

CITY OF PELLA, IOWA
TENTATIVE CITY COUNCIL MEETING AGENDA
May 17, 2016–7:00 p.m. – Public Safety Complex
Liberty Street Entrance

A. CALL TO ORDER BY MAYOR AND ROLL CALL

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
NONE
2. Approval of tentative agenda.

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

(Public comments are limited to 3 minutes.)

C. APPROVAL OF CONSENT AGENDA

"Consent Agenda" means that all items listed below will be automatically approved with one Roll Call vote approving the "Consent Agenda". Any City Council member may ask to pull an item from the "Consent Agenda" for discussion and a separate vote. The purpose of a "Consent Agenda" is to expedite routine items and allow Council time to discuss more important matters."

1. Approval of Minutes
 - a. Official Council Minutes for May 2, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for May 2, 2016.
 - b. Planning and Zoning Commission Minutes for March 28, 2016.
 - c. Planning and Zoning Commission Special Minutes for March 30, 2016.
 - d. Planning and Zoning Commission Minutes for April 25, 2016.
 - e. Library Board Minutes for April 12, 2016.
3. Petitions and Communications
 - a. Special Event—Friday After Five.
4. Administration Reports
 - a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Comprehensive Plan Amendment.
1. b. Resolution No. 5689 entitled, "RESOLUTION APPROVING COMPREHENSIVE PLAN AMENDMENT FOR CASEY'S SITE PLAN TO AMEND THE FUTURE LAND USE MAP FROM LOW DENSITY RESIDENTIAL TO MIXED USE".
1. c. Resolution No. 5690 entitled, "RESOLUTION APPROVING SITE PLAN FOR CASEY'S".
2. a. Public Hearing on Budget Amendment #1 for FY 15-16.
2. b. Resolution No. 5691 entitled, "A RESOLUTION AMENDING THE FY 15-16 ANNUAL BUDGET BY ADOPTING BUDGET AMENDMENT #1".

E. PETITIONS & COMMUNICATIONS

NONE

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

NONE

H. RESOLUTIONS

1. Resolution No. 5692 entitled, "RESOLUTION APPROVING THE DENTAL INSURANCE POLICY BETWEEN METLIFE AND THE CITY OF PELLA".
2. Resolution No. 5693 entitled, "RESOLUTION ACCEPTING THE HAZEL STREET RECONSTRUCTION AND CHANGE ORDER #1.
3. Resolution No. 5694 entitled, "RESOLUTION APPROVING CHANGE ORDER #2 TO THE CITY'S CONTRACT WITH ERIKSEN CONSTRUCTION CO, INC. FOR CONSTRUCTION OF A NEW RO WATER TREATMENT PLANT.

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

NONE

J. CLAIMS

1. Abstract of bills No. 1959.

K. OTHER BUSINESS/*PUBLIC FORUM (any additional comments from the Public)

(Public comments are limited to 3 minutes.)

L. CLOSED SESSION

NONE

M. ADJOURNMENT

NOTICE: Items to be presented to the City Council must be in the hands of the City Clerk no later than 4:00 p.m. on the Monday before the week of the Council meeting. A packet containing the agenda and documentation for each item listed on the agenda is then prepared on Friday and delivered to each Councilmember. The next regular Council meeting is scheduled for June 7, 2016. The deadline for items is May 31, 2016. *The CITY OF PELLA encourages all citizens of Pella to attend Council meetings. Our Council Chambers are handicapped accessible and City Staff are available to give assistance if needed. If you are hearing impaired or vision impaired or a person with Limited English Proficiency and require an interpreter or reader, please contact City Hall by NOON on the Monday prior to Council meetings to arrange for assistance. (641-628-4173). TTY telephone service available for the hearing impaired through Relay Iowa 1-800-735-2942.*

**CITY OF PELLA, IOWA
CITY COUNCIL
OFFICIAL MINUTES
May 2, 2016**

A. CALL TO ORDER BY MAYOR AND ROLL CALL

The City Council of the City of Pella, Iowa, met in regular session at the Public Safety Complex meeting room at 7:00 p.m., Mayor James Mueller presiding. Members present were: Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson. Absent: None. City Administrator Mike Nardini, Acting City Attorney Bob Benton, and City Clerk Ronda Brown were present. Nine staff members and forty members of the general public signed the register.

B. MAYOR'S COMMENTS

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
 - a. Ad Hoc Gateway Corridor Committee Recommendations.
2. Approval of tentative agenda. Councilmember Vander Beek moved to approve the tentative agenda, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.
3. Reappointment of Praveen Mohan to the Library Board of Trustees. Councilmember Vander Beek moved to approve, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Vander Beek, Bokhoven, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried.

SUBJECT: Reappointment of Praveen Mohan to the Library Board of Trustees

DATE: May 2, 2016

BACKGROUND:

Praveen Mohan was appointed to the Library Board of Trustees on July 1, 2013 to serve a three year term which will end July 1, 2016. He is eligible for and willing to serve a second term. His second term will expire July 1, 2019.

Praveen is currently serving as Vice-President of the Library Board. Praveen attended 25 of the 34 board meetings held during his first term. He and his family live at 2309 Drenthe Laan, Pella.

ATTACHMENTS: None

REPORT PREPARED BY: Library Director

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve the reappointment.

4. Reappointment of B. Jane Koogler to the Library Board of Trustees. Councilmember Van Stryland moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Van Stryland, Vander Beek, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Reappointment of Jane Koogler to the Library Board of Trustees

DATE: May 2, 2016

BACKGROUND:

B. Jane Koogler was appointed to the Library Board of Trustees on July 1, 2013 to serve a three year term which will end July 1, 2016. She is eligible for and willing to serve a second term.

Jane and her husband Fred live at 1208 West 3rd St. Pella. Jane attended 32 of the 34 board meetings held during her first term. Her second term will expire July 1, 2019.

ATTACHMENTS: None

REPORT PREPARED BY: Library Director

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve the reappointment.

5. Reappointment of Jim Danks to the Planning and Zoning Commission. Councilmember Peterson moved to approve, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Peterson, Bokhoven, Vander Beek, Van Stryland, Schiebout, De Jong. NAYS: None. Motion carried.

SUBJECT: Reappointment of Jim Danks to the Planning and Zoning Commission

DATE: May 2, 2016

BACKGROUND:

Jim Danks has served on the Planning & Zoning Commission since July 16, 1985 and is interested in serving another term. Jim previously has been employed by Pella Corporation and Central College. He and his wife Phyllis reside at 1407 West Third Street.

His new term would expire on May 1, 2021.

ATTACHMENTS: None

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK
RECOMMENDEATION: Approve the reappointment.

***PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

NONE

C. APPROVAL OF CONSENT AGENDA

Councilmember Vander Beek moved to approve the consent agenda, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried. The following items were approved:

1. Approval of Minutes
 - a. Official Council Minutes for April 19, 2016.
2. Report of Committees
 - a. Policy and Planning Minutes for April 19, 2016.

Policy and Planning Minutes
April 19, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson
ABSENT: None
OTHERS: City Staff and Visitors
As there was no business to discuss, the meeting was not held.
Respectfully Submitted,
Ronda Brown, City Clerk

3. Petitions and Communications
 - a. None
4. Administration Reports
 - a. None

D. *PUBLIC HEARINGS

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Construction of the West Substation Ring Bus Conversion Project. No written comments were received. Oral comments were addressed. Councilmember Vander Beek moved to close the public hearing, seconded by Councilmember De Jong. On roll call the vote was: AYES: Vander Beek, De Jong, Bokhoven, Van Stryland, Schiebout, Peterson. NAYS: None. Motion carried.

SUBJECT: Resolution Approving the Plans, Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Construction Contract for the West Substation Ring Bus Conversion Project

DATE: May 2, 2016

BACKGROUND: This resolution approves the plans, specifications, estimate of costs, and awards the construction contract for the West Substation Ring Bus Conversion Project. The work consists of reconfiguration of the single line breaker scheme of the substation to a ring bus configuration and will involve modification of a 69 kV substation, including concrete foundations, bus work, installation of steel structures, 69 kV switches, PT's, and 69 kV circuit breakers. The project also includes installing and connecting to the following Owner furnished materials: steel structures, 69 kV switches, PTs, CTs, 69 kV circuit breakers, and 69 kV control panels.

