
2 Water Main, Trenched, C900 DR 18 PVC, 6"	LF 500	\$ _____	\$ _____
3 Gate Valve, 6" MJ	EA 20	\$ _____	\$ _____
4 Gate Valve, 12" MJ	EA 7	\$ _____	\$ _____
5 Stainless Steel Tapping Valve, 12"x12" MJ	EA 1	\$ _____	\$ _____
6 Stainless Steel Tapping Valve, 8"x8" MJ	EA 1	\$ _____	\$ _____
7 Fire Hydrant-5 1/4 X 5 1/2' Bury Clow "Medallion" or Mueller " Super Centurion"	EA 13	\$ _____	\$ _____
8 6" X 12" Holding Spool	EA 13	\$ _____	\$ _____
9 6" MJ Tee	EA 7	\$ _____	\$ _____
10 12" MJ Tee	EA 2	\$ _____	\$ _____
11 12" X 6" MJ Anchor Tee	EA 13	\$ _____	\$ _____
12 12" Cap	EA 2	\$ _____	\$ _____
13 Reducer, 12" X 8" MJ	EA 1	\$ _____	\$ _____
14 12" Couplers	EA 6	\$ _____	\$ _____
15 Tracer Wire	LF 6,500	\$ _____	\$ _____
16 Retainer Glands " Grip Rings", 6"	EA 92	\$ _____	\$ _____
17 Retainer Glands " Grip Rings", 8"	EA 1	\$ _____	\$ _____
18 Retainer Glands " Grip Rings", 12"	EA 47	\$ _____	\$ _____
		TOTAL BID	\$ _____

NOTE IT IS UNDERSTOOD THAT THE ABOVE QUANTITIES ARE ESTIMATED FOR THE PURPOSE OF THIS BID ALL QUANTITIES ARE SUBJECT TO REVISION BY THE CITY OF PELLA, IOWA QUANTITY CHANGES WHICH AMOUNT TO TWENTY (20) PERCENT OR LESS OF THE TOTAL BID SHALL NOT AFFECT THE UNIT BID PRICE UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS

Bidder Status Form

To be completed by all bidders

Part A

Please answer "Yes" or "No" for each of the following:

- Yes No My company is authorized to transact business in Iowa.
(To help you determine if your company is authorized, please review the worksheet on the next page).
- Yes No My company has an office to transact business in Iowa.
- Yes No My company's office in Iowa is suitable for more than receiving mail, telephone calls, and e-mail.
- Yes No My company has been conducting business in Iowa for at least 3 years prior to the first request for bids on this project.
- Yes No My company is not a subsidiary of another business entity or my company is a subsidiary of another business entity that would qualify as a resident bidder in Iowa.

If you answered "Yes" for each question above, your company qualifies as a resident bidder. Please complete Parts B and D of this form.

If you answered "No" to one or more questions above, your company is a nonresident bidder. Please complete Parts C and D of this form.

To be completed by resident bidders

Part B

My company has maintained offices in Iowa during the past 3 years at the following addresses:

Dates: _____ / _____ / _____ to _____ / _____ / _____ Address: _____
City, State, Zip: _____

Dates: _____ / _____ / _____ to _____ / _____ / _____ Address: _____
City, State, Zip: _____

Dates: _____ / _____ / _____ to _____ / _____ / _____ Address: _____
City, State, Zip: _____

You may attach additional sheet(s) if needed.

To be completed by non-resident bidders

Part C

1. Name of home state or foreign country reported to the Iowa Secretary of State:

2. Does your company's home state or foreign country offer preferences to bidders who are residents? Yes No

3. If you answered "Yes" to question 2, identify each preference offered by your company's home state or foreign country and the appropriate legal citation.

You may attach additional sheet(s) if needed.

To be completed by all bidders

Part D

I certify that the statements made on this document are true and complete to the best of my knowledge and I know that my failure to provide accurate and truthful information may be a reason to reject my bid.

Firm Name: _____

Signature: _____

Date: _____

**You must submit the completed form to the governmental body requesting bids
per 875 Iowa Administrative Code Chapter 156.**

This form has been approved by the Iowa Labor Commissioner.

Worksheet: Authorization to Transact Business

This worksheet may be used to help complete Part A of the Resident Bidder Status form. If at least one of the following describes your business, you are authorized to transact business in Iowa.

- Yes No My business is currently registered as a contractor with the Iowa Division of Labor.
- Yes No My business is a sole proprietorship and I am an Iowa resident for Iowa income tax purposes.
- Yes No My business is a general partnership or joint venture. More than 50 percent of the general partners or joint venture parties are residents of Iowa for Iowa income tax purposes.
- Yes No My business is an active corporation with the Iowa Secretary of State and has paid all fees required by the Secretary of State, has filed its most recent biennial report, and has not filed articles of dissolution.
- Yes No My business is a corporation whose articles of incorporation are filed in a state other than Iowa, the corporation has received a certificate of authority from the Iowa secretary of state, has filed its most recent biennial report with the secretary of state, and has neither received a certificate of withdrawal from the secretary of state nor had its authority revoked.
- Yes No My business is a limited liability partnership which has filed a statement of qualification in this state and the statement has not been canceled.
- Yes No My business is a limited liability partnership which has filed a statement of qualification in a state other than Iowa, has filed a statement of foreign qualification in Iowa and a statement of cancellation has not been filed.
- Yes No My business is a limited partnership or limited liability limited partnership which has filed a certificate of limited partnership in this state, and has not filed a statement of termination.
- Yes No My business is a limited partnership or a limited liability limited partnership whose certificate of limited partnership is filed in a state other than Iowa, the limited partnership or limited liability limited partnership has received notification from the Iowa secretary of state that the application for certificate of authority has been approved and no notice of cancellation has been filed by the limited partnership or the limited liability limited partnership.
- Yes No My business is a limited liability company whose certificate of organization is filed in Iowa and has not filed a statement of termination.
- Yes No My business is a limited liability company whose certificate of organization is filed in a state other than Iowa, has received a certificate of authority to transact business in Iowa and the certificate has not been revoked or canceled.

BID BOND

KNOW ALL BY THESE PRESENTS:

That we, _____, as Principal, and _____, as Surety, are held and firmly bound unto The City of Pella, Iowa, as Obligee, (hereinafter referred to as “the Jurisdiction”), in the penal sum of _____ dollars (\$ _____), lawful money of the United States, for which payment said Principal and Surety bind themselves, their heirs, executors, administrators, successors, and assigns jointly and severally, firmly by these presents.

The condition of the above obligation is such that whereas the Principal has submitted to the “Jurisdiction” a certain proposal, in a separate envelope, and hereby made a part hereof, to enter into a Material Agreement in writing, for the following described improvements;

**FURNISHING WATER SYSTEM MATERIALS
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA
2016**

The Surety hereby stipulates and agrees that the obligations of said Surety and its bond shall be in no way impaired or affected by any extension of the time within which “Jurisdiction” may accept such bid or execute such Material Agreement; and said Surety does hereby waive notice of any such extension.

In the event that any actions or proceedings are initiated with respect to this Bond, the parties agree that the venue thereof shall be Marion County, State of Iowa. If legal action is required by the “Jurisdiction” against the Surety or Principal to enforce the provisions of the bond or to collect the monetary obligation incurring to the benefit of the “Jurisdiction”, the Surety or Principal agrees to pay the “Jurisdiction” all damages, costs, and attorney fees incurred by enforcing any of the provisions of this Bond. All rights, powers, and remedies of the “Jurisdiction” hereunder shall be cumulative and not alternative and shall be in addition to all rights, powers and remedies given to the “Jurisdiction”, by law. The “Jurisdiction” may proceed against Surety for any amount guaranteed hereunder whether action is brought against Principal or whether Principal is joined in any such action or actions or not.

NOW, THEREFORE, if said proposal by the Principal be accepted, and the Principal shall enter into a material agreement with the “Jurisdiction” in accordance with the terms of such proposal, including the provision of insurance and of a bond as may be specified in the material agreement documents, with good and sufficient surety for the faithful performance of such material agreement, for the prompt payment of labor and material furnished in the prosecution thereof, and for the maintenance of said improvements as may be required therein, then this obligation shall become null and void; otherwise, the Principal shall pay to the “Jurisdiction” the full amount of the bid bond, together with court costs, attorney’s fees, and any other expense of recovery.

Signed and sealed this _____ day of _____, 20____.

SURETY:

PRINCIPAL:

Surety Company

By _____
Signature Attorney-in-Fact/Officer

Name of Attorney-in-Fact/Officer

Company Name

Company Address

City, State, Zip Code

Company Telephone Number

Bidder

By _____
Signature

Name (Print/Type)

Title

Address

City, State, Zip Code

Telephone Number

NOTE: All signatures on this bid bond must be original signatures in ink; copies or facsimile of any signature will not be accepted. This bond must be sealed with the Surety's raised, embossing seal. The Certificate or Power of Attorney accompanying this bond must be valid on its face and sealed with the Surety's raised, embossing seal.

MATERIAL AGREEMENT

THIS AGREEMENT, made and entered into at Pella, Iowa this ____ day of _____, 2016, by and between the City of Pella, Iowa, hereinafter called the "Jurisdiction", and _____, hereinafter called the "Supplier".

WITNESSETH:

The Supplier hereby agrees to furnish materials for the below referenced improvement as specified in the material agreement documents, which are officially on file with the "Jurisdiction" in the office of City Clerk, City of Pella, Iowa. This material agreement includes all material agreement documents. The materials furnished under this material agreement shall be in accordance with the current Urban Standard Specifications for Public Improvements, dated October 21, 2015 and as further modified by the supplemental specifications and special provisions included in said material agreement documents, and the Material Agreement Attachment which is attached hereto. The Supplier further agrees to complete the work in strict accordance with said material agreement documents, and guarantee the work as required by law, for the time required in said material agreement documents, after its acceptance by the "Jurisdiction".

This material agreement is awarded and executed for completion of the work specified in the material agreement documents for the bid prices shown on the Material Agreement Attachment: Bid Items, Quantities and Prices which were proposed by the Supplier in its proposal submitted in accordance with the Notice of Letting and Notice of Public Hearing for the following described improvements:

FURNISHING WATER SYSTEME MATERIALS VERMEER ROAD UTILITY PROJECT PELLA, IOWA 2016

The Supplier agrees to furnish materials for and in consideration of the "Jurisdiction's" payment of the bid amount of _____ dollars (\$ _____) which amount shall constitute the required amount of the performance bond. The Supplier hereby agrees to furnish materials under this material agreement within 14 days of issuance of a written Notice to Proceed by the "Jurisdiction".

IN WITNESS WHEREOF, the Parties hereto have executed this instrument, in triplicate on the date first shown written.

JURISDICTION

SUPPLIER

By _____

Supplier

(Seal)
ATTEST:

By _____
Signature

Title

Street Address

City, State, Zip Code

Telephone

NOTE: All signatures on this supplier must be original signatures in ink; copies or facsimile of any signature will not be accepted.

CORPORATE ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20 ____, before me, the undersigned, a Notary Public in and for the State of _____, personally appeared _____ and _____, to me known, who, being by me duly sworn, did say that they are the _____, and _____, respectively, of the corporation executing the foregoing instrument; that (no seal has been procured by) (the seal affixed thereto is the seal of) the corporation; that said instrument was signed (and sealed) on behalf of the corporation by authority of this Board of Directors; that _____ and _____ acknowledged the execution of the instrument to be the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of _____
My commission expires _____, 20 ____

PARTNERSHIP ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20 ____, before me, the undersigned, a Notary Public in and for the State of _____, personally appeared _____ to me personally known, who being by me duly sworn, did say that the person is one of the partners of _____, a partnership, and that the instrument was signed on behalf of the partnership by authority of the partners and the partner acknowledged the execution of the instrument to be the voluntary act and deed of the partnership by it and by the partner voluntarily executed.

Notary Public in and for the State of _____
My commission expires _____, 20 ____

INDIVIDUAL ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of _____, personally appeared _____ and _____, to me known to be the identical person(s) named in and who executed the foregoing instrument, and acknowledged that (he) (she) (they) executed the instrument as (his) (her) (their) voluntary act and deed.

Notary Public in and for the State of _____
My commission expires _____, 20____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

State of _____)
) SS
_____ County)

On this ____ day of _____, 20____, before me a Notary Public in and for said county, personally appeared _____, to me personally known, who being by me duly sworn did say that person is _____ of said _____, that (the seal affixed to said instrument is the seal of said OR no seal has been procured by the said) _____, and that said instrument was signed and sealed on behalf of the said _____, by authority of its managers and the said _____ acknowledged the execution of said instrument to be the voluntary act and deed of said _____, by it voluntarily executed.

Notary Public in and for the State of _____
My commission expires _____, 20____

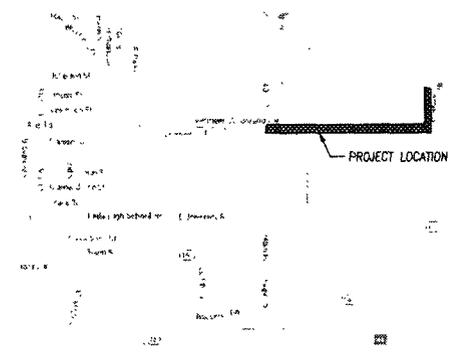
MATERIAL AGREEMENT ATTACHMENT: ITEM 1: BID ITEMS, QUANTITIES

THIS MATERIAL AGREEMENT IS AWARDED AND EXECUTED FOR COMPLETION OF THE WORK SPECIFIED IN THE SUPPLIER DOCUMENTS FOR THE BID PRICES TABULATED BELOW AS PROPOSED BY THE SUPPLIER IN ITS PROPOSAL SUBMITTED IN ACCORDANCE WITH NOTICE OF LETTING AND NOTICE OF PUBLIC HEARING. ALL QUANTITIES ARE SUBJECT TO REVISION BY THE OWNER. QUANTITY CHANGES WHICH AMOUNT TO TWENTY (20) PERCENT OR LESS OF THE AMOUNT BID SHALL NOT AFFECT THE UNIT BID PRICE.

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>ESTIMATED UNITS</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
_____	_____	_____	\$ _____	\$ _____
TOTAL CONSTRUCTION COST				\$ _____

SCALE: NO SCALE FIELD BOOK: -- DRAWN BY: EVR APPROVED: BJU
 REVISIONS:

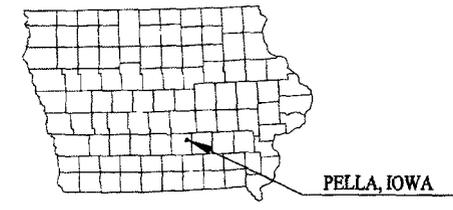
VERMEER CORPORATION VERMEER ROAD UTILITY PROJECT PELLA, IOWA 2016



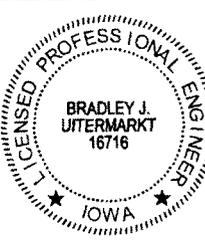
VICINITY MAP
 SCALE: NONE

SHEET INDEX	
SHEET NO.	DESCRIPTION
A.01	TITLE SHEET
A.02	LEGEND AND GENERAL NOTES
B.01	DUCT BANK DETAILS
SW.01-SW.05	WATER MAIN AND DUCT BANK PLAN
SW.06	WATER MAIN CONNECTION DETAILS
9	TOTAL SHEETS

Materials and construction shall be in accordance with the SUDAS Standard Specifications, 2016 Edition, plus current Supplemental Specifications and Special Provisions.



FOR MATERIALS ONLY



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Bradley J. Uitermarkt 6/29/16
 Date

Bradley J. Uitermarkt, P.E.
 License number: 16716
 My license renewal date is December 31, 2016
 Pages or sheets covered by this seal: ALL



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1-800.292.8989
 Call the toll-free number at least
48 HOURS
 prior to ALL excavations in Iowa.