As further background on the project, Pella West Electrical Substation is located at 1875 Washington Street and is configured on a single line breaker scheme, which means all of the electrical connections are tied to a single electric bus bar. Currently, there are six connections to the west substation, which includes one distribution transformer, one diesel plant transformer, one 69 kV capacitor bank, and three 69 kV transmission line connections. It is important to note, transmission planning standards recommend a ring bus configuration for 69 kV substations with five or more connections (see enclosed ring bus diagram). In essence, a ring bus configuration involves the establishment of one circuit breaker for each connection to the 69 kV substation. The advantage of this configuration is that faults to the electrical bus bar can be isolated without removing the entire substation from service. In comparison, our current single line breaker would require the substation to be placed out of service if a fault occurred at the station's electrical bus bar. The concern with the current single line breaker scheme is that any outage to the west substation during peak summer months could have a significant impact on the Electric Utility's ability to serve customer loads within our community. Furthermore, the Red Rock Hydroelectric Plant is scheduled to be connected to the Pella West Substation in the slot currently occupied by the 69 kV capacitor bank. Due to the number of existing connections to the Pella West Substation and the connection of the Red Rock Hydroelectric Plant, staff believe a ring bus configuration is needed for electric reliability for the City's transmission and distribution systems. On April 21, 2016, a bid letting was held for this project, and the City received seven bids.

Primoris Aevenia, Inc. Moorhead, MN	\$1,807,151.88
Integrated Power Co. North Platte, NE	\$1,986,000.00
Harold K. Scholz Co. Ralston, NE	\$2,098,554.00
The Ryan Company, Inc. Norton, MA	\$2,443,979.30

Brink Constructors, Inc. Rapid City, SD	\$2,837,094.74
Hooper Corporation Madison, WI	\$3,211,519.79
B & B Electrical Contractors, Inc. Iron Mountain, MI	\$4,304,489.06

The engineer's estimated project cost was \$3,000,000.

The lowest responsible bidder was Primoris Aevenia, Inc. with a bid price of \$1,807,151.88. This company is based out of Moorhead, MN. The City's engineer, DGR, has reviewed the contractor's references and is recommending approval of the contract.

If approved by Council, the project is scheduled to begin May 16, 2016 with an estimated substantial completion date of May 6, 2017 and final completion of all work by June 10, 2017. Funding for the project will be provided from Electric Revenue Capital Loan Notes, Series 2015, approved by Council on December 15, 2015.

It is important to note, \$947,300 of this proposed contract is eligible for reimbursement from the Midcontinent Independent System Operator (MISO) transmission rate recovery process. In addition, \$259,833 is attributed to the Red Rock Hydroelectric 69 kV connection and will be reimbursed by Western Minnesota Municipal Power Agency (WMMPA). The remaining balance of the contract of \$600,019 represents the distribution portion of the project and will be funded by the electric revenue capital notes.

Finally, this resolution also gives the Electric Distribution Superintendent, Nate Spurgeon, authorization to issue the notice to proceed once the contract, bonds, insurance certificates and appropriate permits are in proper order and fully executed.

ATTACHMENTS: Resolution, Bid Summary, Bid Tabulation, Engineers Recommendation, Contract Form.

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve resolution.

1. b. Resolution No. 5685 entitled, "RESOLUTION ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, RECEIVING BIDS, AND MAKING AWARD OF CONTRACT FOR THE CONSTRUCTION OF THE WEST SUBSTATION RING BUS CONVERSION PROJECT." Councilmember Schiebout moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

2. a. Public Hearing on the Materials for the West Central Underground Conversion Project. No written comments were received. Oral comments were addressed. Councilmember Vander Beek moved to close the public hearing, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Plans, Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Materials for the West Central Underground Conversion Project

DATE: May 2, 2016

BACKGROUND: This resolution approves the plans, specifications, form of contract, and estimate of costs, accepts bids, and awards the material contracts for the West Central Underground Conversion Project. The area of the City associated with the project is the Central College area, bounded by Washington Street and University Street, between W. 1st Street and W. 5th Street. This project involves converting the existing 4.2 kV overhead distribution system to a 12.5 kV underground distribution system. By increasing voltages and placing the existing electric distribution line underground, reliability in this area will improve. As with past conversion projects, a contractor will install the underground conduit system and set the primary transformer pads, and City staff will install the primary and secondary cables. It should also be noted, there will also be homeowner expenses associated with this project as the homeowner will be responsible for connecting to the new electric underground lines. Depending on the customer's existing service, this cost could vary from a nominal amount up to \$1,000.

A bid opening for the project was conducted on April 26, 2016. Six bids were received and are summarized below.

15 kV Primary Power Cable	4	WESCO	\$30,334.50
600 V Secondary Cable	5	Kriz-Davis	\$22,752.48
Single-Phase Transformers	5	Resco	\$37,225.30
Transformer Box Pads	3	Resco	\$10,449.62
Street Light Poles	5	Irby	\$26,577.60
Street Light Luminaires	6	Irby	\$6,864.48
Total			\$134,203.98

After reviewing the bid proposals, the project Engineer, DGR, recommends awarding the contracts as listed in the amount of \$134,203.98. The estimate for material was \$140,700.

Staff is requesting that Council approve the purchase of materials listed above in the amount of \$134,203.98 and authorize the Electric Distribution Superintendent to issue the notice to proceed once the agreements are in proper order and fully executed.

ATTACHMENTS: Resolution, Bid Summary, Engineer's Recommendation, Material Contract Form

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve resolution.

2. b. Resolution No. 5686 entitled, "RESOLUTION APPROVING PLANS, SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF CONTRACTS FOR MATERIAL FOR THE WEST CENTRAL UNDERGROUND CONVERSION PROJECT. Councilmember Schiebout moved to

approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Schiebout, Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

E. PETITIONS & COMMUNICATIONS

1. Temporary Outdoor Service Area Extension for Class C Liquor License for Billyjak's Saloon. Councilmember Vander Beek moved to approve, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Vander Beek, Bokhoven, Peterson, De Jong. NAYS: Van Stryland, Schiebout. Motion carried.

SUBJECT: Temporary Outdoor Service Area Extension for Billyjak's Saloon

DATE: May 2, 2016

BACKGROUND: Billyjak's Saloon, located at 514 ½ Main Street, has applied for a temporary outdoor service area extension on their Class C Liquor License for Friday, May 6, 2016 and Saturday, May 7, 2016 from 7:00 a.m. to 2:00 a.m. (Sunday). They have requested to fence off an area approximately 16 ft by 20 ft adjacent to their current outdoor service area in which they would block off two parking spaces on their property, which is allowable under the City Code on a short-term or temporary basis. To accommodate the outdoor service area, Billyjak's has proposed to remove the east end fencing of their current outdoor space so access to the enlarged service area is only through the bar. The fence surrounding the area will be eight foot tall.

Last year, Billyjak's had a one day temporary outdoor service area extension for Saturday of Tulip Time. Billyjak's practices were appropriate during that time. This year, they are requesting Friday as well as Saturday. It should be noted, the area is less than the size requested last year. In addition, five parking spaces were blocked off last year instead of two spaces in their current request.

As Council considers this request, it is important to note that parking in the downtown area during Tulip Time is at a premium and two parking spaces will be lost to accommodate this outdoor service area extension, which could place additional demands upon public parking. In addition, another factor to consider is this location is in close proximity to the Tulip Time parade route and staging areas.

The application has been completed online with the state along with the required dram shop insurance.

ATTACHMENTS: None

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Council decision.

2. Special Event-Tour de Toren. Councilmember Schiebout moved to approve, seconded by Councilmember Peterson. On roll call the vote was: AYES: Schiebout, Peterson, De Jong, Bokhoven, Vander Beek, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Special Event Permit Request for Tour de Toren

DATE: May 2, 2016

BACKGROUND: Bethany Christian Services, located at 617 Franklin, has requested a special event permit for a 24 hour event known as "Tour de Toren" to be held on Friday, May 20 starting at 5:00 pm and ending on Saturday, May 21 at 5:00 pm. Set-up/take down time would be 1-2 hours before and after the event.