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PELLA, IOWA
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SHEET TITLE
 TITLE SHEET

DATE:
 JUNE 29, 2016

PROJECT NO.:
 4016150

SHEET NO.:
 A.01

GENERAL SYMBOLS LEGEND

● = PROPERTY CORNER FOUND	— = SIGN
▲ = SECTION CORNER FOUND	○ = BOLLARD
—PCU— = EXISTING GROUND CONTOUR LINE	—Y— = RAILROAD GATE OR SIGNAL
—K— = EXISTING WATER LINE (SIZE VARIES)	□ = MAILBOX
—H— = EXISTING FIRE HYDRANT	—F— = FLAGPOLE
—V— = EXISTING WATER VALVE	—D— = DOWNSPOUT
—S— = EXISTING WATER SERVICE SHUTOFF	—T— = TREE OR SHRUB
—M— = EXISTING WATER METER PIT	—S— = STUMP
—W— = EXISTING WATER WELL	—F— = FIELD FENCELINE
—M— = WATER METER	—C— = CHAIN LINK FENCELINE
—S— = EXISTING STORM SEWER LINE (SIZE VARIES)	—W— = WOOD FENCELINE
—A— = EXISTING STORM SEWER ACCESS	—F— = SILT FENCE
—T— = EXISTING SEPTIC TANK	—B— = BENCHMARK OR ELEVATION MARKER
—S— = EXISTING SANITARY SEWER ACCESS	—C— = PROPERTY CORNER SET
—S— = EXISTING SANITARY SEWER MAIN (SIZE VARIES)	—O— = SECTION CORNER SET
—C— = CLEANOUT	—W— = PROPOSED WATER MAIN (SIZE VARIES)
—E— = ELECTRIC MANHOLE	—F— = PROPOSED FIRE HYDRANT
—O— = OVERHEAD ELECTRIC LINE	—W— = PROPOSED WATER VALVE
—U— = UNDERGROUND ELECTRIC LINE	—S— = PROPOSED WATER SHUTOFF
—M— = ELECTRIC METER	—S— = PROPOSED SANITARY SEWER MANHOLE
—F— = FIBEROPTIC LINE	—E— = PROPOSED SANITARY SEWER END LINE CLEANOUT
—M— = PROPOSED SANITARY SEWER DOUBLE CLEANOUT	—S— = PROPOSED SANITARY SEWER MAIN (SIZE VARIES)
—T— = TELEPHONE MANHOLE	—L— = PROPOSED LIFT STATION
—P— = TELEPHONE PEDESTAL	—F— = PROPOSED SANITARY SEWER FORCE MAIN
—T— = TELEPHONE LINE	—A— = PROPOSED STORM SEWER ACCESS
—G— = GAS METER	—S— = PROPOSED STORM SEWER MAIN
—V— = GAS VALVE	—S— = PROPOSED SECONDARY STORM SEWER
—G— = EXISTING GAS LINE	—C— = PROPOSED GROUND CONTOUR LINE
—P— = UTILITY POLE	—R— = SURFACING REMOVAL
—G— = GUY WIRE	—C— = CONCRETE SURFACING REPLACEMENT
—L— = LUMINAIRE	—A— = FLOW DIRECTION ARROW
—T— = TRANSFORMER	—E— = FINISH GRADE ELEVATION MARKER

GENERAL ABBREVIATIONS LEGEND

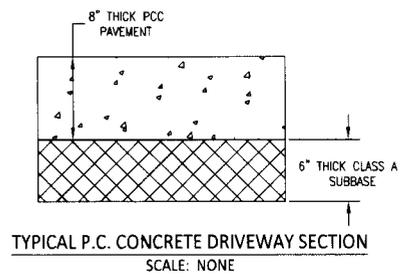
R/W = RIGHT OF WAY	SY = SQUARE YARD
R.O.W. = RIGHT OF WAY	CY = CUBIC YARD
P.C. = POINT OF CURVATURE	MJ = MECHANICAL JOINT
P.I. = POINT OF INTERSECTION	PE = PLAIN END JOINT
P.T. = POINT OF TANGENCY	FE = FLANGED JOINT
CL = CENTERLINE	UT = UNION TITE JOINT
TC = TOP OF CURB	S.S. = STAINLESS STEEL
GU = GUTTER	OC = ON CENTER
FL = FLOW LINE	ID = INSIDE DIAMETER
SB = SOIL BORING	OD = OUTSIDE DIAMETER
R = RADIUS	Ø = DIAMETER
BTM = BOTTOM	DA = DIAMETER
HWL = HIGH WATER LEVEL	# = NUMBER
LWL = LOW WATER LEVEL	TYP = TYPICAL
EA = EACH	INV = INVERT
GPM = GALLONS PER MINUTE	PVC = POLYVINYL CHLORIDE PIPE
IN = INCHES	DIP = DUCTILE IRON PIPE
FT = FOOT OR FEET	CP = CAST IRON PIPE
SF = SQUARE FEET	CMP = CORRUGATED METAL PIPE
LF = LINEAR FOOT	RCP = REINFORCED CONCRETE PIPE

GENERAL NOTES

- THIS PROJECT INCLUDES ALL WORK AND MATERIALS ASSOCIATED WITH THE INSTALLATION OF WATER MAIN, DUCT BANK, AND APPURTENANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN SPECIFICATIONS (SUDAS), 2016 EDITION. SPECIFICATION MANUALS CAN BE ORDERED FROM THE INSTITUTE FOR TRANSPORTATION (FORMERLY CTRE) - ATTN: BETH RICHARDS, 2711 SOUTH LOOP DRIVE, SUITE 4700, AMES, IOWA 50010-9654. PHONE: 515-294-2869. SPECIFICATIONS CAN ALSO BE VIEWED AT THE SUDAS WEB SITE (WWW.IOWASUDAS.ORG)
- NOTIFY DENNY BUYERT, DIRECTOR OF PUBLIC WORKS, CITY OF PELLA AT 641-628-1601 48 HOURS PRIOR TO COMMENCING WORK
- COORDINATE WORK AND COOPERATE WITH CITY PERSONNEL AND ENGINEER
- LOCATION OF EXISTING UTILITIES IS APPROXIMATE. VERIFY LOCATION OF EXISTING UTILITIES IN LINE OF CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION BY EXCAVATING AHEAD OF WORK. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES IN SERVICE DURING CONSTRUCTION
- PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE SHOWN ON PLANS
- THERE MAY BE BURIED UTILITIES NOT SHOWN ON PLANS THAT ARE IN LINE OF CONSTRUCTION
- NOTIFY PROPERTY OWNERS 48 HOURS IN ADVANCE IF ACCESS TO PROPERTY WILL BE INTERRUPTED. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL. TRAFFIC CONTROL SHALL CONSIST OF BARRICADES, SIGNAGE AND LIGHTS AS NECESSARY TO PROTECT VEHICLES AND PEDESTRIAN TRAFFIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
- CONTRACTOR SHALL PRESERVE ALL MONUMENTS, STAKES, REFERENCE POINTS AND BENCHMARKS IN CASE OF DESTRUCTION BY CONTRACTOR'S NEGLIGENCE OR CARELESSNESS. THEY WILL BE CHARGED WITH RESULTING EXPENSE OF REPLACEMENT AND RESPONSIBILITY FOR ANY MISTAKES OR LOSS OF TIME CAUSED THEREBY
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO EXISTING SEWERS. SHOULD MUD, DIRT, DEBRIS, OR OTHER MATERIAL ENTER EXISTING SEWERS, THE CONTRACTOR SHALL CLEAN AT NO COST TO OWNER
- DISPOSE OF MATERIALS NOT SUITABLE FOR TRENCH BACKFILL. SURFACE RESTORATION AND EXCESS EXCAVATED MATERIAL DISPOSAL IS INCIDENTAL TO CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING THE AS-BUILT LOCATION OF ALL UTILITIES
- CONCRETE MIX SHALL BE IDOT C-3WR-C OR C-4WR-C FOR ALL PAVEMENT, DRIVEWAYS AND SIDEWALKS. COARSE AGGREGATE SHALL BE CLASS 3 DURABILITY. USE OF FLY ASH AND GROUND GRANULATED BLAST FURNACE SLAG (GGGBFS) SHALL BE IN ACCORDANCE WITH SECTION 7010 2.02C OF THE SPECIFICATIONS.
- COARSE AND FINE AGGREGATES SHALL BE FURNISHED FROM AN APPROVED SOURCE IN ACCORDANCE WITH THE SPECIFICATIONS. METHOD OF ACCEPTANCE FOR COARSE AND FINE AGGREGATES SHALL BE BY QUALITY CERTIFICATION FURNISHED BY THE CONTRACTOR. CERTIFIED PLANT INSPECTION IS NOT REQUIRED.
- ALL SALVAGEABLE MATERIALS THAT ARE REMOVED SHALL REMAIN PROPERTY OF VERMEER CORPORATION. ALL OTHER MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR
- VERMEER CORPORATION WILL PROVIDE CONSTRUCTION STAKING

GENERAL WATER MAIN CONSTRUCTION NOTES

- COOPERATE AND COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER'S PERSONNEL AND ENGINEER. CITY OF PELLA WATER DEPARTMENT WILL ASSIST CONTRACTOR WITH LOCATING AND ISOLATING OF EXISTING SYSTEM AS NECESSARY AND NOTIFICATION OF DISRUPTION OF SERVICE TO CUSTOMERS
- SCHEDULE WORK TO MINIMIZE INTERRUPTION OF CONTINUOUS SERVICE OF EXISTING WATER SYSTEM. DO NOT ALLOW WATER SERVICE TO BE INTERRUPTED WITHOUT PRIOR APPROVAL OF THE AFFECTED PARTY(S) OR THE OWNER
- SCHEDULE WORK SO THAT UTILITY SERVICE IS RESTORED DURING NON-WORKING HOURS AND DURING WEEKENDS. PROVIDE TEMPORARY CONNECTIONS AND SERVICE CONNECTIONS AS REQUIRED TO PROVIDE UTILITY SERVICE DURING THESE PERIODS. COST FOR PROVIDING TEMPORARY SERVICES AND CONNECTIONS IS INCIDENTAL TO CONSTRUCTION
- DOUBLE WRAP ALL APPURTENANCES (VALVES, FITTINGS, ETC.) WITH POLYETHYLENE AS SPECIFIED. ALL BOLTS FOR APPURTENANCES SHALL BE CORROSION RESISTANT AS SPECIFIED
- CONTRACTOR SHALL INSTALL TRACER WIRE WITH ALL NONMETALLIC WATER MAINS AS SPECIFIED
- REMOVE EXISTING PIPES IN LINE OF CONSTRUCTION AND PLUG EXISTING PIPES TO BE ABANDONED
- ALL WATER PIPE MATERIAL SHALL BE AWWA C900 PVC DR 18.
- INSTALL TRACER WIRE AS SPECIFIED FOR ALL WATER MAIN. BOLTS SHALL BE COR-BLUE. ALL FITTINGS, VALVES AND HYDRANTS SHALL BE DOUBLE WRAPPED WITH POLYETHYLENE WRAP. FIRE HYDRANTS SHALL BE APPROVED MUELLER "SUPER CENTURION" OR CLOW "MEDALLION" TYPE. COLOR - YELLOW. TRACER WIRE SYSTEM IS TO BE TERMINATED AT VALVE BOXES BY BEING RUN UP EXTERIOR OF BOX AND TERMINATED AT INSIDE TOP OF BOX. TAPPING VALVE AND SLEEVE SHALL BE "FORD STYLE FAST" OR EQUAL WITH STAINLESS STEEL BODY AND GATE VALVE AS SPECIFIED DESIGNED FOR TAPPING. COUPLERS SHALL BE "HYMAX" OR EQUAL WITH STAINLESS STEEL BANDS. RETAINER GLASS SHALL BE "ROMAC INDUSTRIES, INC. GRIP RINGS" CONTRACTOR RESPONSIBLE FOR TESTING ALL NEW WATER MAIN PER SPECIFICATIONS
- ALL WATER SYSTEM MATERIALS SHALL BE APPROVED BY THE CITY OF PELLA



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 email@gardenassociates.net

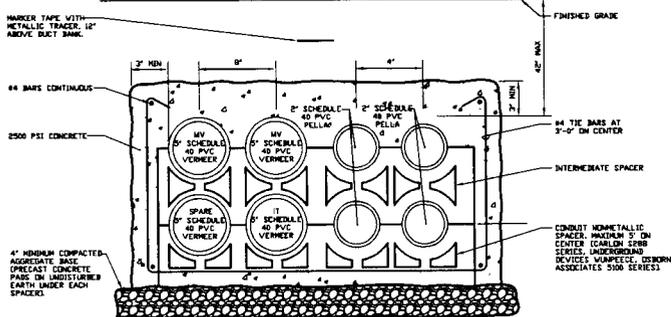
VERMEER CORPORATION
 VERMEER ROAD UTILITY PROJECT
 PELLA, IOWA

SHEET TITLE
 LEGEND & GENERAL
 NOTES

DATE:
 JUNE 29, 2016

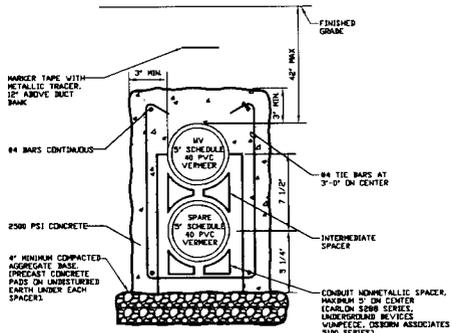
PROJECT NO.
 4016150

SHEET NO.
 A.02



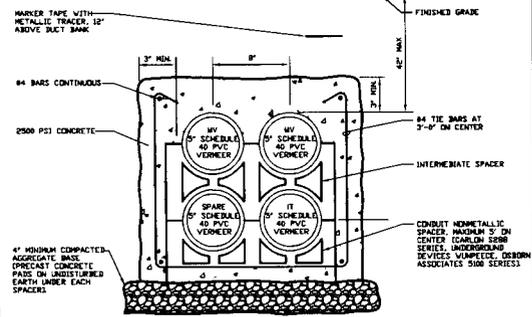
1 DUCT BANK DETAIL (2 X 4)
NO SCALE

- NOTES:
 1. INSTALL 2000 LB TENSILE STRENGTH BRAIDED POLYPROPYLENE PULL CORD IN ALL CONDUITS
 2. TRENCHING AND BACKFILL ACCORDING TO SPECIFICATIONS.
 3. MINIMUM OF 4'-0" CLEAR BETWEEN ADJACENT DUCTBANKS.
 4. E.C. SHALL COORDINATE DUCT BANK DEPTH WITH OTHER UTILITIES AND CONCRETE PULL BOX (MAN HOLE)



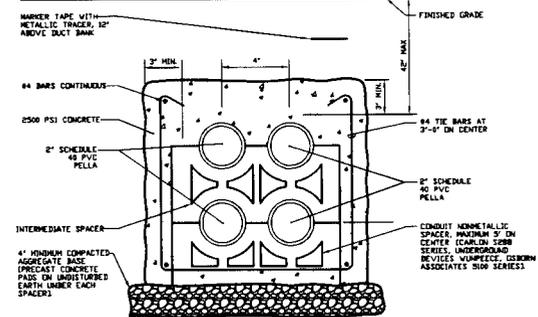
2 DUCT BANK DETAIL (2 X 1)
NO SCALE

- NOTES:
 1. INSTALL 2000 LB TENSILE STRENGTH BRAIDED POLYPROPYLENE PULL CORD IN ALL CONDUITS
 2. TRENCHING AND BACKFILL ACCORDING TO SPECIFICATIONS.
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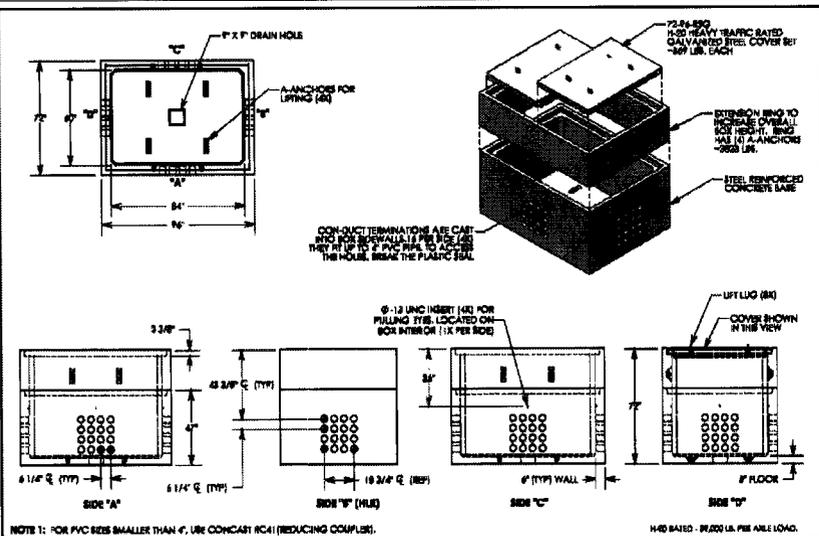
3 DUCT BANK DETAIL (2 X 2)
NO SCALE

- NOTES:
 1. INSTALL 2000 LB TENSILE STRENGTH BRAIDED POLYPROPYLENE PULL CORD IN ALL CONDUITS
 2. TRENCHING AND BACKFILL ACCORDING TO SPECIFICATIONS.
 3. MINIMUM OF 4'-0" CLEAR BETWEEN ADJACENT DUCTBANKS.
 4. E.C. SHALL COORDINATE DUCT BANK DEPTH WITH OTHER UTILITIES AND CONCRETE PULL BOX (MAN HOLE)



4 DUCT BANK DETAIL (2 X 2)
NO SCALE

- NOTES:
 1. INSTALL 2000 LB TENSILE STRENGTH BRAIDED POLYPROPYLENE PULL CORD IN ALL CONDUITS
 2. TRENCHING AND BACKFILL ACCORDING TO SPECIFICATIONS.
 3. MINIMUM OF 4'-0" CLEAR BETWEEN ADJACENT DUCTBANKS.
 E.C. SHALL COORDINATE DUCT BANK DEPTH WITH OTHER UTILITIES AND CONCRETE PULL BOX (MAN HOLE)



NOTE 1: FOR PVC SIZES SMALLER THAN 4" USE CONCRETE (CA1) (REDUCING COMPLIANT).