As background, the Pella Tri Club has partnered with Bethany Christian Services over the past several years to complete AFRAID (A Fast Ride Across Iowa in a Day). This year, they want to ride the 24 hours on bike trainers on the Tulip Toren main platform. The bikers will see how many miles they can cover as they raise pledges based on mileage and raise awareness for Bethany Christian Services.

Bethany Christian Services also plans to have a food/hydration station for the riders and a table with Bethany brochures in the grassy area to the east of the Tulip Toren platform. They also would like to place a large vinyl banner between the Tulip Toren columns behind the riders.

The fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Application, Department Comments, Map

REPORT PREPARED BY: City Hall Staff

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve Special Event.

3. a. Special Event—Thursdays in Pella. Councilmember Bokhoven moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Bokhoven, Schiebout, Peterson, De Jong, Vander Beek, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Chamber of Commerce Special Event "Thursdays in Pella"

DATE: May 2, 2016

BACKGROUND: The Pella Chamber of Commerce is requesting a Special Event Permit for "Thursdays in Pella" on Thursday nights from June 2 through July 28, 2015. The events are scheduled from 6:00-9:00 p.m. with set-up starting at 3:00 p.m. and take down until 9:00 p.m. Expected attendance is 1,000-1,500 each Thursday night.

Listed below are the proposed street closures for "Thursdays in Pella". It should be noted, the streets are proposed to be closed from 3:00-9:00 p.m. for each event.

Family Fun	June 2	700 Block of Franklin
Paws in the Park	June 9	800 Block of Main
Who Let the Dads Out	June 16	800 Block of Broadway
Hometown Heroes	June 23	700 Block of Franklin
Care & Share Carnival	June 30	Parking Spaces Only
Color Me Pella	July 7	800 Block of Broadway and 700 Block of Franklin
Game Night	July 14	Parking Spaces Only
Go for the Gold!	July 21	800 Block of Broadway

Ag in the City

July 28 800 Block of Broadway; 600 & 700 Blocks of Franklin; 800 Block of Main

In addition, the Chamber has also requested that parking spaces on the west side of Main Street from Franklin Street north to approximately eight spaces north of the crosswalk and 4 spaces on the east side in front of Marion County Bank be closed each Thursday evening in June and July for food vendors. Also requested are 4-5 spaces on the north side of Franklin in front of the Windmill be closed on June 9, 16, 30; July 14 and 21. All pertinent City Departments have reviewed this application and comments are attached. The appropriate fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Maps, Department Head Comments
REPORT PREPARED BY: Administration
REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK
RECOMMENDED ACTION: Approve special event and resolution.

3. b. Resolution No. 5687 entitled, "A RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "THURSDAYS IN PELLA". Councilmember Vander Beek moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

F. PLANNING AND ZONING ITEMS

NONE

G. ADMINISTRATION REPORTS

NONE

H. RESOLUTIONS

1. Resolution No. 5679 entitled, "RESOLUTION PROPOSING AMENDMENTS TO THE 2014 PELLA COMPREHENSIVE PLAN". (Tabled 4-19-2016) Councilmember Schiebout moved to remove this item from the table, seconded by Councilmember De Jong. On roll call the vote was: AYES: Schiebout, De Jong, Bokhoven, Vander Beek, Van Stryland. NAYS: Peterson. Motion carried. Councilmember Schiebout moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Schiebout, De Jong, Van Stryland. NAYS: Bokhoven, Vander Beek, Peterson. Motion failed.

SUBJECT: Amendments to the 2014 Pella Comprehensive Plan
DATE: May 2, 2016 (This item was tabled on April 19, 2016)
BACKGROUND:

A public hearing was held on April 19, 2016 on the amendments to the 2014 Pella Comprehensive Plan. Following the public hearing, the resolution to approve the amendments was tabled until further clarification could be provided to Council.

As background, the City of Pella is proposing amendments to the Future Land Use Map of the Comprehensive Plan for rezonings which have been approved since the 2014 Comprehensive Plan update. It should be noted, when the rezonings were approved by the Planning and Zoning Commission, there was direction to also amend the Future Use Land Map. As a result, this amendment is necessary to update the Future Use Land Map for the rezoning of various properties which have been previously approved by the Planning and Zoning Commission and the Pella City Council.

Included are the following:

- 1) Missouri River Energy Services for rezoning to amend the Future Land Use Map from Preserve to Light Industrial (Ordinance 900, approved 8-8-15)
- 2) Russ Van Wyk for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 901, approved 9-15-15)
- 3) Alan and Karla Morrison for rezoning to amend the Future Land Use Map from Medical and Assisted Living to High Density Residential (Ordinance 902, approved 9-15-15)
- 4) Marc Vande Noord for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 903, approved 11-17-15)

The Planning and Zoning Commission approved these amendments at their March 28, 2016 regular meeting.

ATTACHMENTS: Resolution
REPORT PREPARED BY: Planning and Zoning Director
REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK
RECOMMENDATION: Approve resolution.

2. Resolution No. 5688 entitled, "RESOLUTION ACCEPTING CHANGE ORDER NO. 3 AND AUTHORIZING FINAL PAYMENT TO SCHOON CONSTRUCTION, INC. FOR WORK ASSOCIATED WITH THE PROJECT KNOWN AS THE EAST WASHINGTON UNDERGROUND CONVERSION PROJECT". Councilmember Bokhoven moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Bokhoven, Vander Beek, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried.

SUBJECT: Approval of Change Order #3 and Authorizing Final Payment to Schoon Construction for Work Associated with the East Washington Underground Conversion Project.
DATE: May 2, 2016

BACKGROUND: On June 16, 2015, Council awarded the contract for construction of the East Washington Street Underground Conversion Project to Schoon Construction, Inc. This resolution accepts Change Order #3 in the amount of \$12,858.10 and authorizes final payment to Schoon Construction in the amount of \$10,404.28.

The primary reason for Change Order #3 is a quantities adjustment of \$7,858.10 to reflect the materials installed for the project. In addition, approximately \$5,000 of this change order is for additional conduit for electrical underground conversions in the Oostpoort Alley area. As background, the project was originally planned and designed to leave all businesses south of the alley fed overhead until the City initiated future public infrastructure improvements in the area. During the course of the project, the Electric Department staff decided to have the contractor install additional electrical conduit which would allow some businesses to perform their underground conversions now rather than waiting for future projects in the area. Overall, staff believes this change enhanced aesthetics and improved reliability in the area.

All contractor work on this project has now been completed, and the engineer has submitted final documents including the Engineer's Statement of Final Completion. The final contract breakdown is listed below:

Original Contract Price	\$ 129,506.00
Change Order #1 (Franklin Conversion):	63,075.00
Change Order #2 (Quantities):	2,646.46
Change Order #3 (Quantities):	12,858.10
Total Project Construction Cost	\$ 208,085.56

ATTACHMENTS: Resolution, Change Order #3, Engineer's Statement of Final Completion
 REPORT PREPARED BY: Electric Department
 REPORT REVIEWED BY: CITY ADMINISTRATOR
 CITY CLERK
 RECOMMENDATION: Approve resolution.

I. ORDINANCES

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 908 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA, IOWA CHAPTER 171 SCHEDULE OF RATES AND FEES." (3rd Rdg) Councilmember Vander Beek moved to place Ordinance No. 908 on its third reading, seconded by Councilmember Peterson. On roll call the vote was: AYES: Vander Beek, Peterson, De Jong, Bokhoven, Van Stryland, Schiebout. NAYS: None. Motion carried. Councilmember Vander Beek moved that Ordinance No. 908 be adopted, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Vander Beek, Schiebout, Peterson, De Jong, Bokhoven, Van Stryland. NAYS: None. Mayor Mueller declared the motion carried and the ordinance duly passed and adopted.

SUBJECT: Amending Chapter 171 Schedule of Rates and Fees

DATE: May 2, 2016 (3rd Reading)

BACKGROUND: This proposed ordinance includes changes to the City's returned electronic payment and returned check fee, false alarm fees, and peddlers/transient merchant fees. The following is additional information utilized in developing the proposed fee structure for each of the three sections.

False Alarm Fees – Chapter 124: The following is false alarm rate information obtained from surveyed communities.