DRAWN BY: ROBIN FLENT	REVISION LEVEL: 0	DESCRIPTION: CONCRETE PULL BOX W/ GALV. STEEL COVER
DATE: 4/4/2013	MATERIAL: NOTED	CONCRETE APPROXIMATE WEIGHT PER YD (CY) 150 LBS PER YD (CY) 150 LBS PER YD (CY)
WEIGHT: 13668 LBS W/COVER		CONCRETE APPROXIMATE WEIGHT PER YD (CY) 150 LBS PER YD (CY) 150 LBS PER YD (CY)
		WEIGHT PER YD (CY) 150 LBS PER YD (CY) 150 LBS PER YD (CY)

CONCAST
 1010 NORTH STAR DRIVE
 P.O. BOX 49
 ZIMMERMAN, MN 55992-0049

PREP NUMBER: PR16-72-04-72-R20

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VERMEER ROAD UTILITY PROJECT
PELLA, IOWA

SHEET TITLE
DUCT BANK DETAILS

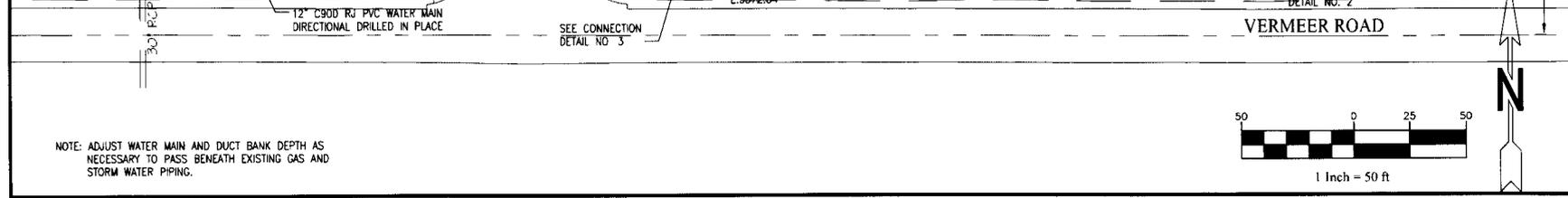
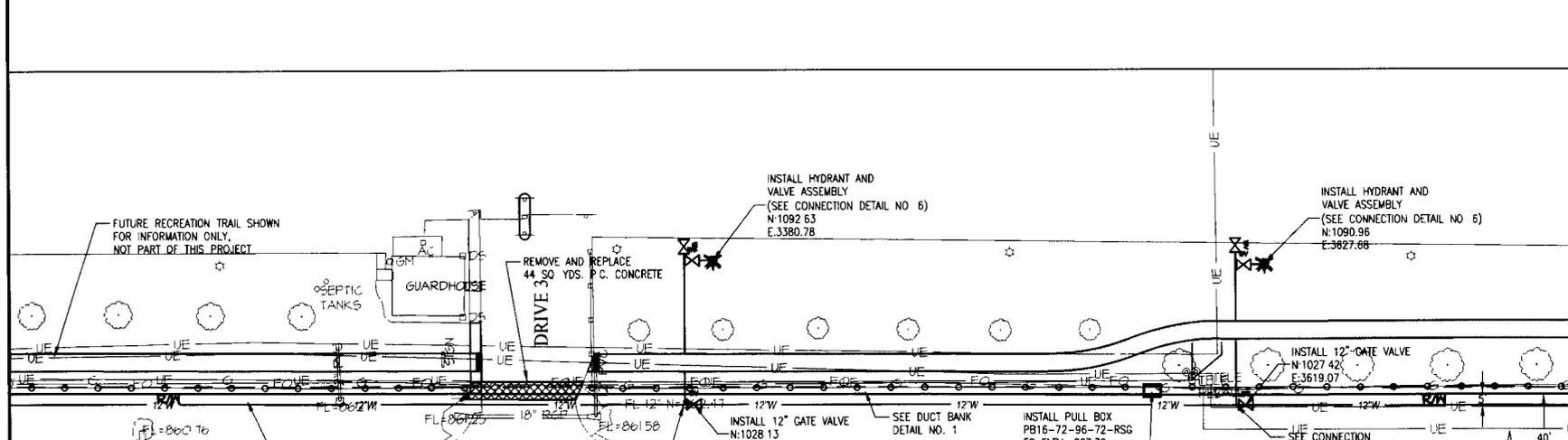
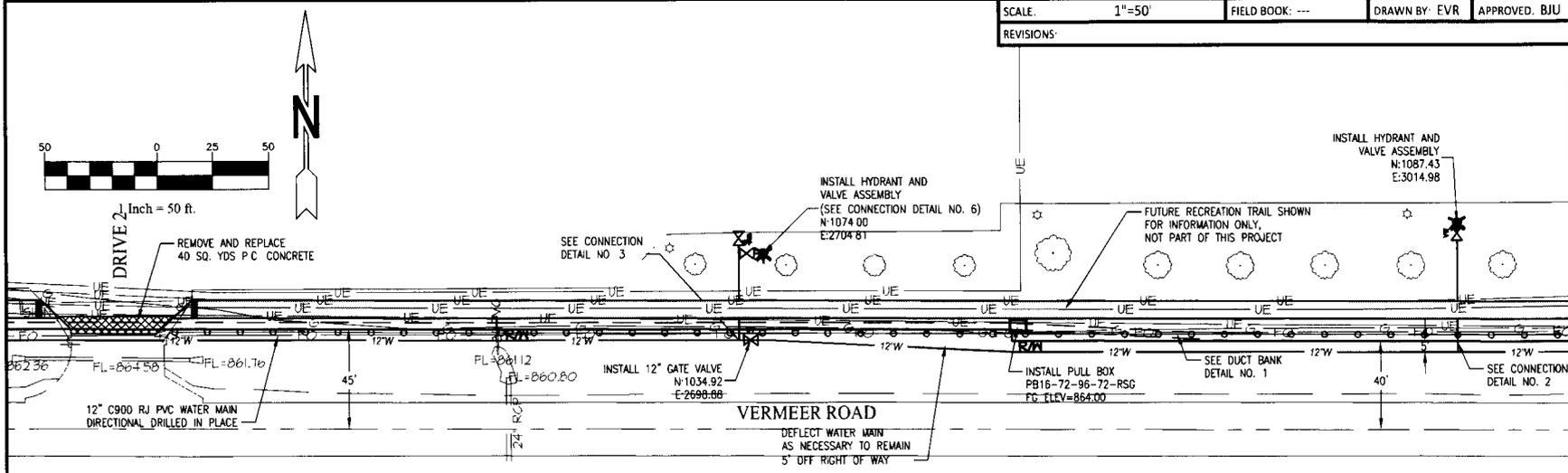
DATE:
 JUNE 29, 2016

PROJECT NO.
 4016150

SHEET NO.
B.01

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SCALE: 1"=50' FIELD BOOK: --- DRAWN BY: EVR APPROVED: BJU
 REVISIONS:



NOTE: ADJUST WATER MAIN AND DUCT BANK DEPTH AS NECESSARY TO PASS BENEATH EXISTING GAS AND STORM WATER PIPING.

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VERMEER CORPORATION
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA

SHEET TITLE
**WATER MAIN AND
 DUCT BANK PLAN**

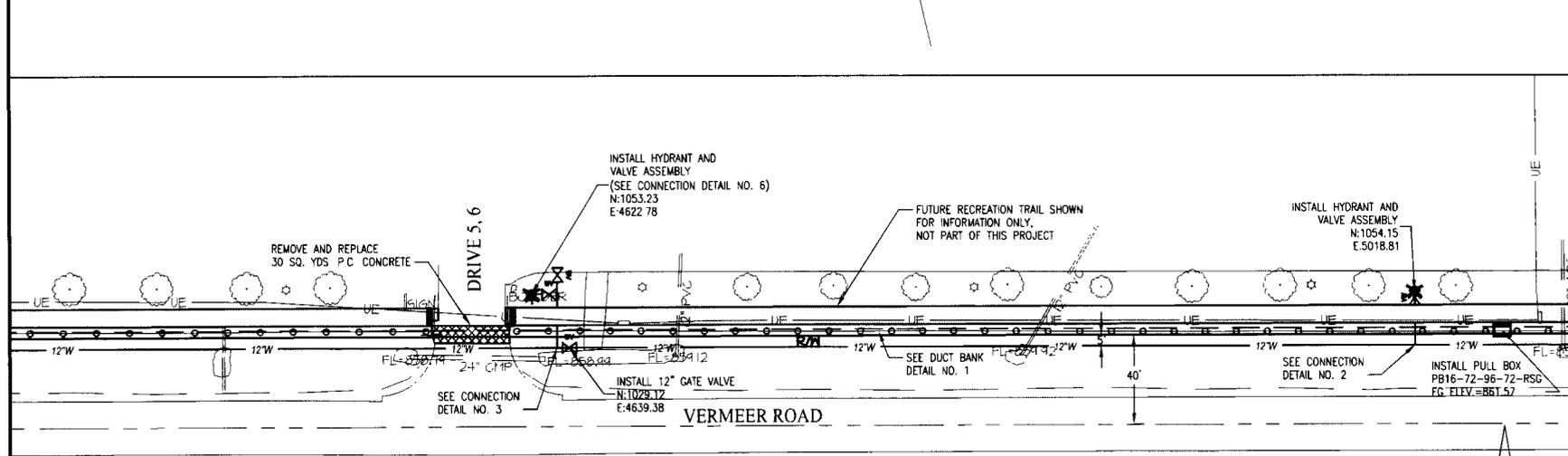
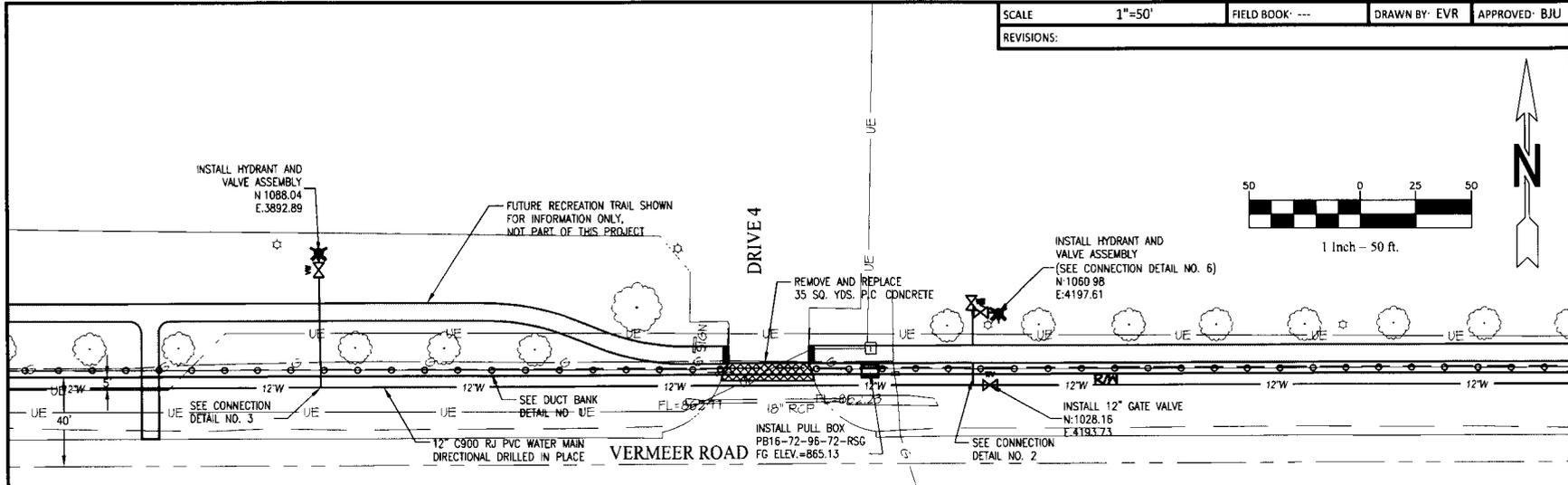
DATE:
 JUNE 29, 2016

PROJECT NO.:
 4016150

SHEET NO.:
SW.02

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SCALE 1"=50' FIELD BOOK: --- DRAWN BY: EVR APPROVED: BJU
 REVISIONS:



NOTE: ADJUST WATER MAIN AND DUCT BANK DEPTH AS NECESSARY TO PASS BENEATH EXISTING GAS AND STORM WATER PIPING.

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SHEET TITLE
WATER MAIN AND DUCT BANK PLAN

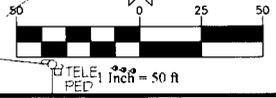
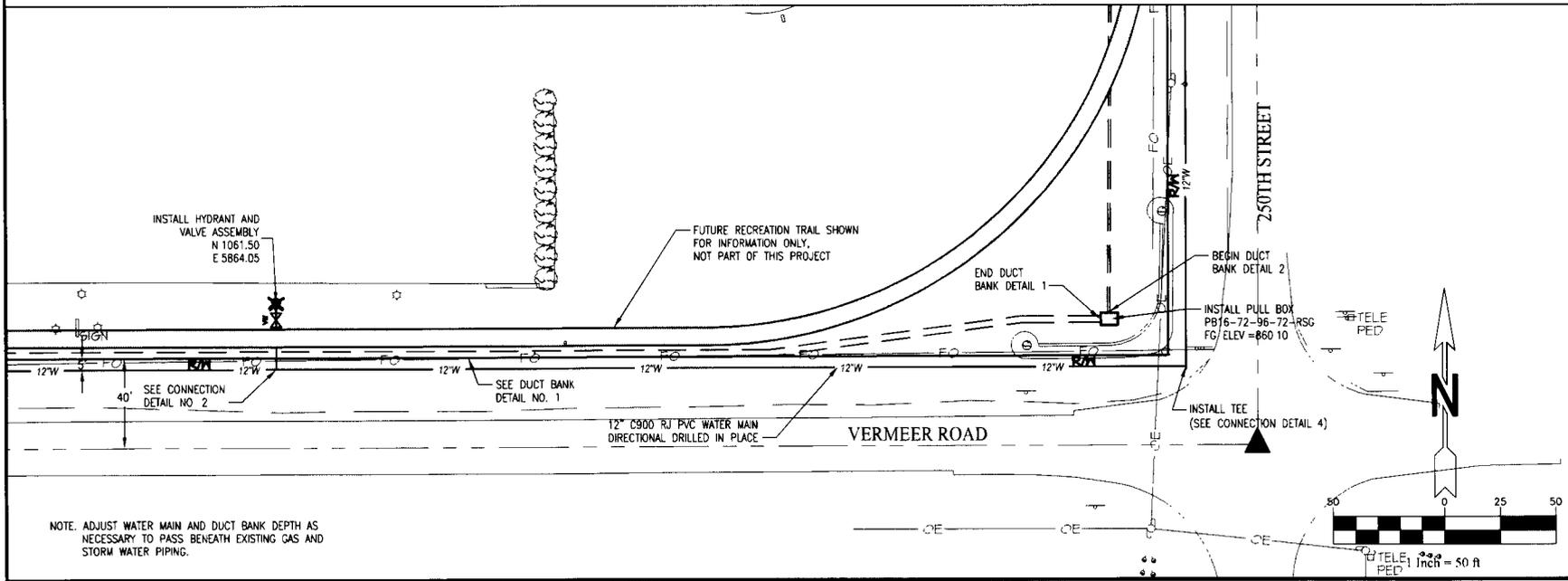
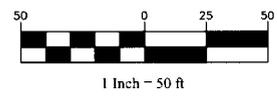
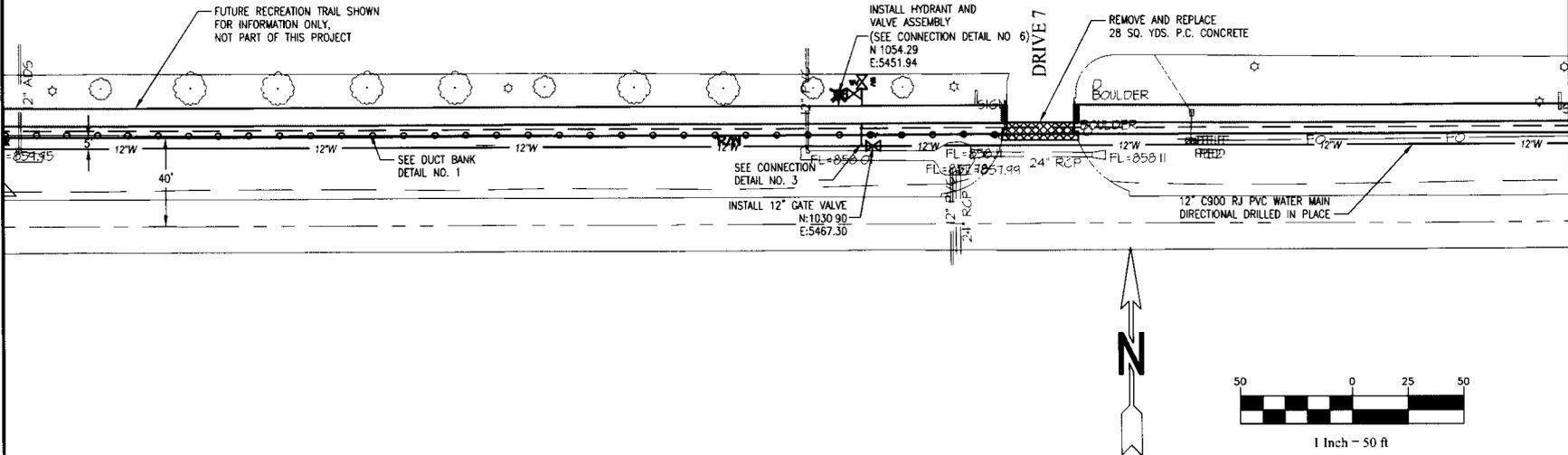
DATE:
 JUNE 29, 2016

PROJECT NO.
 4016150

SHEET NO.
SW.03

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SCALE: 1"=50' FIELD BOOK: --- DRAWN BY: EVR APPROVED: BJU
 REVISIONS:



NOTE. ADJUST WATER MAIN AND DUCT BANK DEPTH AS NECESSARY TO PASS BENEATH EXISTING GAS AND STORM WATER PIPING.