# False Alarms	Pella	Oskaloosa	Knoxville	Pleasant Hill	W. Des Moines*	Clive
1 \$	-	\$ -	\$ -	\$ 25	\$ -	\$ -
2 \$	-	\$ -	\$ -	\$ 50	\$ -	\$ -
3 \$	15	\$ 25	\$ -	\$ 50	\$ -	\$ 75
4 \$	15	\$ 50	\$ -	\$ 75	\$ 50	\$ 100
5 \$	15	\$ 100	\$ -	\$ 75	\$ 100	\$ 150
6 \$	30	\$ 100	\$ -	\$ 75	\$ 100	\$ 150
7 \$	30	\$ 100	\$ -	\$ 100	\$ 100	\$ 150
8 \$	30	\$ 100	\$ -	\$ 100	\$ 100	\$ 150
9 \$	30	\$ 100	\$ 25	\$ 100	\$ 100	\$ 150
10 \$	30	\$ 100	\$ 25	\$ 200	\$ 100	\$ 150
11+ \$	60	\$ 100	\$ 25	\$ 200	\$ 100	\$ 150

*also has monthly monitoring fee

Based on the surveyed numbers and the City's desire to cover costs associated with false alarms as well as put in place incentives to avoid repeated false alarms, the proposed ordinance includes the following rates:

- First and Second False Alarm: No Charge
- Third through Fifth False Alarm: \$50.00 Each
- Fifth through Tenth False Alarm: \$100.00 Each
- Eleventh and thereafter: \$150.00 Each

Staff believes these rates are consistent with other surveyed communities in our region and will also ensure alarm users put an emphasis on eliminating repeated false alarms.

Peddler Permit, Transient Merchant Permit – Chapter 122: The following are peddler/transient merchant permit fees obtained from surveyed communities.

Peddler Permit	Pella	Oskaloosa	Creston	Urbandale	Knoxville	Grinnell	W. Des Moines*
Application Fee	\$ 25	\$ 25	\$ 10	n/a	n/a	n/a	\$ 100.00
Daily Permit	\$ 5	\$ 5	\$ 50	\$ 25	n/a	\$ 25	\$ 20.00
Weekly Permit	\$ 15	\$ 15	\$ 150	\$ 75	n/a	n/a	\$ 100.00
Monthly Permit	\$ 30	\$ 30	n/a	n/a	n/a	n/a	n/a
90 Days	n/a	n/a	n/a	\$ 500	n/a	n/a	n/a
Seasonal Permit/6 Months	\$ 50	n/a	\$ 500	n/a	n/a	n/a	n/a
1 year	n/a	n/a	\$ 1,000	n/a	\$ 105	n/a	n/a

In addition, the Pella City Code states that for a business who has been classified as a transient merchant during the previous two consecutive years, there shall be no fee, provided the business meets the following criteria:

1. The business has not changed its name, ownership or location during the previous two consecutive years.
2. The business has not changed the goods, wares, property, services or merchandise offered for sale during the previous two consecutive years.
3. The business has not had its permit revoked or suspended during the previous two consecutive years.

In order to ensure equitable treatment for those who operate brick and mortar businesses within the city limits and also to ensure administrative and enforcement time is recovered, the proposed ordinance amends the fee of peddler and transient merchant permits to the following:

Application Fee:	\$ 25.00
Daily Permit:	\$ 25.00
Weekly Permit:	\$ 75.00
Monthly Permit:	\$150.00
Seasonal Permit:	\$300.00

Also, the proposed ordinance removes the exception for those merchants who have operated for two consecutive years.

Returned Electronic Payment or Returned Check – Chapter 9: The City’s current returned fee policy charges residents a \$13.00 fee when the City is notified of a returned electronic payment or returned check. Given the bank fees and, more importantly, the staff time necessary to process insufficient funds notifications, the proposed ordinance amends Chapter 9 of the Pella City Code to include the following:

9.05 Insufficient Funds Fee

The charge for a returned electronic payment or a returned check shall be the maximum amount allowed under Iowa Code Chapter 554.3512.

The current maximum for insufficient funds fees as set by State Code Chapter 554.3512 is \$30, which would be adjusted in the future when and if State Code is ever amended.

ATTACHMENTS: Ordinance
 REPORT PREPARED BY: Finance Director
 REPORT REVIEWED BY: CITY ADMINISTRATOR
 CITY CLERK
 RECOMMENDATION: Approve ordinance.

J. CLAIMS

1. Abstract of bills No. 1958. Councilmember Schiebout moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

K. OTHER BUSINESS/ *PUBLIC FORUM (any additional comments from the Public)

Comments were received and addressed.

L. CLOSED SESSION

NONE

M. ADJOURNMENT

There being no further business claiming their attention, Councilmember Bokhoven moved to adjourn, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Bokhoven, Vander Beek, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried. Meeting adjourned at 8:30 p.m.

Policy and Planning Minutes
May, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson

ABSENT: None

OTHERS: City Staff and Visitors

The Policy and Planning meeting began at 8:35 p.m. The only agenda item was concerning the Ad Hoc Gateway Corridor Committee recommendations. Mike Nardini gave brief highlights of the recommendations before turning the meeting over to Gary Lozano from RDG Planning and Design. Three proposed ordinances were for Council consideration:

1. *Ordinance Amendment for Lot Widths for Duplexes*
2. *Ordinance Amendment Establishing Design Guidelines for Residential Properties in the Washington Street and South Main Street Gateway Corridors.*
3. *Ordinance Amendment Adding Additional Housing Definitions.*

Gary reviewed Section 165 of the zoning code. He said it was very unusual to allow duplexes to be built on 50 ft wide lots. The standard language is for a single family dwelling, not a duplex to be allowed. Also, it was suggested to establish a design review district for new single and two family homes along the Gateway Corridor—the Dutch Residential District-Gateway Corridor (DURE-GC). A design permit would be reviewed and issued by the Community Development Committee.

Gary stated that a garage shouldn't be a dominant feature. His PowerPoint slides had various examples to show the different looks in garage placement. He proposed to have the garage to the rear of the main structure, accessed from the street by a driveway alongside the dwelling or an alley entrance. Another option would be to have the garage setback at least 5 feet from the front facade.

Gary also discussed changes to the Dutch Residential Design Manual and presented pictures of various architectural elements.

The third proposed ordinance allows for additional housing types which are consistent with other communities.

(1.) *Single-Family Residential (Detached)*: A single-family residential use in which one dwelling unit is located on a single lot, with no physical or structural connection to any other dwelling unit.

(2.) *Single-Family Residential (Attached)*: A single-family residential use in which one dwelling unit is located on a single lot and is attached by a party wall to only one other adjacent dwelling unit on another single lot. Said party wall shall meet the requirements of the City's Building Code.

(3.) *Townhouse Residential*: The use of a site for three or more attached dwelling units, each occupied by one family and separated by party walls extending from foundation through roof without openings. Each townhouse unit must have at least two exposed exterior walls and be located on a separate lot. Said party walls shall meet the requirements of the City's Building Code.

Several citizens spoke about a structure fitting into the neighborhood along the Gateway Corridor. Developers voiced concerns if too restrictive parameters were put in place.

After discussion, Council wanted more information on the proposed ordinance for lot widths for duplexes. Staff was asked to check on how many 50 ft lots were in the Gateway Corridor. Council was supportive of establishing design guidelines for residential properties in the Gateway Corridor. There was discussion on how far to extend the Gateway Corridor. Council was supportive of the proposed ordinance amendment that would add additional housing definitions.

Discussion on the proposed ordinances will continue at Planning and Zoning for their consideration.

The meeting adjourned at 9:40 p.m.

Respectfully Submitted,
Ronda Brown, City Clerk

Planning and Zoning Commission
Regular Meeting
March 28, 2016

- 1) The meeting was called to order at 7:00 p.m.
- 2) Roll Call.
Present: Craig Agan, Jim Danks, Cathy Haustein, David Landon, Robin Pfalzgraf, Bob Smith, Mike Vander Molen, Gary Van Vark, Ann Visser, Teri Vos.
Absent: Ervin Van Wyk.

Others Present: Dan Vander Beek, Jerry Byers, Russ Van Wyk, Sandie Mc Daniel, Dennis Mc Daniel, Joel Templeman, Dan Manning, Doty Boat, Joyce Vander Beek, Dennis Vander Beek, Tony Bokhoven, Joan Haman, Ken Haman, Lynn Branderhorst, Merlin Van Dyk, Verna Van Dyk, Rick Heimstra, Jim Mansueto, Julie Mueller, Jim Mueller, Dave Kermodé, Larry Peterson, Mike Nardini, George Wesselhoft.

- 3) Approval of Minutes. The minutes of the February 22, 2016 regular meeting and the March 14, 2016 special meeting were approved as submitted.
- 4) Public Hearing on Ordinance Amending Zoning Regulations Chapter 165 by Adding a New Section 165.13.5 Historic District Overlay Zone.

No written comments were received.

Jim Mansueto (1304 Main Street) stated he serves as Chair of the Historic Preservation Commission and feels they came up with a good ordinance that is a good starting point if they ever develop a historic district; they took a lot of learning from the cities of Des Moines, Iowa City and Dubuque but also looked at what the CDC went through and they are really starting at a very early stage where a lot of the ordinances are advisory and will serve as educational tools for people considering remodeling if their homes are ever in a historic district and feels it is a very good first step.

The public hearing was closed.

- 5) Ordinance Amending Zoning Regulations 165 by Adding a New Section 165.13.5 Historic Overlay Zone. George Wesselhoft reviewed the staff report:

The Historic Preservation Commission was appointed in May of 2015. One of their duties as delineated in City Code includes studies for the identification and designation of historic districts and landmarks meeting the definitions established by ordinance. At the present time, the only ordinance that exists pertaining to historic preservation is the ordinance which establishes the Historic Preservation Commission. In order to establish historic districts under City Code, the

regulatory framework ordinance setting forth the process would first need to be established. The Historic Preservation Commission over the span of over six months reviewed draft ordinance provisions for historic overlay zone. The City Council at the November 2, 2015 and February 2, 2016 Policy & Planning meetings reviewed overlay guidelines recommended by the Historic Preservation Commission. Direction was received at the February 2, 2016 Policy and Planning meeting to proceed with formal Historic Overlay Zone ordinance amendment.

The proposed ordinance would follow the approach similar to what is required to rezone property within the City limits as outlined in Chapter 165.38 of the City Code. In order for the historic district to proceed, the application would need to be approved by the Historic Preservation Commission, the Planning and Zoning Commission, and the Pella City Council similar to other zoning ordinance map amendment. It is important to note, that as contained in the current Chapter 165.38 of the City Code, if a petition is presented by the owners of twenty percent (20%) or more of the area included in the proposed historic district or by the owners of twenty percent (20%) or more of the property which is located within two hundred feet (200') of the exterior boundaries of the proposed historic district, then a super majority of City Council would be required for approval.

The historic overlay district would upon establishment of a district require a permit for new structures within a historic district and for additions to existing structures. In addition, historic review and associated permit would be required anytime a demolition permit is submitted. Further, the proposed ordinance is proposing for alterations which do not required a building or demolition permit, would be subject to voluntary historic review only with no certificate of appropriateness required.

All decisions of the Historic Preservation Commission, under the proposed ordinance similar to CDC can be appealed to the city Council.

Bob Smith asked the commission called for in the proposed ordinance is appointed by Council?

George Wesselhoft responded in the affirmative.

Mr. Smith stated he is struggling with the word decision as doesn't the commission truly make recommendations to City Council?

Mr. Wesselhoft responded generally it would be similar to the Community Development Committee design review process where those are reviewed at the CDC level; generally speaking it would be similar to that process unless there would be an appeal triggered, then it could go to City Council.

Mr. Smith questioned under section 5a ii "materials changes to exterior features of landmarks..." where situations don't require a building permit are voluntary.

He asked whether to look at whether or not you mean to ensure as in cases when its voluntary they can only attempt to promote and be careful with that wording. Also he mentioned 3a) the very last sentence ends with a period but then has six things called out under it, assume you would want a colon. Also, number 6 the very last sentence it says the Commission may grant exception; if you believe it is appropriate for the Council to delegate that authority to the Commission but his personal opinion is it ought to be recommend.

Teri Vos mentioned wording issue on page 4 of the Architecture Handbook first edition draft with “historic review is also required on a voluntary basis...” which seemed a little contradictory to itself.

Mr. Wesselhoft explained that under a prior draft that was reviewed it was actually a requirement but Council identified a concern that was too steep of a requirement, so there may have been some wording that just did not get changed but staff could certainly change that.

Mike Vander Molen asked what other cities were reviewed?

Mr. Mansueto responded they looked at Iowa City, Dubuque, Mt. Vernon and Des Moines.

Gary Van Vark stated he has a little bit of heartburn about taking a specific area in town and requiring certain obligations for remodel and so forth but was any thought given to other houses or other structures that are historic in nature as well; could we have made this a voluntary situation anywhere in the community as opposed to requiring a specific area to jump through these hoops?

Mr. Mansueto responded they developed this thinking these ordinances would apply no matter what section of the City; North Main is an area that people think maybe that should be an area; of course you know about the University District where the Historic Pella Trust doing a study on those historic homes; with his job now he visits a lot of cities and Oak Park, Illinois just did an inventory of every historically significant home in their community.

Mr. Van Vark stated that would be more fair but he still has a problem with setting down an area so many blocks and doing the requirements.

Mr. Mansueto responded these guidelines are if some group of home owners get together and decide we would like to be a historic district.

There was further discussion about the proposed ordinance.

Mr. Smith mentioned that the opt-in piece would be much more palatable to him and he has troubles with it because it could be managed badly but could also be managed very well; if there is a city that ought to have a historic ordinance it

ought to be Pella. He added that it will not affect him personally but it is troubling to him.

Julie Mueller stated that she is a member of the Historic Preservation Commission and what they are trying to set up here is something that is advisory; they are not saying that this area has to be a historic area; they want to set up something that will advise people and explain why they are historic and if they want to change things then maybe have suggestions; they are not trying to make anybody do anything they do not want to do.

Cathy Haustein stated she is in favor of it as Pella needs to have a broad revenue base some of the revenue base is history and this is a step in protecting an important part of Pella and part of the revenue base.

Lynn Branderhost (227 Oskaloosa Street) stated she needs to speak to the depth of the establishment of this district and she is also the Executive Director of the Historic Pella Trust. In the Collegiate Historic District they are currently trying to establish, this is a very long, arduous task. They had to hire a private historian that had to establish that this area was worthy of the State deeming it historic area; every property in that district had to have a background search; in some cases where the houses were not historically significant they earmarked the garages where the original home was torn down but the garage was kept; to date they have spent \$30,000; the process is not meant to harm anyone; so is not anything that four or five homeowners can get together and can call it good as it is very long and very tedious. In their draft of the Collegiate Historic District every house is now being color coded as to what date it was built and its historical significance; that is the depth of a historic district.

Jim Danks stated he has some familiarity with historic preservation and there are only two or three people in Iowa who can make the decision you are talking about: Will Page and Molly Bauman in Ottumwa and he is not sure the other. In his block if there are five houses and he is one of them. If he wants to have his house on the National Register which is a long and costly process, does that process stop the neighbors from making any changes to their home? How do we protect those other four people that do not want to be part of a historic district?

Mr. Wesselhoft responded that if the Planning and Zoning Commission recommends denial or if the 20% objection, then that triggers the supermajority at Council. He added that Iowa City follows the same procedure, it is treated as rezoning.

Mr. Danks asked if the other four houses have any rights or responsibilities.

Mr. Mansueto responded if you do an addition and do it historically compatible to the Department of Interior Standards they you could get 45% tax credits.

David Landon stated he is a little confused because they talk about an overlay district in the ordinance but then we are talking about applying for a historic home which is way outside of what they are talking about here. He would like to keep focus on the overlay district. He asked if there is a minimum size for historic district.

Mr. Smith suggested under 3a on page 2 it says “to qualify for designation it has to be abutting pieces under diverse ownership”.

Mr. Landon stated back to Jim’s point if two or three people in that area are not supportive of this and it goes through and has the supermajority and gets approved then they are stuck with it versus being voluntary.

There was further discussion about establishment of a district versus single property designation in terms of City ordinance and other programs.