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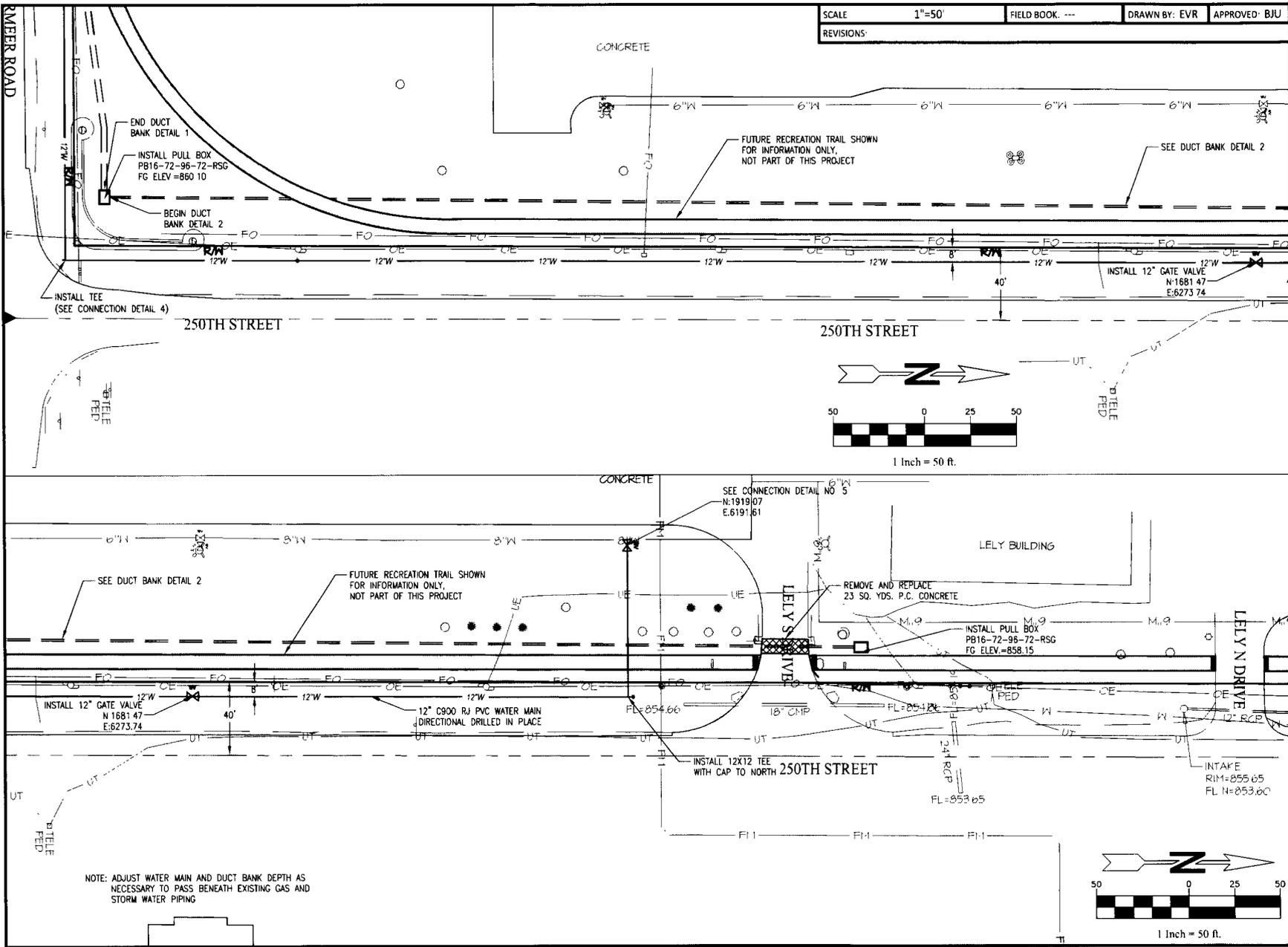
SHEET TITLE
WATER MAIN AND DUCT BANK PLAN

DATE:
 JUNE 29, 2016

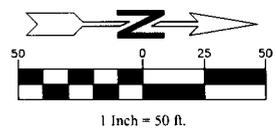
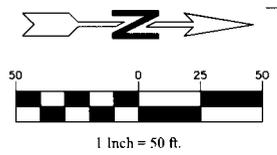
PROJECT NO.
 4016150

SHEET NO.
SW.04

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SCALE	1"=50'	FIELD BOOK	---	DRAWN BY	EVR	APPROVED	BJU
REVISIONS							



NOTE: ADJUST WATER MAIN AND DUCT BANK DEPTH AS NECESSARY TO PASS BENEATH EXISTING GAS AND STORM WATER PIPING

GARDEN & ASSOCIATES, LTD.
ENGINEERS & SURVEYORS
 500 E. Taylor, Suite C
 Creston, Iowa 50801
 641.782.4005 Phone
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 email@gardenassociates.net

VERMEER CORPORATION
VERMEER ROAD UTILITY PROJECT
PELLA, IOWA
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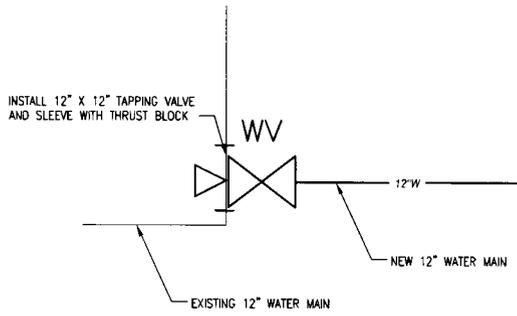
SHEET TITLE
WATER MAIN AND DUCT BANK PLAN

DATE
 JUNE 29, 2016

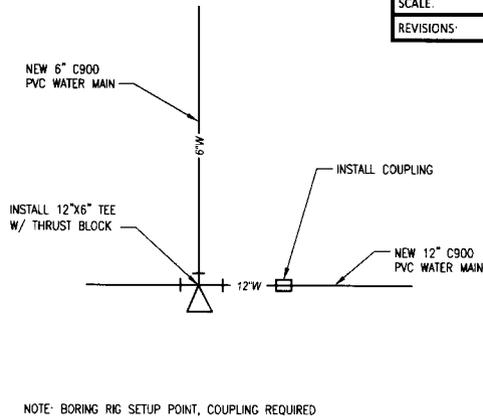
PROJECT NO.
 4016150

SHEET NO.
SW.05

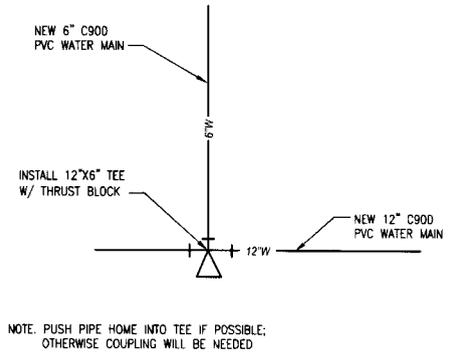
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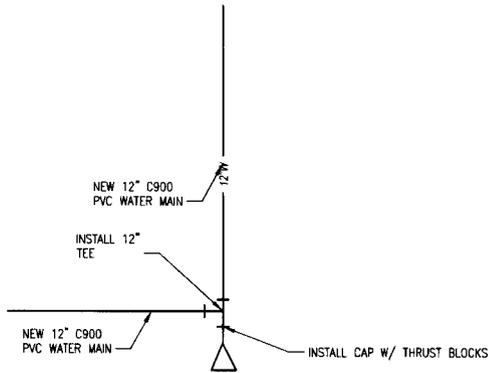
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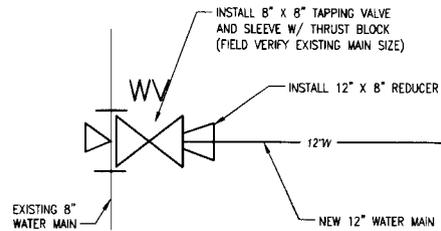
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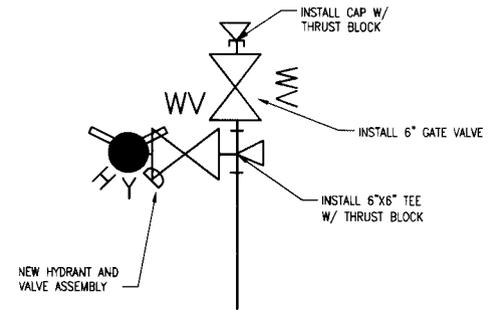
CONNECTION DETAIL NO. 3
NO SCALE



CONNECTION DETAIL NO. 4
NO SCALE



CONNECTION DETAIL NO. 5
NO SCALE



CONNECTION DETAIL NO. 6
NO SCALE

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PELLA, IOWA

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SHEET TITLE
WATER MAIN CONNECTION DETAILS

DATE:
JUNE 29, 2016

PROJECT NO -
4016150

SHEET NO
SW.06



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: I-1

SUBJECT: Ordinance Amending Water Rates of the City of Pella

DATE: July 5, 2016 (2nd Reading)

BACKGROUND:

Purpose

The FY 16-17 Budget includes a 7% increase in the City's water rates which is needed to fund the long term water supply plan. Listed below is background information on the proposed increase.

Long-term Water Supply Plan

The City's long-term water supply plan is intended to meet the community's supply and treatment needs through the year 2037. Overall the plan includes a new 3.0 million gallon per day (MGD) reverse osmosis (RO) treatment process, an additional Jordan Well and new water main, and improvements to the existing lime softening treatment plant. The estimated cost of the plan is \$16 million, and the tentative completion date for the plan is the fall of 2017.

Proposed Rate Structure

The proposed rate increase of 7% would be effective for utility bills due August 20, 2016 for July usage. At that time, the base fee for inside the City limits would increase from \$15.52 per month to \$16.61 per month. In addition to the increase in base fee, the ordinance would amend the cost per 1,000 gallons from \$3.75 to \$4.01.

Impact of Water Rate Increases

The proposed ordinance represents a water rate increase of 7% for all customer classes. The following chart represents the impact of the water rate increase in both dollar amount and percentage of increase for different customer types inside the City limits. As you can see, for the average residential customer using 7,000 gallons per month, the proposed increase is \$2.91 per month. For the average commercial customer using 35,000 gallons per month, the proposed increase is \$10.19 per month. For the average industrial customer using 100,000 gallons per month, the proposed increase is \$27.09 per month.

Residential	7,000	\$41.77	\$44.68	\$2.91	7%
Commercial	35,000	\$146.77	\$156.96	\$10.19	7%
Industrial	100,000	\$390.52	\$417.61	\$27.09	7%

Comparable Cities

The chart below compares water rates of similar sized cities in our region. For the average residential user, Pella would continue to have the highest rate by a minimal amount. For the average commercial user, Pella would pay just slightly more than the City of Knoxville and would still be significantly less than the City of Oskaloosa. For the industrial user, the City of Pella would continue to remain very competitive with the City of Knoxville and continue to be significantly less than the City of Oskaloosa.

It is important to note that when comparing our rates to others in the region one must consider the service level provided by the utilities. For instance, there are utilities who perform minimal water treatment. In comparison, our water treatment process is a significant component of our rates. In order to compensate for the lack of water treatment, their customers will often need to install additional filtration systems to obtain a higher quality of water. Unfortunately, these costs are typically not included in water rate comparisons.

Water Rate Comparisons--In City Limits

Knoxville	\$8.00	\$28.00	\$140.00	\$400.00
Oskaloosa	\$10.26	\$58.26	\$250.28	\$696.04
Pella	\$15.52	\$41.77	\$146.77	\$390.52
Pella Proposed	\$16.61	\$44.68	\$156.96	\$417.61

Summary

This ordinance would approve a 7% increase in the City's water rates. The proposed increase is needed to fund the City's long term water supply plan. This proposed rate increase reflects the second of four projected rate increases. Once fully implemented, the rate increases are expected to result in an overall 20-30% increase. However, future rate increases will be implemented on an incremental basis. The reason for this approach is to potentially minimize the financial impact to the rate payers while at the same time ensuring the utility has adequate cash flows to fund the plan.

Staff is requesting to waive the 3rd and final reading of this ordinance, so it can be approved and published in a timely matter.

ATTACHMENTS: Ordinance

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDATION: Approve Ordinance.

ORDINANCE NO. 910

AN ORDINANCE AMENDING WATER RATES
OF THE CITY OF PELLA, IOWA

Be it Enacted by the City Council or the City of Pella, Iowa:

SECTION ONE:

Chapter 171 Section 8 be hereby amended by deleting the subsection in its entirety and substituting in place thereof the following:

Description

Water-Hydrant meter installation +	\$ 30.00
Hydrant meter water usage per water rates	
Water – new user (not previously assessed) per lineal front ft.	\$ 8.00
Water hookup fee outside of Corporate Limits	\$800.00
Water reconnect	\$ 30.00
Water reconnect after hours	\$ 60.00
Water – Temporary Vacancy	\$ 30.00
Water vending (located at water treatment) 120 gallons per	\$.25
Water Laboratory Fees:	
Total Coliform Bacteria	\$ 10.00
Nitrate	\$ 13.00
Bacteria and Nitrate	\$ 22.00
Fluoride	\$ 12.00
Monthly Water Rates:	
Rates within the Corporate Limits per 1,000 gallons used	
Water User Minimum Charge	\$16.61 per month
Water Use Rate	\$ 4.01 per 1k gal.
Secondary Meter (Garden Meter)	\$ 5.21 per month
Rates outside Corporate Limits per 1,000 gallons used	
Water User Minimum Charge	\$24.91 per month
Water Use Rate	\$ 6.02 per 1k gal.
Secondary Meter (Garden Meter)	\$ 7.82 per month

All ordinances or portions of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION TWO:

This Ordinance shall be in effect with utility bills due August 20, 2016 after its final passage, approval and publication as provided by law.