Ms. Mueller mentioned they want to start the process by designating historic overlays of homes that have a lot of historic value; they want to inform people and make advice; it could be just a door that is historic; all these different things make this historic; they want to make people aware of the value of the value of their home is much more than just monetary; they would like to preserve that and this is just the beginning; at this point they want to create an overlay of the neighborhood that has a lot of historic value.

Mr. Landon asked if they can take the step without the mandatory language.

Mr. Mansueto commented on the mandatory language, they have language for building and demolition permit.

Ms. Branderhorst added that this is really no different than a new neighborhood having covenants because instead of the houses being brand new and shiny the houses are 100 years old. Based on the fact that it is been there so long, it is no different than covenants and it is not that offensive when you spin it down that simplistically.

Mr. Danks asked if we have a duplication of roles and he is all for protecting the houses but he also wants to protect people that have property there. As he read this he does not think they are trying to read too much into it. If they are going to amend or add into the City Code it better be pretty specific.

Mr. Wesselhoft mentioned to address an earlier question that although the Commission focused more on the historic district there is language is in the ordinance for a historic landmark.

Jim Danks questioned how is the review process going to take place and who is going to manage and decides if it is historic? It makes it very difficult if you are

asking the Planning and Zoning Commission and City Council to approve it. He saw some house with a brand new porch, does that automatically knock out the district; he is concerned about voting up or down on this; there is value in where they are headed but he is not sure how they get to it where it becomes simpler and easily understood by the Commission and Council.

Gary Van Vark suggested tabling the ordinance.

There was further discussion.

Mike Nardini stated a public hearing would be required for an overlay district to be adopted and under that scenario if there were property owners where there was 80% objection the City Council would give that serious consideration.

Mike Vander Molen asked how many property owners could apply.

Mr. Wesselhoft responded under 3A it talks about the definition of historic district but is not aware of a specific number.

Mr. Smith asked the only one that can initiate a rezoning are the property owners themselves or the City and it looks like it would have to be abutting property owners.

Mr. Wesselhoft responded that you could have a third entity makes a petition but only the City Council could follow through on the overlay rezoning like 165.38 of the current Code for rezonings.

Mr. Vander Molen suggested taking the City out of it and leaving it voluntary.

Cathy Haustein asked if anyone has been to Iowa City and seen any of the historic districts such as Brown Street and the City took it upon themselves to make it into a historic district to help people renovate that street; it is beautiful now, it is filled with bed and breakfasts; it is not something that is a penalty for people, it is something can really save a part of a town.

Mr. Vander Molen mentioned if it such a great program he does not see a problem making it voluntary and allowing the homeowners to choose and he worries about it being forced on those that do want to be part of it.

Ken Haman (707 Union Street) mentioned it encourages people to buy in there because the neighborhood is going to be held that way which is very important if you are going to fork \$100,000 in an old home.

David Kermode (510 Broadway Street) stated it is becoming evident they have not educated the Commission enough and suggested tabling to educate them more.

Teri Vos stated she totally agreed with what Mr. Kermode said and she is hearing what people are saying and could only imagine what they have here took a long time to put together and the Commission should give equal presence of mind to get their questions answered they give it a up or down vote. Because there was so much work that went into this and would love to give that opportunity to the group and then vote more confidently one way or the other.

Gary Van Vark asked if the Commission has given the people a direction as to what questions they want answered.

Teri Vos made a motion to table the ordinance with opportunity for a focus group to study the issue. Gary Van Vark seconded the motion.

The specific concerns of the Commission mentioned:

Bob Smith mentioned as concern burdens without specific benefit, that this could be foisted on somebody and if they did not voluntarily buy into that it ought to take $\frac{3}{4}$ of the City Council.

Jim Mansueto stated they were operating under the premise once a district was established these are the guidelines.

Mr. Smith stated that this is not a guideline, it is presented as an ordinance and the only thing missing is for the City to say and this is a district, they won't be guidelines, they will be rules.

Mike Vander Molen asked if they are charged with the Handbook review.

George Wesselhoft responded the handbook because it is referenced by the ordinance it is included as an information item but the Commission would not approve, it would go with recommendation from the Historic Preservation Commission to the City Council which they would approve through resolution.

David Landon added in the very beginning there were comments on specific wording in the ordinance, since this is being tabled let's get the specific wording addressed. He also mentioned he likes the idea of providing examples including a district is established it includes people that do not want their property included in the district are there limitations to what they can and cannot do with their property.

Upon vote, Vos, Van Vark, Agan, Danks, Landon, Pfalzgraf, Smith, Vander Molen, Visser voted yes. Haustein abstained. Motion carried 9 to 0 with 1 abstention.

- 6) Public Hearing on Comprehensive Plan Amendments to the Future Land Use Map

Concerning Approved Rezoning Applications Since 2014 Pella Comprehensive Plan Update.

No written comments were received. David Kermode questioned the purpose of the amendments. Gary Van Vark responded it is clean up.

- 7) Comprehensive Plan Amendments to the Future Land Use Map Concerning Approved Rezoning Applications Since 2014 Pella Comprehensive Plan Update. George Wesselhoft reviewed the staff report: The City of Pella is proposing amendments to the Comprehensive Plan for rezonings which have been approved since the 2014 Comprehensive Plan update. This would be clean up as per direction from the prior rezoning approvals and include the following:

- a) Missouri River Energy Services for Rezoning to amend the Future Land Use Map from Preserve to Light Industrial (Ordinance 900, approved 8-8-15)
- b) Russ Van Wyk for Rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 901, approved 9-15-15)
- c) Alan and Karla Morrison for Rezoning to amend the Future Land Use Map from Medical and Assisted Living to High Density Residential (Ordinance 902, approved 9-15-15)
- d) Marc Vande Noord for Rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 903, approved 11-17-15)

Mr. Smith asked so this is to amend the Comprehensive Plan to whatever each of the four were rezoned to.

Mr. Wesselhoft responded yes so the zoning and Comprehensive Plan are consistent.

Mr. Vander Molen asked if there were any instances if they approved a site plan that complied with the zoning but not necessarily the Future Land Use Map.

Mr. Wesselhoft responded he is not aware but he would have to check and that these are specific for rezonings, not site plans.

Mike Vander Molen made a motion to recommend approval of the Comprehensive Plan amendments. Bob Smith seconded the motion. Upon vote, Vander Molen, Smith, Agan, Danks, Landon, Pfalzgraf, Van Vark, Visser, Vos voted yes. Haustein abstained. Motion carried 9 to 0 with 1 abstention.

- 8) Site Plan for RMJ Enterprises, LLC. George Wesselhoft reviewed the staff report: RMJ Enterprises, LLC is proposing the construction of a new concrete dock and associated hard surfacing of pre-existing gravel area. The new hard surfacing would consist of 5,280 square feet. While this site is zoned M2 Heavy Industrial, it is targeted for Mixed Use in the Comprehensive Plan, Future Land Use map. Otherwise the site plan meets the criteria of Chapter 165.36 (3) (F)

below which requires the Planning and Zoning Commission to make the following findings before approval of the site plan:

- A. The proposed development is in accordance with the criteria established in Table 165.36/37-1. For the Commission's review, Table 165.36/37-1 is included in the packet.
- B. Any modifications to the site plan are reasonable and the minimum necessary to minimize potential unfavorable effects.
- C. The site plan conforms to the Zoning Ordinance and the Comprehensive Plan.

Mr. Wesselhoft stated the staff recommendation is to approve the site plan without an amendment to the Comprehensive Plan. The basis for this recommendation is that the proposed hard surfacing improvements do not constitute an expansion of the use but rather are improvements to pre-existing gravel area. If the Commission deems it necessary, the alternative would be to approve the site plan subject to Comprehensive Plan amendment possibly including review of the general vicinity.

Mr. Van Vark stated he thought you could lay concrete whenever you wanted to without having changes.

Mr. Wesselhoft responded that is a very good question and mentioned there is a 2000 square foot exemption which the applicant is aware of but in order to do it cleaner he is proposing the 5,280 square feet.

Ms. Haustein asked if there are any environmental or drainage concerns.

Mr. Wesselhoft responded those have been reviewed by the Public Works Director and in 2008 the same area was looked at and they just worked with the Public Works Director to finesse the storm water as part of this.

Mr. Smith asked because he chose to do more than 2000 square feet it triggers the site plan, the site plan is consistent with the zoning on the property, yet it is under the Comprehensive Plan the Future Land Use map has a different zoning and we believe we can make the recommendation to approve with no amendment to the Comprehensive Plan and asked staff to help him understand.

Mr. Wesselhoft responded in the affirmative, that the staff position is this does not constitute an expansion of the use, an expansion of the use would be a addition to the building or new building and they are just proposing to improve existing gravel area to hard surfacing.

Mr. Vander Molen stated he thinks the Comprehensive Plan should be amended to reflect the current use. When there is a conflict the Comprehensive Plan needs to give way.

Mike Nardini if there is a decision to amend the Comprehensive Plan staff is fine with that and they would also suggest a general review of the area to make sure we are consistent between zoning and the Comprehensive Plan.

There was further discussion about staff recommendation and action options.

Russ Van Wyk stated he is the R in RMJ and stated he thought he was doing the City a favor. Their original plan was 2000 square feet this year, 2000 square feet next year and fine tune it. American Wood Fibers wants to rent the whole thing. He stated we said we spend the \$2000 for the site plan and bite the bullet and get it all done up front; worst comes to worse they would come back and do 2000 square feet with gravel. Personally he would like concrete than gravel; they have to move forward.

Mike Vander Molen made the motion conditioned on the Comprehensive Plan amendment to bring the Plan in alignment with the zoning. Gary Van Vark seconded the motion.

Bob Smith questioned the designation for the land use.

Mr. Wesselhoft responded it would be general industrial.

Teri Vos questioned the motion is to change the Comprehensive Plan.

Mr. Vander Molen responded no, it is to approve the site plan conditioned upon the Comprehensive Plan amendment.

Mr. Landon stated they would have to have a hearing on the Comprehensive Plan amendment and the Council would have to approve it.

Russ Van Wyk asked he has to go another round with the City Council?

Mr. Danks stated the site plan is ok as it stands but they are trying to untangle their relationship with the Comprehensive Plan. He asked what the time frame would be for the applicant.

Mr. Wesselhoft responded it would be about six weeks because they have to have hearings at Planning and Zoning Commission and City Council.

There was discussion on the motion and what it meant in so far as the applicant.

Upon vote, motion failed 0 to 10.

Bob Smith moved to approve the site plan. Jim Danks supported the motion.

Mr. Smith commented that he thinks it is appropriate; he does not believe the Future Land Use map has any value until and unless it is reduced to a zoning ordinance, it has not been and has no bearing with respect to this. This is within the zoning of the existing property; it is by right and therefore he supports it.

Mr. Vander Molen stated he would like the future land use map taken for what it was and the zoning ordinance should govern and that land map should be given its due weight which is very little and he does not want to get in an instance where a site plan has to conform with that map and the zoning map because that is a difficult process and is unfair to property owners.

Mr. Smith further commented that it is in line with their charge; truly the Comprehensive Plan is not one page, it is not a single land use map; it is 136 pages and from that does not see any inconsistency with the charge given to the group with the motion in front of them.

Ms. Haustein stated she does not agree that the Comprehensive Plan and Future Land Use map are not worthy however she does not hear any outcry against this particular use which seems consistent with the way it is being presently used.

Upon vote, all voted yes. Motion carried 10 to 0.

- 9) Other Business. Mr. Danks asked if they as a Commission need to appoint as a group or meet going back to the ordinance. The Commission discussed it and also directing questions.
- a) Mike Nardini gave an update on City projects: Mr. Nardini stated by mentioning the Oskaloosa Street reconstruction project. It is a fairly large project as it is proposed to extend from Prairie Street out to East 16th Street, about 7/8 of a mile, so it is a large project. It is roughly a \$3.2 million project; they will be using \$1.6 million federal funds for the project and the rest local; they also will be doing utility work including water and sanitary sewer; as far as the timeline they are actually fortunately to have started the week of March 21 on the east end. The project will be done in five phases and east segment would be reopened before Tulip Time and then he rest would be done after Tulip Time with the project completed by mid- October/mid-November. He added there will be an open house from the project on Thursday April 7.

Mr. Smith asked how the City is dealing with businesses.

Mr. Nardini responded they are trying to stay in close communications with the businesses and Public Works Department has been very busy on the project. He mentioned keep in mind the entire street will not be closed from Tulip Time through November; it will be done in five phases.

Mr. Nardini mentioned the Washington Street reconstruction project which extends from East 1st out to Hazel Street intersection and includes total street reconstruction as well as replacement of water main and sanitary sewer. The project would start shortly after Tulip Time and once again be completed at October timeline. This is something that will be decided by City Council. He mentioned there has been a significant amount of inflation in the construction industry. The engineer's estimate was \$900,000, they received two bids with the low bidder was at \$877,000. One of the questions is why they considered two street projects at the same time, looking at from the City staff standpoint and felt it was beneficial to do Washington Street this year.

Mr. Nardini mentioned the Pella Sports Park opened today. Overall it is a 105 acres sports park. Phase 1 is right around 65 acres, 5 baseball/softball fields and multipurpose fields; \$8 million project; \$2.7 million was the City's contribution. This process would not be possible without generous donations from the foundations of Pella Corporation and Vermeer Corporation and also a grant from Vision Iowa; the open house will be on Tuesday, May 3.

Teri Vos asked about the bike path.

Mike Nardini responded they are working on it.

Mike Vander Molen asked about the current parks.

Mr. Nardini responded that there would still be games on Caldwell Park and Peace/Independence Street fields and that Truman fields is yet to be determined.

Gary Van Vark asked if they are going to move soccer from the soccer complex out to the Sports Park.

Mr. Nardini responded that club soccer would be at the soccer complex with rec soccer out at the Sports Complex.

Jim Danks mentioned those are good projects and recognize the value. He asked please email him questions and Mr. Wesselhoft would be included and this would be for the historic overlay ordinance.

10) The meeting was adjourned at 8:29 p.m.

Respectfully submitted,
George Wesselhoft
Planning and Zoning Director

Planning and Zoning Commission
Special Meeting
March 30, 2016

- 1) The meeting was called to order at 7:00 p.m.
- 2) Roll Call.
Present: Craig Agan, Jim Danks, Cathy Haustein, David Landon, Robin Pfalzgraf, Bob Smith, Mike Vander Molen, Gary Van Vark, Ann Visser, Teri Vos.
Absent: Ervin Van Wyk.

Others Present: Le Anne Krell, Amy Costello, Jerry Byers, Michael J. Moreland, John Webber, Julie Bisbee, Dennis Vander Beek, Joyce Vander Beek, Mike Kiser, John Van Den Berg, Wally Pelds, Joel Templeman, Dan Manning, Sr., Dan Manning, J., Eunice Folkerts, Lynn Branderhorst, Nick Branderhorst, Verna Van Dyk, Merlin Van Dyk, Candace De Penning, Scott De Penning, Jim Mansueto, Dan Spotten, Jim Mueller, Brad Skinner, Tony Bokhoven, Dan Vander Beek, Will Page, Michael Robinson, Chris Robinson, Caleb Woods, Sandie McDaniel, Denny McDaniel, Adam Hale, Arla Rietveld, Denny Buyert, Robert Bokinsky, Renee Bastas, Robert Van Essen, Joan Haman, Ken Haman, Jennifer Spotten, Jody Mansueto, Wayne Stienstra, Bruce Terlouw, Kris Andre, Dan Andre, Bridgette Hardesty, Brent Hardesty, Bruce Haustein, Dave Kermode, Larry J. Peterson, Rick Heimstra, Lori Parisee, Jim Nieboer, Jeff Andre, Shelly Bradfield, Mary Visser, Steve Parisee, Mike Nardini, Robert Stuyvesant, George Wesselhoft.