SECTION THREE:

If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

PASSED and ADOPTED by the Council of the City of Pella, Iowa, this ____ day of _____, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

J-1

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
ADAMS, JENNIFER (5146)						
72-16903-18	DEPOSIT REFUND ON 731 1/2 FRANK	06/16/2016	07/05/2016	30.21	06/16	400.2210
Total ADAMS, JENNIFER (5146):				30.21		
ALLIANT-IES (GAS) (1060)						
06102016 -OUT PO	NATURAL GAS - OUTDOOR POOL	06/10/2016	07/05/2016	2,411.66	06/16	100.5.04.4301.6371
06232016 - CC	NATURAL GAS - CC	06/23/2016	07/05/2016	18.03	06/16	100.5.04.4100.6371
06232016 - CC A	NATURAL GAS - CC	06/23/2016	07/05/2016	60.94	06/16	100.5.04.4100.6371
Total ALLIANT-IES (GAS) (1060):				2,490.63		
AMAZON (1070)						
024808779647	TELEPHONE EQUIPMENT - EL	05/27/2016	07/05/2016	30.72	06/16	400.5.06.8588.9920
040119765709	HARD DISK DRIVE - EL	05/18/2016	07/05/2016	89.99	06/16	400.5.06.8588.9920
040119765709	TYVEK SHIPPING ENVELOPES - EL	05/18/2016	07/05/2016	48.79	06/16	400.5.06.8588.9920
06022016	MONITOR REPLACEMENT	06/02/2016	07/05/2016	309.96	06/16	201.5.00.7099.6725
06022016	RECEIPT PRINTERS	06/02/2016	07/05/2016	280.93	06/16	201.5.00.7099.6725
06022016	MONITOR REPLACEMENT	06/02/2016	07/05/2016	119.99	06/16	201.5.00.7099.6725
06022016	ADMIN CLICKER	06/02/2016	07/05/2016	17.13	06/16	100.5.00.6100.6510
06022016	DOOR REPAIR FOR COMMUNITY CEN	06/02/2016	07/05/2016	57.60	06/16	100.5.04.4100.6310
092599302844	FIBER TERMINATION CLOSET - EL	05/26/2016	07/05/2016	215.17	06/16	400.5.06.8588.9920
142314854244	DEWALT 20V BATTERIES/CONVERTE	05/25/2016	07/05/2016	124.99	06/16	400.5.06.8588.9950
142316791437	DEWALT TOOL COMBO KIT 20V - EL	05/25/2016	07/05/2016	484.99	06/16	400.5.06.8588.9950
180282509795	DRAWING HOLDER - EL	05/13/2016	07/05/2016	101.99	06/16	400.5.06.8588.9920
180285215145	DRAWING CLAMPS - EL	05/14/2016	07/05/2016	101.09	06/16	400.5.06.8588.9920
180285215145	TRUCK ACCESSORIES - EL	05/14/2016	07/05/2016	49.50	06/16	400.5.06.8588.9660
190148119894	POWER CABLE CUTTER - EL	05/15/2016	07/05/2016	633.90	06/16	400.5.06.8588.9950
201927480921	ETHERNET PATCH CABLES - EL	06/06/2016	07/05/2016	79.79	06/16	400.5.06.8588.9920
201928203455	ETHERNET CABLES - EL	06/06/2016	07/05/2016	5.52	06/16	400.5.06.8588.9920
202907631951	FIBER TERMINATION PLATE - EL	05/26/2016	07/05/2016	76.99	06/16	400.5.06.8588.9920
264177914600	TELEPHONE/FIBER CONVERTER - EL	05/26/2016	07/05/2016	998.00	06/16	400.5.06.8566.9030
270334501163	PHONE RACKMOUNT BRACKETS - EL	05/27/2016	07/05/2016	34.45	06/16	400.5.06.8588.9920
300796348101	PHONE TERMINATION RACKMOUNT -	05/26/2016	07/05/2016	119.99	06/16	400.5.06.8588.9920
300799127553	TELEPHONE EQUIPMENT - EL	05/27/2016	07/05/2016	190.74	06/16	400.5.06.8588.9920
Total AMAZON (1070):				4,172.22		
AMERICAN PUBLIC WORKS ASSOCIAT (1087)						
060616PW	APWA MEMBERSHIP	06/06/2016	07/05/2016	310.00	06/16	100.5.05.6500.6210
Total AMERICAN PUBLIC WORKS ASSOCIAT (1087):				310.00		
ARNOLD MOTOR SUPPLY (1126)						
37-508470	SHOP SUPPLIES	06/16/2016	07/05/2016	5.90	06/16	115.5.05.2100.6330
Total ARNOLD MOTOR SUPPLY (1126):				5.90		
ARROWHEAD SCIENTIFIC INC. (4895)						
88437	EVIDENCE SUPPLIES - PD	06/16/2016	07/05/2016	264.94	06/16	100.5.01.1040.6510
Total ARROWHEAD SCIENTIFIC INC. (4895):				264.94		
AUTOMATIC DATA PROCESSING INC (1139)						
1313310-06-2016	BACKGROUND CHECKS	06/26/2016	07/05/2016	101.33	06/16	100.5.00.6320.6416
Total AUTOMATIC DATA PROCESSING INC (1139):				101.33		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
B & B BEDDING INC (1146)						
0086150	PLAYGROUND MULCH - PK	06/14/2016	07/05/2016	1,095.00	06/16	100.5.09.4200.6560
Total B & B BEDDING INC (1146):				1,095.00		
BACKFLOW PREVENTION SVC OF IA (1153)						
S 215315	BACKFLOW REPAIR - POOL	06/15/2016	07/05/2016	465.00	06/16	100.5.04.4301.6310
Total BACKFLOW PREVENTION SVC OF IA (1153):				465.00		
BARCO MUNICIPAL PRODUCTS INC (1175)						
IN-220726	LED LIGHT/BARRICADES	06/23/2016	07/05/2016	350.38	06/16	115.5.05.2100.6545
Total BARCO MUNICIPAL PRODUCTS INC (1175):				350.38		
BATTYSHACK INC (5863)						
060516	BATTING CAGE DUGOUT ORGANIZER	06/14/2016	07/05/2016	900.00	06/16	203.5.08.7226.6799
Total BATTYSHACK INC (5863):				900.00		
BOER, PAUL H (5054)						
1611580030	EE REBATE - AC TUNE-UP - EL	06/28/2016	07/05/2016	30.00	06/16	400.2215
Total BOER, PAUL H (5054):				30.00		
BRADSHAW FOWLER PROCTOR (1324)						
227573	LEGAL FEES - EL	06/14/2016	07/05/2016	529.00	06/16	400.5.06.8923.9820
227574	LEGAL FEES - WEST SUB - EL	06/14/2016	07/05/2016	23.00	06/16	410.5.06.8955.3900
Total BRADSHAW FOWLER PROCTOR (1324):				552.00		
BROWN SUPPLY CO INC (1354)						
68180	8" PVC PIPE & ACCESSORIES	06/14/2016	07/05/2016	5,238.00	06/16	310.5.05.8183.6790
Total BROWN SUPPLY CO INC (1354):				5,238.00		
CARPENTER UNIFORM CO (1428)						
416360	SHIRTS - FD	06/23/2016	07/05/2016	3,565.12	06/16	201.5.02.7046.6727
417422	UNIFORM EXPENSE - PD	06/28/2016	07/05/2016	245.91	06/16	100.5.01.1030.6510
Total CARPENTER UNIFORM CO (1428):				3,811.03		
CARTER, MARK F (5867)						
45-13900-03	DEPOSIT REFUND	06/27/2016	07/05/2016	113.79	06/16	400.2210
Total CARTER, MARK F (5867):				113.79		
CENTRAL IA WATER ASSOC (1462)						
06272016	CENTRAL IOWA WATER BILLS -ANNE	06/27/2016	07/05/2016	1,202.20	06/16	300.5.05.8100.6416
Total CENTRAL IA WATER ASSOC (1462):				1,202.20		
CITY OF PELLA (1503)						
1614580004	DISTRIBUTION (GARAGE)- LED EE RE	06/21/2016	07/05/2016	1,890.00	06/16	400.2215
Total CITY OF PELLA (1503):				1,890.00		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
CLASSIC AVIATION INC (1519)						
07012016	AIRPORT MANAGER PAYMENT	07/01/2016	07/05/2016	3,447.50	07/16	100.5.05.2200.6405
Total CLASSIC AVIATION INC (1519):				3,447.50		
COMMERCIAL TURF SERVICES LLC (1542)						
508149	AERATION TINES - PK	06/20/2016	07/05/2016	157.68	06/16	100.5.09.4245.6350
Total COMMERCIAL TURF SERVICES LLC (1542):				157.68		
CUSTOMIZED ENERGY SOLUTIONSLTD (1622)						
1040927	TRANSMISSION - FTR'S	06/20/2016	07/05/2016	1,000.00	06/16	400.5.06.8565.9520
Total CUSTOMIZED ENERGY SOLUTIONSLTD (1622):				1,000.00		
DANKO EMERGENCY EQUIPMENT CO (5570)						
76130	HELMETS - FD	06/09/2016	07/05/2016	6,804.00	06/16	201.5.02.7046.6727
Total DANKO EMERGENCY EQUIPMENT CO (5570):				6,804.00		
DE GROOT, MARTENA (5876)						
1611580016	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total DE GROOT, MARTENA (5876):				30.00		
DE NOOY, PEGGY (5875)						
1611580017	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total DE NOOY, PEGGY (5875):				30.00		
DE RUITER EQUIPMENT (1685)						
060116AIR	TIMMER LINE	06/01/2016	07/05/2016	14.95	06/16	100.5.05.2200.6590
06132016 - PK	OIL FILTERS FOR #301 & 313 - PK	06/13/2016	07/05/2016	19.60	06/16	100.5.09.4200.6350
06162016 - PK	MOWER SWITCH # 313 - PK	06/16/2016	07/05/2016	12.75	06/16	100.5.09.4200.6350
32346	PARTS FOR LAWN MOWER	05/13/2016	07/05/2016	15.14	06/16	100.5.05.2200.6350
32505	PARTS FOR LAWN MOWER	05/18/2016	07/05/2016	33.00	06/16	100.5.05.2200.6350
4701	BLOWER REPAIR - PK	06/16/2016	07/05/2016	22.40	06/16	100.5.09.4200.6350
Total DE RUITER EQUIPMENT (1685):				117.84		
DGR ENGINEERING (1706)						
00219624	CONSULT. - DP TANK PAINTING - DP	06/13/2016	07/05/2016	1,890.00	06/16	410.5.06.8951.3150
00219625	CONSULT. - WEST SUB 69 KV IMPRO	06/13/2016	07/05/2016	7,832.62	06/16	410.5.06.8955.3900
00219626	CONSULT. - 2016 DISTRIBUTION IMPR	06/13/2016	07/05/2016	10,755.00	06/16	410.5.06.8952.3670
Total DGR ENGINEERING (1706):				20,477.62		
DIAMOND VOGEL PAINTS (1747)						
277167608	SNOW PLOW MATERIALS	06/16/2016	07/05/2016	20.79	06/16	115.5.05.2100.6420
277167782	SNOW PLOW PAINT	06/23/2016	07/05/2016	162.04	06/16	115.5.05.2100.6420
Total DIAMOND VOGEL PAINTS (1747):				182.83		
DIELEMAN, BERNICE (5348)						
1611580021	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total DIELEMAN, BERNICE (5348):				30.00		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
DLD REVOCABLE TRUST (5871)						
1620580016	EE REBATE - EL	06/21/2016	07/05/2016	172.00	06/16	400.2215
Total DLD REVOCABLE TRUST (5871):				172.00		
DOWIE PEST CONTROL (1801)						
19436 SA	PEST CONTROL WWTP	06/20/2016	07/05/2016	85.00	06/16	350.5.05.8300.6310
Total DOWIE PEST CONTROL (1801):				85.00		
DURIVAGE, LORI (5885)						
1611580032	EE REBATE - AC TUNE-UP - EL	06/28/2016	07/05/2016	30.00	06/16	400.2215
Total DURIVAGE, LORI (5885):				30.00		
DUTCH MILL SUPPLY (1834)						
165020	PAINT AND SUPPLIES FOR BASEMEN	06/16/2016	07/05/2016	72.56	06/16	100.5.05.2200.6590
165031	PAINT FOR BASEMENT	06/17/2016	07/05/2016	36.58	06/16	100.5.05.2200.6590
Total DUTCH MILL SUPPLY (1834):				109.14		
FAIRCHILD COMMUNICATIONS (1919)						
061944	NDB MAINTENANCE	06/15/2016	07/05/2016	135.00	06/16	100.5.05.2200.6416
Total FAIRCHILD COMMUNICATIONS (1919):				135.00		
FASTENAL COMPANY (1929)						
IAPEA94618	UG MARKING PAINT - EL	06/07/2016	07/05/2016	99.26	06/16	400.5.06.8584.9030
IAPEA94769	SNOW PLOW PARTS	06/14/2016	07/05/2016	6.94	06/16	115.5.05.2100.6420
IAPEA94815	CUT-OFF WHEELS - EL	06/15/2016	07/05/2016	141.84	06/16	400.5.06.8588.9950
IAPEA94846	FISH PAD - OUT POOL	06/16/2016	07/05/2016	31.74	06/16	100.5.04.4301.6310
IAPEA94870	WASHERS - POOL	06/17/2016	07/05/2016	3.00	06/16	100.5.04.4301.6310
IAPEA94914	NUTS & BOLTS	06/21/2016	07/05/2016	18.38	06/16	350.5.05.8300.6350
Total FASTENAL COMPANY (1929):				301.16		
FRANK DUNN CO (1984)						
050516PWS	HIGH PERFORMANCE PATCH	05/05/2016	07/05/2016	315.00	06/16	115.5.05.2100.6549
Total FRANK DUNN CO (1984):				315.00		
GALLS LLC (2022)						
005505332	UNIFORM EXPENSE - PD	06/06/2016	07/05/2016	11.79	06/16	100.5.01.1030.6510
005554790	CHEMICAL MUNITIONS - PD	06/15/2016	07/05/2016	62.40	06/16	100.5.01.1030.6510
Total GALLS LLC (2022):				74.19		
GALVANIZERS INC (2023)						
91385	STEEL STRUCTURES - EL	06/17/2016	07/05/2016	133,780.76	06/16	410.5.06.8955.3900
Total GALVANIZERS INC (2023):				133,780.76		
GARDEN & ASSOCIATES LTD (2026)						
34264	RESIDENTIAL LOCAL ST WATER MAI	06/21/2016	07/05/2016	610.00	06/16	310.5.05.8178.6790
34265	OSKALOOSA ST RECON	06/21/2016	07/05/2016	26,421.53	06/16	215.5.05.2191.6761
34266	WASHINGTON STREET PROJECT	06/21/2016	07/05/2016	16,781.24	06/16	215.5.05.2179.6761

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total GARDEN & ASSOCIATES LTD (2026):				43,812.77		
GEMPLER'S INC (2047)						
SI02619756	STEEL TOE MUDDER BOOTS	06/14/2016	07/05/2016	154.95	06/16	350.5.05.8310.6546
SI02619756	SHIPPING-VVWTP	06/14/2016	07/05/2016	21.95	06/16	350.5.05.8300.6531
SI02630976	STEEL TOE MUDDER BOOTS	06/17/2016	07/05/2016	154.95	06/16	350.5.05.8310.6546
SI02630976	SHIPPING-VVWTP	06/17/2016	07/05/2016	21.95	06/16	350.5.05.8300.6531
Total GEMPLER'S INC (2047):				353.80		
GRAYMONT WESTERN LIME INC. (2093)						
74177 RI	LIME	06/16/2016	07/05/2016	4,039.61	06/16	300.5.05.8120.6503
Total GRAYMONT WESTERN LIME INC. (2093):				4,039.61		
GRITTERS ELECTRIC (2104)						
202531	TIMER RELAY-LIME	06/15/2016	07/05/2016	101.12	06/16	300.5.05.8120.6350
202541	BLDG NEEDS	06/16/2016	07/05/2016	27.54	06/16	115.5.05.2100.6310
202542	SWITCH-LIME SLAKER	06/16/2016	07/05/2016	8.60	06/16	300.5.05.8120.6350
Total GRITTERS ELECTRIC (2104):				137.26		
GROENENBOOM, RANDY (5884)						
1611580031	EE REBATE - AC TUNE-UP - EL	06/28/2016	07/05/2016	30.00	06/16	400.2215
Total GROENENBOOM, RANDY (5884):				30.00		
HACH COMPANY (2136)						
9972704	LAB SUPPLIES - WTP	06/14/2016	07/05/2016	240.87	06/16	300.5.05.8120.6547
9979257	LAB EQUIPMENT	06/17/2016	07/05/2016	1,489.29	06/16	300.5.05.8120.6547
9985640	D.O. METER AND PROBE	06/22/2016	07/05/2016	3,502.76	06/16	350.5.05.8300.6350
9985640	SHIPPING	06/22/2016	07/05/2016	294.25	06/16	350.5.05.8300.6531
Total HACH COMPANY (2136):				5,527.17		
HAGENS TREE SVC (2141)						
06172016	TREE MULCH - PK	06/17/2016	07/05/2016	100.00	06/16	100.5.09.4200.6560
Total HAGENS TREE SVC (2141):				100.00		
HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798)						
60907	LEGAL FEES	06/20/2016	07/05/2016	4,897.50	06/16	100.5.00.6100.6431
Total HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798):				4,897.50		
HAUG, KATHY (5822)						
1611580028	EE REBATE - EL	06/21/2016	07/05/2016	100.00	06/16	400.2215
Total HAUG, KATHY (5822):				100.00		
HAUPERT, BRET (2190)						
062016PD	FUEL - PD	06/20/2016	07/05/2016	33.98	06/16	100.5.01.1030.6514
Total HAUPERT, BRET (2190):				33.98		
HAWKEYE TRUCK EQUIPMENT (2197)						
122133	PLOW CYLINDERS	06/27/2016	07/05/2016	760.00	06/16	115.5.05.2100.6420

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Total HAWKEYE TRUCK EQUIPMENT (2197):				760.00		
HAWKINS INC (2198)						
3900434 RI	CHEMICALS	06/14/2016	07/05/2016	1,029.54	06/16	300.5.05.8120.6503
Total HAWKINS INC (2198):				1,029.54		
HOKSEY NATIVE SEEDS (5868)						
16141	FRONTAGE NATIVE SEEDING	06/16/2016	07/05/2016	2,442.00	06/16	203.5.08.7226.6799
Total HOKSEY NATIVE SEEDS (5868):				2,442.00		
HUISMAN, MICHAEL (5738)						
1611580027	EE REBATE (HVAC) - EL	06/21/2016	07/05/2016	250.00	06/16	400.2215
Total HUISMAN, MICHAEL (5738):				250.00		
HY-VEE (2328)						
082504	SAMPLER ICE	06/20/2016	07/05/2016	11.94	06/16	350.5.05.8300.6547
5725610614	ICE - POOL	06/15/2016	07/05/2016	3.98	06/16	100.5.04.4301.6590
5726261654	ICE - POOL	06/16/2016	07/05/2016	3.98	06/16	100.5.04.4301.6590
5727665133	ICE - POOL	06/18/2016	07/05/2016	3.98	06/16	100.5.04.4301.6590
5728995767	ICE	06/20/2016	07/05/2016	7.96	06/16	100.5.04.4301.6590
5729773913	CONCESSIONS FOOD - SPORTS PAR	06/21/2016	07/05/2016	11.94	06/16	100.5.09.4245.6530
5730150599	ICE - POOL	06/22/2016	07/05/2016	3.98	06/16	100.5.04.4301.6590
5731274339	CONCESSIONS FOOD - SPORTS PAR	06/24/2016	07/05/2016	3.98	06/16	100.5.09.4245.6530
5731968908	CONCESSIONS FOOD - SPORTS PAR	06/25/2016	07/05/2016	10.70	06/16	100.5.09.4245.6530
5732201802	ICE - POOL	06/25/2016	07/05/2016	7.96	06/16	100.5.04.4301.6590
5732793668	ICE - POOL	06/26/2016	07/05/2016	3.98	06/16	100.5.04.4301.6590
Total HY-VEE (2328):				74.38		
IA ASSN MUNICIPAL UTILIT (2335)						
13697	PHASE TRAKKER RENTAL - EL	06/22/2016	07/05/2016	200.00	06/16	410.5.06.8952.3670
Total IA ASSN MUNICIPAL UTILIT (2335):				200.00		
IA CITY/COUNTY MANAGEMENT ASSO (2342)						
07012016	IACMA MEMBERSHIP - GOODENOW	07/01/2016	07/05/2016	100.00	07/16	100.5.00.6100.6210
Total IA CITY/COUNTY MANAGEMENT ASSO (2342):				100.00		
IA DEPT OF NATURAL RES (2352)						
062216WWTP	LAB CERTIFICATION RENEWAL	06/22/2016	07/05/2016	400.00	06/16	350.5.05.8310.6414
Total IA DEPT OF NATURAL RES (2352):				400.00		
IA LEAGUE OF CITIES (2377)						
070475	IA LEAGUE OF CITIES DUES FY17	06/15/2016	07/05/2016	3,977.00	06/16	100.5.00.6000.6210
Total IA LEAGUE OF CITIES (2377):				3,977.00		
IA MUNICIPALITIES WORKERS' (2382)						
INV61379	WORK COMP PREMIUM	06/01/2016	07/05/2016	3,390.00	07/16	115.5.05.2100.6160
INV61379	WORK COMP PREMIUM	06/01/2016	07/05/2016	231.00	07/16	100.5.04.4100.6160
INV61379	WORK COMP PREMIUM	06/01/2016	07/05/2016	1,945.00	07/16	300.5.05.8100.6160
INV61379	WORK COMP PREMIUM	06/01/2016	07/05/2016	3,656.00	07/16	400.5.06.8925.9740

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INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	769.00	07/16	350.5.05.8300.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	1,562.00	07/16	100.5.02.1100.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	88.00	07/16	100.5.01.1000.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	1,090.00	07/16	100.5.01.1010.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	6,007.00	07/16	100.5.01.1030.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	192.00	07/16	100.5.01.1070.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	5.00	07/16	100.5.00.6000.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	148.00	07/16	100.5.00.6100.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	223.00	07/16	100.5.03.4000.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	1,097.00	07/16	100.5.04.4300.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	1,221.00	07/16	100.5.09.4200.6160
INV61379	WORK COMP PREIMIUM	06/01/2016	07/05/2016	413.00	07/16	100.5.05.5000.6160
Total IA MUNICIPALITIES WORKERS' (2382):				22,037.00		
IA PRISON INDUSTRIES (2392)						
940316	SIGNS	06/10/2016	07/05/2016	189.20	06/16	115.5.05.2100.6532
Total IA PRISON INDUSTRIES (2392):				189.20		
IA RADIO PLUS (2394)						
16060364	ADVERTISING - CITIZEN POLICE ACA	06/26/2016	07/05/2016	48.72	06/16	100.5.01.1050.6402
Total IA RADIO PLUS (2394):				48.72		
IDEAL READY MIX COMPANY (2429)						
480922	CONCRETE- DIST SHOP	06/18/2016	07/05/2016	1,505.25	06/16	300.5.05.8130.6399
480922	CONCRETE	06/18/2016	07/05/2016	1,505.25	06/16	350.5.05.8330.6310
480923	ST REPAIR/PRAIRIE	06/18/2016	07/05/2016	1,226.50	06/16	115.5.05.2100.6549
480924	ST PATCH/E 6TH	06/18/2016	07/05/2016	864.13	06/16	115.5.05.2100.6549
Total IDEAL READY MIX COMPANY (2429):				5,101.13		
IRBY (2483)						
S009638757.001	SECONDARY GEL-PORT CONNECTO	06/09/2016	07/05/2016	1,234.80	06/16	400.5.06.8584.9030
Total IRBY (2483):				1,234.80		
J J KELLER & ASSOC (2496)						
2016 - 200146867	DATA TRAINING SUPPLIES	06/28/2016	07/05/2016	58.35	07/16	100.5.00.6320.6546
9101247716	LABOR LAW POSTERS	06/17/2016	07/05/2016	355.02	06/16	100.5.00.6320.6405
Total J J KELLER & ASSOC (2496):				413.37		
JEFF ELLIS & ASSOCIATES INC. (2518)						
20077413	ELLIS FEE - POOL	07/01/2016	07/05/2016	934.58	07/16	100.5.04.4300.6416
Total JEFF ELLIS & ASSOCIATES INC. (2518):				934.58		
JIMMY JOHNS (2523)						
HOUSEACC 06/28/	CITY HALL-MEETING EXPENSE	06/28/2016	07/05/2016	54.99	06/16	100.5.00.6000.6240
Total JIMMY JOHNS (2523):				54.99		
JOHN DEERE FINANCIAL (2528)						
2629261	SAFETY APPAREL - PP	05/23/2016	07/05/2016	203.28	06/16	400.5.06.8549.9020
2640451	PUMP, ROUNDUP - PK	06/08/2016	07/05/2016	92.98	06/16	100.5.09.4200.6590
2644931	GLOVES, EYEWEAR - PK	06/15/2016	07/05/2016	33.97	06/16	100.5.09.4200.6590

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2645199	HARDWARE, GLOVES, SAWZALL BLA	06/15/2016	07/05/2016	48.87	06/16	300.5.05.8120.6544
2645588	HAND SANITIZER	06/16/2016	07/05/2016	5.98	06/16	350.5.05.8330.6546
2645816	CHOP SAW	06/16/2016	07/05/2016	233.97	06/16	350.5.05.8300.6510
2646337	FOUNTAIN ANTIFOAM - PK	06/17/2016	07/05/2016	35.98	06/16	100.5.09.4200.6590
2646539	SHOP SUPPLIES	06/17/2016	07/05/2016	12.96	06/16	115.5.05.2100.6330
2648236	WEED KILLER - EL	06/20/2016	07/05/2016	26.99	06/16	400.5.06.8588.9300
2648860	NUTDRIVER- METER DEPT	06/21/2016	07/05/2016	4.99	06/16	300.5.05.8140.6510
2648999	SHOP SUPPLIES/ VEG CONTROL	06/21/2016	07/05/2016	119.95	06/16	115.5.05.2100.6545
2649080	PPE	06/21/2016	07/05/2016	15.99	06/16	115.5.05.2100.6546
2649414	BLDG NEEDS	06/22/2016	07/05/2016	6.32	06/16	115.5.05.2100.6310
2649598	MOUNTING TAPE	06/22/2016	07/05/2016	5.99	06/16	100.5.04.4301.6590
2649735	SPRAYER WANDS	06/22/2016	07/05/2016	11.98	06/16	350.5.05.8300.6510
2650048	FANS	06/23/2016	07/05/2016	39.98	06/16	100.5.09.4245.6530
2650048	FANS	06/23/2016	07/05/2016	37.98	06/16	100.5.04.4301.6590
2650117	PLASTIC FITTINGS	06/23/2016	07/05/2016	8.48	06/16	350.5.05.8300.6350
2650150	SAWZALL BLADES, TORX BITS & MAR	06/23/2016	07/05/2016	46.44	06/16	300.5.05.8120.6510
2650215	SPRAY PAINT - PK	06/23/2016	07/05/2016	7.99	06/16	100.5.09.4200.6590
2651748	AIR COMPRESSOR	06/25/2016	07/05/2016	349.99	06/16	100.5.04.4300.6310
Total JOHN DEERE FINANCIAL (2528):				1,351.06		
JWC ENVIRONMENTAL (2554)						
81488	GRINDER REPAIR	06/21/2016	07/05/2016	14,390.00	06/16	350.5.05.8300.6399
Total JWC ENVIRONMENTAL (2554):				14,390.00		
KELLY SUPPLY CO (2579)						
8162948-0	FISH PAD REPAIR - POOL	06/17/2016	07/05/2016	20.83	06/16	100.5.04.4301.6310
8163012-0	LIGHT BULBS - PD	06/23/2016	07/05/2016	57.54	06/16	100.5.01.1000.6310
Total KELLY SUPPLY CO (2579):				78.37		
KLK CONSTRUCTION (2621)						
16028	OSKALOOSA RECONSTRUCTION	06/02/2016	07/05/2016	1,763.00	06/16	215.5.05.2191.6761
Total KLK CONSTRUCTION (2621):				1,763.00		
KRIZ-DAVIS COMPANY (2667)						
S101344524.001	TRANSFORMER PADDLE EXTENSION	06/10/2016	07/05/2016	355.51	06/16	400.5.06.8584.9030
Total KRIZ-DAVIS COMPANY (2667):				355.51		
KRUSEMAN IMPLEMENT INC (2669)						
92448	PARTS FOR BAT WING MOWER	05/16/2016	07/05/2016	208.04	06/16	100.5.05.2200.6350
Total KRUSEMAN IMPLEMENT INC (2669):				208.04		
KUYPER, PH (5880)						
1611580024	EE HVAC REBATE FOR 1003 MAIN - E	06/21/2016	07/05/2016	525.00	06/16	400.2215
1611580025	EE HVAC REBATE FOR 1003 MAIN - E	06/21/2016	07/05/2016	525.00	06/16	400.2215
Total KUYPER, PH (5880):				1,050.00		
LAMPERT LUMBER (2653)						
9112041	PPE	06/15/2016	07/05/2016	39.98	06/16	115.5.05.2100.6546
9112439	PPE	06/22/2016	07/05/2016	63.55	06/16	115.5.05.2100.6546
9112488	PLYWOOD - PD	06/23/2016	07/05/2016	39.89	06/16	100.5.01.1000.6320

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Total LAMPERT LUMBER (2653):				143.42		
LINCOLN NATIONAL (2752)						
3261618631	CTYPELLA-BL-1027246 LIFE/LTD INS	06/10/2016	07/05/2016	475.20	07/16	191.5.08.9200.6154
3261618631	CTYPELLA-BL-1027246 LIFE/LTD INS	06/10/2016	07/05/2016	90.86	07/16	191.5.08.9200.6154
3261618631	CTYPELLA-BL-1027246 LIFE/LTD INS	06/10/2016	07/05/2016	79.20	07/16	191.5.08.9200.6154
3261618631	CTYPELLA-BL-1027246 LIFE/LTD INS	06/10/2016	07/05/2016	1,219.24	07/16	191.5.08.9200.6155
Total LINCOLN NATIONAL (2752):				1,864.50		
LOGAN CONTRACTORS SUPPLY (2769)						
L16547	ST MAINTENANCE	06/21/2016	07/05/2016	523.06	06/16	115.5.05.2100.6545
L16643	ST MAINTENANCE	06/22/2016	07/05/2016	1,004.06	06/16	115.5.05.2100.6545
Total LOGAN CONTRACTORS SUPPLY (2769):				1,527.12		
MAHASKA BOTTLING/PEPSI-COLA (2803)						
1000909	CONCESSIONS POP - SPORTS PARK	06/15/2016	07/05/2016	200.60	06/16	100.5.09.4245.6530
1000914	POP FOR RESALE	06/15/2016	07/05/2016	111.40	06/16	100.5.04.4310.6530
1001603	CONCESSIONS POP - SPORTS PARK	06/22/2016	07/05/2016	155.00	06/16	100.5.09.4245.6530
1001610	CONCESSION POP - POOL	06/22/2016	07/05/2016	162.80	06/16	100.5.04.4310.6530
1001771	CONCESSION POP - POOL	06/23/2016	07/05/2016	97.60	06/16	100.5.04.4310.6530
Total MAHASKA BOTTLING/PEPSI-COLA (2803):				727.40		
MALLOY ELECTRIC BEARING SUPPLY (2815)						
6083309	TRANSFORMER ANALYSIS - EL	06/10/2016	07/05/2016	2,079.00	06/16	400.5.06.8592.9030
Total MALLOY ELECTRIC BEARING SUPPLY (2815):				2,079.00		
MANATTS INC (2817)						
813958	ST. REPAIRS	06/15/2016	07/05/2016	1,457.50	06/16	115.5.05.2100.6549
Total MANATTS INC (2817):				1,457.50		
MARTIN MARIETTA MATERIALS (2842)						
17838521	ROCK-DIST/COLL CREW	06/09/2016	07/05/2016	400.34	06/16	310.5.05.8183.6790
17838521	ROCK-DIST/COLL CREW	06/09/2016	07/05/2016	400.34	06/16	350.5.05.8330.6499
17838532	ROCK BILL	06/09/2016	07/05/2016	1,127.00	06/16	115.5.05.2100.6549
17871129	ROCK BILL	06/13/2016	07/05/2016	761.38	06/16	115.5.05.2100.6549
17923400	ROCK BILL-PWS	06/20/2016	07/05/2016	917.36	06/16	115.5.05.2100.6549
Total MARTIN MARIETTA MATERIALS (2842):				3,606.42		
MAXWELL, SANDRA R (5862)						
69-16006-20	DEPOSIT REFUND ON 410 E 13TH AP	06/16/2016	07/05/2016	91.68	06/16	400.2210
Total MAXWELL, SANDRA R (5862):				91.68		
MC MASTER-CARR SUPPLY CO (2886)						
65533059	PVC FLAGS	06/15/2016	07/05/2016	39.49	06/16	350.5.05.8300.6350
Total MC MASTER-CARR SUPPLY CO (2886):				39.49		
MCCONNELL, MARK (5878)						
1611580019	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215

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Total MCCONNELL, MARK (5878):				30.00		
MEDIACOM (5331)						
061416PW	INTERNET-PW	06/14/2016	07/05/2016	135.90	06/16	100.5.05.6500.6373
Total MEDIACOM (5331):				135.90		
MENNINGA PEST CONTROL (2913)						
47540	PEST CONTROL - CH	06/20/2016	07/05/2016	32.50	06/16	100.5.00.6100.6310
47680	PEST CONTROL - PP	06/15/2016	07/05/2016	119.84	06/16	400.5.06.8549.9020
47713	PEST CONTROL - CC	06/17/2016	07/05/2016	92.00	06/16	100.5.00.6100.6310
47824	PEST CONTROL - SOCCER COMPLEX	06/15/2016	07/05/2016	30.50	06/16	100.5.09.4200.6403
Total MENNINGA PEST CONTROL (2913):				274.84		
MEYERS, CRAIG (5887)						
1611580035	EE REBATE HVAC - EL	06/28/2016	07/05/2016	525.00	06/16	400.2215
Total MEYERS, CRAIG (5887):				525.00		
MIDLAND SCIENTIFIC INC (2957)						
5538275	LAB SUPPLIES	06/20/2016	07/05/2016	119.12	06/16	300.5.05.8120.6547
Total MIDLAND SCIENTIFIC INC (2957):				119.12		
MIDTOWN TIRE COMPANY (2961)						
161062	EQUIPMENT REPAIR	06/21/2016	07/05/2016	24.00	06/16	115.5.05.2100.6350
Total MIDTOWN TIRE COMPANY (2961):				24.00		
MIDWEST LIQUID SYSTEMS INC (2975)						
30267	FUEL SYSTEM ALARMS - PP	06/17/2016	07/05/2016	798.92	06/16	400.5.06.8552.9020
Total MIDWEST LIQUID SYSTEMS INC (2975):				798.92		
MISSOURI RIVER ENERGY SERVICES (3001)						
062416	PURCHASED POWER	06/24/2016	06/24/2016	857,659.31	06/16	400.5.06.8555.9500
062416	TRANSMISSION	06/24/2016	06/24/2016	110,693.05	06/16	400.5.06.8565.9520
Total MISSOURI RIVER ENERGY SERVICES (3001):				968,352.36		
MOORE, MIKE (5879)						
1611580020	EE REBATES - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total MOORE, MIKE (5879):				30.00		
MTI DISTRIBUTION INC (3042)						
1069711-00	SEAL KIT #311 - PK	06/08/2016	07/05/2016	121.72	06/16	100.5.09.4200.6350
1070600-00	IRRIGATION CAPS - SOCCER	06/10/2016	07/05/2016	91.93	06/16	100.5.09.4200.6397
1072616-00	IRRIGATION PARTS, TUBING, TAPE -	06/20/2016	07/05/2016	137.62	06/16	100.5.09.4245.6397
1073132-00	TORO Z TURN PULLEY, PARTS - PK	06/23/2016	07/05/2016	114.87	06/16	100.5.09.4200.6350
Total MTI DISTRIBUTION INC (3042):				466.14		
MUNICIPAL SUPPLY INC (3052)						
0625563-IN	GASKET	06/16/2016	07/05/2016	33.00	06/16	300.5.05.8130.6399
0626105-IN	PIPE AND FITTINGS	06/22/2016	07/05/2016	130.25	06/16	350.5.05.8300.6499

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0626294-IN	FERNCO COUPLING	06/23/2016	07/05/2016	91.70	06/16	350.5.05.8330.6499
Total MUNICIPAL SUPPLY INC (3052):				254.95		
NORMAN, MICHAEL (3133)						
1611580034	EE REBATE - AC TUNE-UP - EL	06/28/2016	07/05/2016	30.00	06/16	400.2215
Total NORMAN, MICHAEL (3133):				30.00		
NSI SOLUTIONS INC (3156)						
332781	LABORATORY SUPPLIES	06/16/2016	07/05/2016	170.00	06/16	350.5.05.8300.6547
332781	SHIPPING - WWTP	06/16/2016	07/05/2016	23.00	06/16	350.5.05.8300.6531
Total NSI SOLUTIONS INC (3156):				193.00		
ORIENTAL TRADING CO INC (3194)						
678252543-01	FLAGS, BEADS - ART CENTER	06/15/2016	07/05/2016	78.65	06/16	174.5.04.4110.6544
Total ORIENTAL TRADING CO INC (3194):				78.65		
PECH, JACOB OR SHAYLYNN (5864)						
75-21017-01	DEPOSIT REFUND	06/24/2016	07/05/2016	35.56	06/16	400.2210
Total PECH, JACOB OR SHAYLYNN (5864):				35.56		
PELLA CAR CARE (3257)						
0220767	BRAKE REPAIR #106 - PK	06/21/2016	07/05/2016	297.45	06/16	100.5.09.4200.6330
0220796	BRAKE LINE REPAIR #108 - PK	06/22/2016	07/05/2016	311.94	06/16	100.5.09.4200.6330
Total PELLA CAR CARE (3257):				609.39		
PELLA CONVENTION & VISITOR'S B (3267)						
06222016	HOTEL/MOTEL DISTRIBUTION	06/22/2016	07/05/2016	46,104.07	06/16	100.5.08.5100.6416
Total PELLA CONVENTION & VISITOR'S B (3267):				46,104.07		
PELLA FIRE DEPARTMENT (3274)						
07012016	STATION MAINTENANCE	07/01/2016	07/05/2016	520.00	07/16	100.5.02.1100.6310
Total PELLA FIRE DEPARTMENT (3274):				520.00		
PELLA HISTORICAL SOCIETY (3277)						
061516PWS	TULIP TIME-PW	06/15/2016	07/05/2016	2,700.00	06/16	100.5.08.5200.6599
Total PELLA HISTORICAL SOCIETY (3277):				2,700.00		
PELLA PRECAST PRODUCTS INC (3291)						
12901	WATER SERVICE REPAIR	06/16/2016	07/05/2016	2,961.98	06/16	300.5.05.8130.6398
Total PELLA PRECAST PRODUCTS INC (3291):				2,961.98		
PELLA RENTAL & SALES INC (3297)						
1-515608	CARPET FAN RENTAL	06/23/2016	07/05/2016	18.00	06/16	100.5.00.6100.6310
Total PELLA RENTAL & SALES INC (3297):				18.00		
PETTY CASH (3318)						
002311	FUEL	05/02/2016	07/05/2016	5.23	06/16	115.5.05.2100.6514

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
002724	POSTAGE-PZ	02/19/2016	07/05/2016	22.95	06/16	100.5.05.5000.6531
008359	FUEL	04/08/2016	07/05/2016	5.04	06/16	115.5.05.2100.6514
008897	FUEL	03/08/2016	07/05/2016	4.97	06/16	115.5.05.2100.6514
017292	FUEL	06/17/2016	07/05/2016	5.72	06/16	115.5.05.2100.6514
021816WTP	FUEL	02/18/2016	07/05/2016	10.88	06/16	300.5.05.8100.6514
023559	FUEL	05/23/2016	07/05/2016	5.53	06/16	115.5.05.2100.6514
025733	FUEL	04/25/2016	07/05/2016	5.26	06/16	115.5.05.2100.6514
029640	PREMIUM FUEL	02/29/2016	07/05/2016	4.70	06/16	115.5.05.2100.6514
060316WTP	FUEL	06/03/2016	07/05/2016	15.19	06/16	300.5.05.8100.6514
06747A	FUEL- DIST SHOP	06/23/2016	07/05/2016	7.25	06/16	300.5.05.8100.6514
06747A	FUEL	06/23/2016	07/05/2016	7.25	06/16	350.5.05.8330.6514
117555	EMPLOYEE RELATIONS CARD	02/01/2016	07/05/2016	10.70	06/16	100.5.00.6320.6412
Total PETTY CASH (3318):				110.67		
POST OFFICE (3371)						
06222016	MAIL 12 DAY NOTICES	06/22/2016	06/22/2016	56.95	06/16	300.5.05.8100.6531
06222016	MAIL 12 DAY NOTICES	06/22/2016	06/22/2016	51.26	06/16	195.5.05.8400.6531
06222016	MAIL 12 DAY NOTICES	06/22/2016	06/22/2016	51.26	06/16	350.5.05.8310.6531
06222016	MAIL 12 DAY NOTICES	06/22/2016	06/22/2016	68.34	06/16	400.5.06.8921.9020
063016	MAILING UTILITY BILLS	06/30/2016	06/30/2016	1,639.42	06/16	100.5.00.6310.6531
Total POST OFFICE (3371):				1,867.23		
POWER LINE SUPPLY COMPANY (5705)						
56039223	SAFETY APPAREL - PP	06/14/2016	07/05/2016	1,003.15	06/16	400.5.06.8549.9020
56041982	BUG SPRAY - EL	06/23/2016	07/05/2016	65.00	06/16	400.5.06.8588.9720
Total POWER LINE SUPPLY COMPANY (5705):				1,068.15		
QUILL CORPORATION (3420)						
6434775	SHARPIES - ART CENTER	06/07/2016	07/05/2016	27.49	06/16	174.5.04.4110.6544
6516462	OFFICE SUPPLIES-PW	06/09/2016	07/05/2016	51.53	06/16	100.5.05.6500.6543
6516769	SUPPLIES-PW	06/09/2016	07/05/2016	23.99	06/16	115.5.05.2100.6590
6686002	10 FLASH DRIVES - CC	06/16/2016	07/05/2016	42.99	06/16	100.5.04.4100.6543
6701542	GIS SUPPLIES	06/16/2016	07/05/2016	59.82	06/16	100.5.05.6500.6540
6701542	OFFICE SUPPLIES PW	06/16/2016	07/05/2016	19.98	06/16	100.5.05.6500.6543
Total QUILL CORPORATION (3420):				225.80		
RACOM CORPORATION (3429)						
5B117472	VIDEO LINK FOR COUNCIL OVERFLO	06/17/2016	07/05/2016	300.00	06/16	100.5.00.6000.6310
5B118272	PORTABLE CHARGER - PD	06/17/2016	07/05/2016	52.50	06/16	100.5.01.1030.6510
Total RACOM CORPORATION (3429):				352.50		
RAYMOND, MIRANDA E (5865)						
71-10111-12	DEPOSIT REFUND	06/27/2016	07/05/2016	18.47	06/16	400.2210
Total RAYMOND, MIRANDA E (5865):				18.47		
REMINGTON, SCOTT (5889)						
33-09601-28	DEPOSIT REFUND	06/29/2016	07/05/2016	112.01	06/16	400.2210
Total REMINGTON, SCOTT (5889):				112.01		
RSM US LLP (5657)						
M-4862717-019	SCADA ACCESS AUTHENTICATION -	06/06/2016	07/05/2016	15.00	06/16	400.5.06.8588.9950

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
M-4866902-019	MAY 2016 IT SERVICES	06/15/2016	07/05/2016	5,642.00	06/16	100.5.00.6200.6405
M-4867331-226	COMPUTER BACKUP SERVER - EL	06/16/2016	07/05/2016	1,858.00	06/16	400.5.06.8588.9920
Total RSM US LLP (5657):				7,515.00		
RUISCH, JOEL (5886)						
1611580033	EE REBATE - AC TUNE-UP - EL	06/28/2016	07/05/2016	30.00	06/16	400.2215
Total RUISCH, JOEL (5886):				30.00		
SAFETY SUPPLY WAREHOUSE.COM (5870)						
12828	BARRICADE TAPE - EL	06/13/2016	07/05/2016	40.87	06/16	410.5.06.8955.3900
Total SAFETY SUPPLY WAREHOUSE.COM (5870):				40.87		
SENECA COMPANIES INC (3657)						
1175589	FUEL SYSTEM REPAIRS	05/17/2016	07/05/2016	1,171.95	06/16	100.5.05.2200.6310
Total SENECA COMPANIES INC (3657):				1,171.95		
SHEVER, ROGER (3678)						
65201954	SAFETY APPAREL - PP	06/27/2016	07/05/2016	199.72	06/16	400.5.06.8549.9020
Total SHEVER, ROGER (3678):				199.72		
SISCO (3718)						
177801	FIXED INSURANCE COSTS	06/24/2016	06/24/2016	178.50	06/16	191.5.08.9200.6157
177801	FIXED INSURANCE COSTS	06/24/2016	06/24/2016	55,007.38	06/16	191.5.08.9200.6152
177801	FIXED INSURANCE COSTS	06/24/2016	06/24/2016	708.05	06/16	191.5.08.9200.6196
177801	FIXED INSURANCE COSTS	06/24/2016	06/24/2016	1,500.00	06/16	191.5.08.9200.6196
2213-062116-F	FLEX SPENDING CLAIMS	06/22/2016	06/22/2016	15.56	06/16	191.5.08.9200.6157
2213-062116-M	MEDICAL CLAIMS	06/22/2016	06/22/2016	1,713.74	06/16	191.5.08.9200.6153
2213-062816-F	FLEX SPENDING CLAIMS	06/28/2016	06/28/2016	1,541.84	06/16	191.5.08.9200.6157
2213-062816-M	MEDICAL CLAIMS	06/28/2016	06/28/2016	6,219.51	06/16	191.5.08.9200.6153
Total SISCO (3718):				66,884.58		
SNACK EXPRESS (5397)						
1215	CONCESSION ITEMS - POOL	06/20/2016	07/05/2016	1,143.80	06/16	100.5.04.4310.6530
27523	CONCESSION FOOD - SPORTS PARK	06/15/2016	07/05/2016	2,375.40	06/16	100.5.09.4245.6530
Total SNACK EXPRESS (5397):				3,519.20		
SOUTH CENTRAL IOWA SOLID WASTE (3756)						
367145	SHOP CLEANUP- PALLETS, SCRAPS,	06/21/2016	07/05/2016	24.42	06/16	100.5.09.4200.6310
Total SOUTH CENTRAL IOWA SOLID WASTE (3756):				24.42		
STRAVERS TRUE VALUE (3838)						
A231032	FOUNTAIN BLEACH - PK	06/15/2016	07/05/2016	3.49	06/16	100.5.09.4200.6590
A231151	HOSE CONNECTOR	06/17/2016	07/05/2016	4.99	06/16	350.5.05.8300.6510
E56755	TOILET PAPER - SPORTS PARK	06/17/2016	07/05/2016	39.26	06/16	100.5.09.4245.6553
E56845	TOILET PAPER - SOCCER	06/21/2016	07/05/2016	175.00	06/16	100.5.09.4200.6553
E56845	TOILET PAPER - SPORTS PARK	06/21/2016	07/05/2016	78.52	06/16	100.5.09.4245.6553
Total STRAVERS TRUE VALUE (3838):				301.26		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
SUMMIT COMPANIES (5585)						
1129168	MONTHLY INSPECTION - EL	06/17/2016	07/05/2016	55.00	06/16	400.5.06.8588.9300
Total SUMMIT COMPANIES (5585):				55.00		
SYMBOL ARTS (3886)						
0260482-IN	BADGES - FD	06/29/2016	07/05/2016	2,380.00	06/16	201.5.02.7046.6727
Total SYMBOL ARTS (3886):				2,380.00		
TERBORG, ANNALAYA (5866)						
69-40800-01	DEPOSIT REFUND	06/24/2016	07/05/2016	126.47	06/16	400.2210
Total TERBORG, ANNALAYA (5866):				126.47		
TERPSTRA MASONRY (3920)						
90	CBD BRICK WORK	04/25/2016	07/05/2016	2,225.00	06/16	201.5.05.7116.6790
Total TERPSTRA MASONRY (3920):				2,225.00		
TERRACON CONSULTANTS INC (3926)						
T783921	WETLAND MITIGATION MONITORING	06/14/2016	07/05/2016	1,260.00	06/16	100.5.09.4245.6403
Total TERRACON CONSULTANTS INC (3926):				1,260.00		
THIRD REFORMED CHURCH (5883)						
1615580001	EE REBATE - LIGHTS RETROFIT- EL	06/21/2016	07/05/2016	2,232.00	06/16	400.2215
Total THIRD REFORMED CHURCH (5883):				2,232.00		
TITAN MACHINERY (3959)						
649622-CL	BAT WING MOWER SHAFT REPAIR	06/10/2016	07/05/2016	435.07	06/16	100.5.05.2200.6350
7909398 GP	ST-10	06/23/2016	07/05/2016	191.50	06/16	115.5.05.2100.6350
7909450 GP	ST-10 CREDIT	06/23/2016	07/05/2016	6.50-	06/16	115.5.05.2100.6350
7918964 GP	ST-15	06/25/2016	07/05/2016	317.25	06/16	115.5.05.2100.6350
7920644 GP	ST-26	06/27/2016	07/05/2016	75.55	06/16	115.5.05.2100.6350
Total TITAN MACHINERY (3959):				1,012.87		
TONY'S AUTO PARTS (3968)						
5797-219057	MOTOR OIL - PK	06/13/2016	07/05/2016	29.88	06/16	100.5.09.4200.6350
5797-219587	ST-24	06/20/2016	07/05/2016	250.64	06/16	115.5.05.2100.6350
5797-219638	HOSE CLAMPS	06/20/2016	07/05/2016	10.40	06/16	350.5.05.8300.6350
5797-219649	ST-24	06/20/2016	07/05/2016	162.99	06/16	115.5.05.2100.6350
5797-219726	TORX BIT- METER DEPT	06/21/2016	07/05/2016	2.79	06/16	300.5.05.8140.6510
5797-219836	ST. SUPPLIES	06/22/2016	07/05/2016	16.98	06/16	115.5.05.2100.6330
Total TONY'S AUTO PARTS (3968):				473.68		
TOOM, RANDY OR HOLLY (5869)						
75-38505-01	CREDIT BALANCE REFUND	06/28/2016	07/05/2016	78.09	07/16	001.1199
75-38520-00	CREDIT BALANCE REFUND	06/28/2016	07/05/2016	4.27	07/16	001.1199
Total TOOM, RANDY OR HOLLY (5869):				82.36		
TREASURER STATE OF IOWA (3992)						
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	17,094.62	06/16	400.2140
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	8,154.66	06/16	400.2141

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	2,420.06	06/16	400.2140
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	402.97	06/16	400.2141
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	.41	06/16	400.2142
060816-2	STATE SALES TAX 2ND HALF OF JUN	06/22/2016	06/22/2016	.28	06/16	400.5.06.8930.9940
Total TREASURER STATE OF IOWA (3992):				28,073.00		
TRUCK VAULT INC (5888)						
161391	VAULT - PD	06/20/2016	07/05/2016	1,568.74	06/16	201.5.01.7003.6710
Total TRUCK VAULT INC (5888):				1,568.74		
TUCKER TRUCKING, ALAN (4009)						
11383	ROCK HAULING	06/14/2016	07/05/2016	219.10	06/16	310.5.05.8183.6790
11383	ROCK HAULING	06/14/2016	07/05/2016	219.09	06/16	350.5.05.8330.6399
Total TUCKER TRUCKING, ALAN (4009):				438.19		
ULRICH MOTOR CO (4028)						
66202	ST-20	06/20/2016	07/05/2016	44.89	06/16	115.5.05.2100.6330
Total ULRICH MOTOR CO (4028):				44.89		
UNITED PARCEL SERVICES (4036)						
0000536050266	536050-UPS	06/25/2016	07/05/2016	92.05	06/16	350.5.05.8300.6531
Total UNITED PARCEL SERVICES (4036):				92.05		
US CELLULAR (4047)						
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	51.20	06/16	400.5.06.8588.9920
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	10.14	06/16	400.5.06.8549.9020
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	64.60	06/16	100.5.05.6500.6373
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	34.13	06/16	300.5.05.8100.6373
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	46.91	06/16	400.5.06.8584.9030
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	23.45	06/16	350.5.05.8330.6373
0141511473	491953432-CELL PHONES	06/12/2016	07/05/2016	23.46	06/16	300.5.05.8100.6373
Total US CELLULAR (4047):				253.89		
USA BLUE BOOK (4050)						
982109	SLUDGE JUDGE	06/17/2016	07/05/2016	90.95	06/16	350.5.05.8300.6510
982109	SHIPPING	06/17/2016	07/05/2016	34.48	06/16	350.5.05.8300.6531
Total USA BLUE BOOK (4050):				125.43		
VAN BERKUM APPLIANCE (4061)						
7604	ORECK BAGS- CH	05/31/2016	07/05/2016	24.95	06/16	100.5.00.6100.6411
7604	ORECK BAGS- PW	05/31/2016	07/05/2016	24.95	06/16	100.5.05.6500.6543
Total VAN BERKUM APPLIANCE (4061):				49.90		
VAN HAL, GERRIT (5882)						
1611580029	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total VAN HAL, GERRIT (5882):				30.00		
VAN MAANEN SEED & CHEM (4117)						
061516PWS	VEG CONTROL	06/15/2016	07/05/2016	30.25	06/16	115.5.05.2100.6545

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Total VAN MAANEN SEED & CHEM (4117):				30.25		
VAN SITTERT PLBG & HTG (4131)						
2513	WASHINGTON ST RECONSTRUCTION	06/16/2016	07/05/2016	639.55	06/16	215.5.05.2179.6761
Total VAN SITTERT PLBG & HTG (4131):				639.55		
VANDE VOORT, MARTHA (5874)						
1611580015	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total VANDE VOORT, MARTHA (5874):				30.00		
VANDEKAMP, LARRY (5872)						
1611580023	EE REBATE - EL	06/21/2016	07/05/2016	25.00	06/16	400.2215
1620580017	EE REBATE - EL	06/21/2016	07/05/2016	56.00	06/16	400.2215
Total VANDEKAMP, LARRY (5872):				81.00		
VANDER PLOEG BAKERY (4209)						
45674	BIRTHDAY CAKE - POOL	06/18/2016	07/05/2016	17.00	06/16	100.5.04.4300.6590
Total VANDER PLOEG BAKERY (4209):				17.00		
VAN-WALL EQUIPMENT (5434)						
327268	OIL CAP AND GASKET - PK	06/09/2016	07/05/2016	40.67	06/16	100.5.09.4200.6350
Total VAN-WALL EQUIPMENT (5434):				40.67		
VDB ENTERPRISES (4233)						
3277	20 US FLAGS - PK	03/07/2016	07/05/2016	401.40	06/16	100.5.09.4200.6590
Total VDB ENTERPRISES (4233)				401.40		
VER HEUL, MARVIN (5877)						
1611580018	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total VER HEUL, MARVIN (5877):				30.00		
VERIZON WIRELESS (4957)						
160135639	RECORDS PRESERVATION - PD	06/21/2016	07/05/2016	50.00	06/16	100.5.01.1040.6434
160135644	RECORDS PRESERVATION - PD	06/21/2016	07/05/2016	50.00	06/16	100.5.01.1040.6434
Total VERIZON WIRELESS (4957):				100.00		
VINK, IRVIN (5873)						
1620580018	EE REBATE - EL	06/21/2016	07/05/2016	80.00	06/16	400.2215
Total VINK, IRVIN (5873):				80.00		
VOS, MAVIS (5881)						
1611580026	EE REBATE - EL	06/21/2016	07/05/2016	30.00	06/16	400.2215
Total VOS, MAVIS (5881):				30.00		
WALMART COMMUNITY (4312)						
000912	PACKING TAPE - PD	05/24/2016	07/05/2016	10.94	06/16	100.5.01.1010.6543
001515	FLASH DRIVE - COUNCIL MEETING	05/18/2016	07/05/2016	14.97	06/16	100.5.00.6350.6403

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001839	CLEANER - CC	05/16/2016	07/05/2016	11.76	06/16	100.5.04.4100.6590
001868	JANITORIAL SUPPLIES - PD	06/06/2016	07/05/2016	162.64	06/16	100.5.01.1000.6411
002252	PHONE CARD	05/27/2016	07/05/2016	80.39	06/16	100.5.04.4301.6373
002252	BIRTHDAY & OFFICE SUPPLIES	05/27/2016	07/05/2016	57.17	06/16	100.5.04.4301.6590
003145	TOTE & SUNSCREEN	06/02/2016	07/05/2016	48.79	06/16	100.5.04.4301.6590
003145	THERMOMETERS	06/02/2016	07/05/2016	29.91	06/16	100.5.09.4245.6530
003756	VACUUM & BATTERIES-DIST	06/03/2016	07/05/2016	112.19	06/16	300.5.05.8130.6544
003756	VACUUM & BATTERIES-DIST	06/03/2016	07/05/2016	112.18	06/16	350.5.05.8330.6510
004302	BIRTHDAY SUPPLIES - CC	05/27/2016	07/05/2016	2.63	06/16	100.5.04.4301.6590
006083	PENS, SOTRAGE ORGANIZER	05/17/2016	07/05/2016	41.22	06/16	100.5.04.4300.6590
006193	ROUNDUP, SD CARD, TOTE - CC	05/17/2016	07/05/2016	40.34	06/16	100.5.04.4100.6590
006515	BUILDING SUPPLIES	06/08/2016	07/05/2016	64.95	06/16	300.5.05.8120.6590
006615	TISSUE, CLEANER - CH	05/19/2016	07/05/2016	6.44	06/16	100.5.00.6100.6411
006893	CITIZEN POLICE ACADEMY REFRESH	06/06/2016	07/05/2016	43.96	06/16	100.5.01.1050.6240
007582	JORDAN WELL SUPPLIES-COOL UFD	06/07/2016	07/05/2016	32.51	06/16	300.5.05.8110.6310
007936	LUNCH BAGS	05/23/2016	07/05/2016	3.92	06/16	100.5.04.4300.6590
009007	USB CABLE - CH	06/10/2016	07/05/2016	13.97	06/16	100.5.00.6100.6543
009009	CLIPBOARDS, CLANDEAR, TILES	05/20/2016	07/05/2016	39.97	06/16	100.5.04.4301.6590
009180	BALLOON	05/15/2016	07/05/2016	13.67	06/16	100.5.04.4301.6590
009236	INK CARTRIDGE AND TOILET PAPER	06/09/2016	07/05/2016	166.83	06/16	350.5.05.8310.6543
009327	BUILDING SUPPLIES-DIST	06/09/2016	07/05/2016	6.16	06/16	300.5.05.8130.6544
009327	BUILDING SUPPLIES-DIST	06/09/2016	07/05/2016	6.15	06/16	350.5.05.8330.6544
009740	CITIZEN POLICE ACADEMY REFRESH	06/13/2016	07/05/2016	31.56	06/16	100.5.01.1050.6240
Total WALMART COMMUNITY (4312):				1,155.22		
WINDSTREAM IOWA COMMUNICATIONS (4413)						
052516AIR	PHONE BILL- AIR	05/25/2016	07/05/2016	104.52	06/16	100.5.05.2200.6373
061516WWTP	TELEPHONE SERVICE- WWTP	06/15/2016	07/05/2016	27.02	06/16	350.5.05.8310.6373
062016COLL/DIST	PHONE SERVICE	06/20/2016	07/05/2016	45.85	06/16	350.5.05.8330.6373
062016COLL/DIST	PHONE SERVICE	06/20/2016	07/05/2016	45.85	06/16	300.5.05.8130.6373
06222016-1456	PHONE 1456 - EL	06/22/2016	07/05/2016	242.48	06/16	400.5.06.8549.9020
06242016 - CC	PHONE 6830 - CC	06/24/2016	07/05/2016	94.54	06/16	100.5.04.4100.6373
06242016 - CH	PHONE 9584 - CH	06/24/2016	07/05/2016	251.39	06/16	100.5.00.6100.6373
06242016 - FD	PHONE 1414 - FD	06/24/2016	07/05/2016	85.07	06/16	100.5.02.1100.6373
06242016 - PK	PHONE 4299 - PK	06/24/2016	07/05/2016	68.54	06/16	100.5.09.4200.6373
06242016 - POOL	PHONE 9212 - POOL	06/24/2016	07/05/2016	73.59	06/16	100.5.04.4300.6373
06242016 - REC	PHONE 4571 - REC	06/24/2016	07/05/2016	30.22	06/16	100.5.04.4100.6373
06242016-1108	PHONE 1108 - EL	06/24/2016	07/05/2016	63.65	06/16	400.5.06.8562.9030
06242016-9096	PHONE 9096 - EL	06/24/2016	07/05/2016	69.75	06/16	400.5.06.8592.9030
Total WINDSTREAM IOWA COMMUNICATIONS (4413):				1,202.47		
WITZENBURG, DALE (4428)						
2629627	SAFETY APPAREL - PP	05/24/2016	07/05/2016	139.09	06/16	400.5.06.8549.9020
2632567	SAFETY APPAREL - PP	05/28/2016	07/05/2016	132.46	06/16	400.5.06.8549.9020
Total WITZENBURG, DALE (4428):				271.55		
YOUNG, JONATHAN W (5851)						
711010613	CREDIT BALANCE REFUND	06/22/2016	07/05/2016	58.36	07/16	001.1199
Total YOUNG, JONATHAN W (5851):				58.36		
ZIEGLER INC (4466)						
PC501136960	ST-8	06/17/2016	07/05/2016	93.22	06/16	115.5.05.2100.6350

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total ZIEGLER INC (4466):				93.22		
ZIMCO SUPPLY CO (4469)						
99494	MERIT GRUB CONTROL - SOCCER	06/16/2016	07/05/2016	768.00	06/16	100.5.09.4200.6513
99495	HERBICIDE GROUND CONTROL - PK	06/16/2016	07/05/2016	108.00	06/16	100.5.09.4200.6503
Total ZIMCO SUPPLY CO (4469):				876.00		
ZYLSTRA'S WELDING INC (4477)						
18447	BASE SUPPORT ARMS - PK	05/12/2016	07/05/2016	90.10	06/16	100.5.09.4245.6320
18465	WELD REPAIR, CART REPAIR - PK	05/17/2016	07/05/2016	25.00	06/16	100.5.09.4200.6350
Total ZYLSTRA'S WELDING INC (4477):				115.10		
Grand Totals:				1,472,792.63		

Report GL Period Summary

GL Period	Amount
07/16	29,102.65
06/16	1,443,689.98

Vendor number hash: 0
 Vendor number hash - split 0
 Total number of invoices: 0
 Total number of transactions: 0

Report Criteria:

Paid transmittals included
Unpaid transmittals included

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
1							
1	EFTPS	160624166	06/18/2016	74-00	SOCIAL SECURITY Pay Period: 6/18/2	100.2165	12,134.14
1	EFTPS	160624166	06/18/2016	74-00	SOCIAL SECURITY Pay Period: 6/18/2	100.2165	12,134.14
1	EFTPS	160624166	06/18/2016	75-00	MEDICARE Pay Period: 6/18/2016	100.2165	3,351.07
1	EFTPS	160624166	06/18/2016	75-00	MEDICARE Pay Period: 6/18/2016	100.2165	3,351.07
1	EFTPS	160624166	06/18/2016	76-00	FEDERAL WITHHOLDING TAX Pay Pe	100.2165	21,471.50
Total 1:							52,441.92
2							
2	IOWA DEPARTMENT OF	160624167	06/18/2016	77-00	STATE WITHHOLDING TAX Pay Period	100.2166	9,068.28
2	IOWA DEPARTMENT OF	160624167	06/18/2016	77-00	STATE WITHHOLDING TAX	100.5.00.6100.6502	.28-
Total 2:							9,068.00
3							
3	IPERS	160624168	06/18/2016	50-01	IPERS-REGULAR Pay Period: 6/18/201	100.2160	10,630.28
3	IPERS	160624168	06/18/2016	50-01	IPERS-REGULAR Pay Period: 6/18/201	100.2160	15,954.39
3	IPERS	160624168	06/18/2016	50-02	IPERS-ELECTED Pay Period: 6/18/201	100.2160	27.46
3	IPERS	160624168	06/18/2016	50-02	IPERS-ELECTED Pay Period: 6/18/201	100.2160	41.21
3	IPERS	160624168	06/18/2016	50-01	IPERS-REGULAR	100.5.00.6100.6502	.02
Total 3:							26,653.36
4							
4	MUNICIPAL FIRE & POLI	1921	06/18/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	3,287.59
4	MUNICIPAL FIRE & POLI	1921	06/18/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	9,712.43
4	MUNICIPAL FIRE & POLI	1921	06/18/2016	51-01	MFPRSI-POLICE PENSION	100.5.00.6100.6502	.13-
Total 4:							12,999.89
5							
5	ICMA-457	160624163	06/18/2016	52-01	ICMA RETIREMENT 457 Pay Period: 6/	100.2169	3,620.00
5	ICMA-457	160624163	06/18/2016	52-02	ICMA RETIREMENT 457%(GROSS) Pa	100.2169	2,140.75
Total 5:							5,760.75
6							
6	ICMA-401	160624162	06/18/2016	53-00	401A Pay Period: 6/18/2016	100.2167	787.38
Total 6:							787.38
7							
7	ICMA-ROTH	160624164	06/18/2016	52-05	ICMA ROTH IRA Pay Period: 6/18/2016	100.2171	1,207.30
Total 7:							1,207.30
8							
8	AFLAC	1920	06/18/2016	42-00	AFLAC SHORT TERM DISABILITY Pay	100.2152	170.50
8	AFLAC	1920	06/18/2016	45-01	AFLAC ACCIDENT-SICK Pay Period: 6/	100.2152	397.48
8	AFLAC	1920	06/18/2016	45-02	AFLAC CANCER Pay Period: 6/18/2016	100.2152	282.65

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
Total 8:							850.63
9	9 TRANSAMERICA LIFE IN	1922	06/18/2016	43-00	SUPPLIEMENTAL LIFE INSURANCE P	100.2152	165.66
Total 9:							165.66
10	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	DENTAL-SINGLE Pay Period: 6/18/201	191.4.08.9200.4795	238.83
	10 LINCOLN NATIONAL	1923	06/18/2016	41-02	DENTAL-FAMILY Pay Period: 6/18/201	191.4.08.9200.4795	1,191.61
	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	Dental-Single JB	191.5.08.9200.6158	25.13-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	Dental-Single JB	191.5.08.9200.6158	25.13-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-02	Dental-Family JB	191.5.08.9200.6158	82.18
	10 LINCOLN NATIONAL	1923	06/18/2016	41-02	Dental-Family JB	191.5.08.9200.6158	82.18
	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	DENTAL-SINGLE	191.5.08.9200.6158	63.84-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-02	DENTAL-FAMILY	191.5.08.9200.6158	289.42-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	DENTAL-SINGLE	100.5.00.6100.6502	.19-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-01	DENTAL-SINGLE	191.5.08.9200.6158	413.63-
	10 LINCOLN NATIONAL	1923	06/18/2016	41-02	DENTAL-FAMILY	191.5.08.9200.6158	2,093.80-
Total 10:							1,316.34-
11	11 CHILD SUPPORT RECOV	160624165	06/18/2016	56-01	CHILD SUPPORT-FLAT AMT Pay Perio	100.2158	556.14
Total 11:							556.14
13	13 METLIFE SMALL BUSINE	1924	06/18/2016	41-01	DENTAL-SINGLE	191.5.08.9200.6158	413.63
	13 METLIFE SMALL BUSINE	1924	06/18/2016	41-02	DENTAL-FAMILY	191.5.08.9200.6158	2,093.80
Total 13:							2,507.43
Grand Totals:							111,682.12

Report Criteria:

- Paid transmittals included
- Unpaid transmittals included

<u>Name</u>	<u>Pay Per Date</u>	<u>Description</u>	<u>GL Account</u>	<u>Amount</u>
ACH	6/24/2016	DIRECT DEPOSITS	100.2010	147,477.49
CHECK RUN	6/24/2016	PAYCHECKS	100.2010	15,793.55
Grand Totals:				<u>163,271.04</u>