Dan Manning (317 6th Ave., Suite 300, Des Moines, Iowa) representing Casey's Marketing Company, stated as you know this is a special meeting concerning the site plan that they have presented to the City concerning the property at the corner of Union Street and Main Street. He stated he appreciates the opportunity to visit with them tonight as they asked that the Commission consider a change to the order in which matters are heard this evening, certainly much appreciated when they learned they would be given the opportunity to bring this matter back at the Planning and Zoning Commission and have a special meeting. They obviously don't set the agenda items. He pointed out that it is Casey's position concerning item number five, in reality it is from their perspective not a true reconsideration in that at the February 22, 2016 meeting there was a motion made that didn't pass, technically no real action took place that night. The other is that these items three and four talking about amendment to the Future Land Use Map, page 24 of the Comprehensive Plan is not the issue that is before you from their perspective. This is approval of a site plan. It must be in conformance with the laws of the City, the Zoning Ordinance, and must be in conformance with the Comprehensive Plan. They believe it is and think there is no requirement for an amendment, that is their position respectfully submitted; that they should be given the opportunity to in essence continue on where they were on February 22 and lay out that they are in full compliance with the Zoning, but in addition the genius of your Comprehensive Plan is that in recognized the Future Land Use Map may not be

exactly on point and if you at some future date decide to amend the Future Land Use Map to conform better, that is great, but Casey's does not believe they should be placed in the position where they have to go through the process of amending the Future Land Use Map when no amendment is required. The last point he wanted it clear on the record that this is not a request that they made; Casey's is not asking to amend the Future Land Use Map, they don't believe that is a requirement. They believe the Commission should take up number 5 and if the Commission chooses to go forward with the analysis of whether they should or should not amend the Future Land Use Map great. They would like to get on with this and believe they are in compliance.

Mike Nardini introduced the City legal counsel team including Mike Moreland and John Webber from Harrison, Moreland, Webber & Simplot. In addition, Bob Stuyvesant, City Attorney.

John Webber stated they believe the agenda is set in the best manner which allows the Planning and Zoning Commission to consider all of the facts that are before them and to make an informed and appropriate decision. They are aware of the positions that Casey's has taken with respect to the need for amendment of the Comprehensive Plan. They also are familiar with the position that City staff that it is not completely clear as to whether the proposed use is in accordance with the Comprehensive Plan as it presently sits. They agree in the best interest of the City and the Planning and Zoning Commission that it is better to consider the situation and the possible amendment of the Comprehensive Plan prior to readdressing the actual site plan approval because that just allows them the best position. Mr. Webber added they are retained to advise and to represent the City, they do not have an agenda with respect to what the Commission does or the City Council may ultimately do. They will not advocate to approve or not approve any of the changes. They are there to provide guidance and counsel.

Jim Danks asked that those in attendance to sign the guest register and who wish to speak limit themselves to three minutes and if someone makes the same statement they would ask you to stop as they do not need to hear the same thing over and over again. He added that they do want to give people an opportunity to express themselves.

David Landon made a motion to approve the agenda as presented. Ann Visser seconded the motion. Upon vote, Landon, Visser, Agan, Danks, Haustein, Pfalzgraf, Van Vark, Vos voted yes. Smith, Vander Molen voted no. Motion carried 8 to 2.

- 3) Public Hearing on Comprehensive Plan Amendment to the Future Land Use Map Concerning Proposed Site Plan for Casey's (Legal Description: Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61, Original Pella, in the City of Pella, Marion County, Iowa).

Mike Nardini, City Administrator, gave a staff presentation pertaining to the matter:

Comprehensive Plan Amendment

- Casey's Marketing Company is proposing a new 41' by 106' 3" convenience store with gasoline sales on 1.17 acres located at 505-513 Main Street and 705 Union Street.

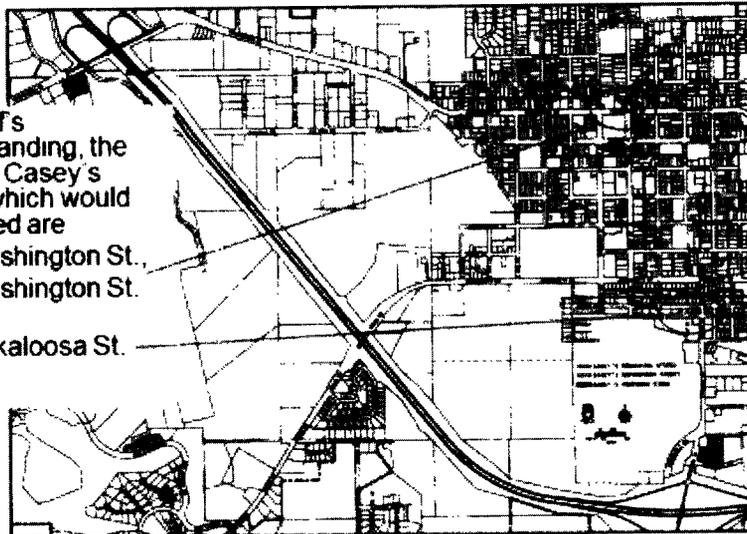


- According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs.

2

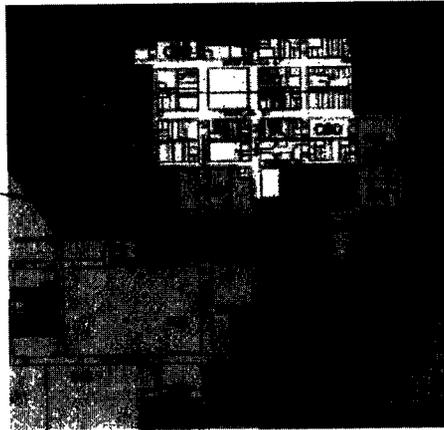
Comprehensive Plan Amendment (continued)

- It is staff's understanding, the existing Casey's stores which would be closed are
 - 640 Washington St.
 - 744 Washington St. and
 - 414 Oskaloosa St.



Comprehensive Plan Amendment (continued)

- The proposed site for the new store is zoned Commercial Mixed Use Urban Corridor (CUC), and convenience stores are an allowable use in this zoning classification.



4

Comprehensive Plan Amendment (continued)

- However, it is important to note, the Pella City Code requires the development to conform to both the zoning ordinance and the City's comprehensive plan.
- In this particular case, staff was not able to clearly determine if the proposed development conforms to the City's comprehensive plan.
- As a result, staff believes action needs to be taken by the Planning and Zoning Commission and Pella City Council to address conformity with the City's comprehensive plan.
- The approach that is recommended to address conformity with the comprehensive plan is this proposed amendment.
- Specifically, this amendment would change the Future Land Use Map in the comprehensive plan from Low Density Residential to Mixed Use Commercial for the proposed development site.

5

State and City Code Requirements (continued)

- Site Plan Review Requirements – Chapter 165 36 (F)

Review and Evaluation. The Planning and Zoning Commission shall review and approve the site plan based on the criteria established in Table 165 36/37-1 and conformance with applicable regulations in this Zoning Ordinance

The Planning and Zoning Commission shall make the following findings before approval of the site plan:

- (1) The proposed development together with any necessary modifications, is compatible with the criteria established in Table 165.36/37-1
- (2) Any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable effects.
- (3) The site plan conforms to the Zoning Ordinance and the Comprehensive Plan

7

State and City Code Requirements

- The Iowa State Code requires zoning regulations to be made in accordance with a comprehensive plan.
- Staff believes the goal of the state's comprehensive plan requirements is to prevent piecemeal and haphazard development.
- In addition, staff also believes the intent of the state regulations is to encourage local jurisdictions to act rationally rather than arbitrarily in making zoning decisions.
- It is also important to note, the Pella City Code requires development site plans to conform to the City of Pella's zoning ordinance and comprehensive plan.
- Listed on the following slide are the requirements pertaining to site plans as stated in the Pella City Code.

6

What is the Purpose of a Comprehensive Plan?

- ▶ The comprehensive plan is intended to serve as the foundational document which guides city zoning and development decisions through the year 2035.
- ▶ Vision: The plan articulates community values and priorities, based on a public input process.
- ▶ Basis for Regulations: The plan provides the required legal basis for land use regulations, such as zoning, per Section 414 of the Iowa Code.



Background of the City of Pella's Comprehensive Plan

- ✦ The City of Pella's Comprehensive Plan was adopted by the Pella City Council in 2014.
- ✦ The plan was developed over approximately a nine month process in which a thirty member Steering Committee worked in conjunction with City staff and RDG who served as the planning consultants.
- ✦ During the development of the plan, the Steering Committee received input from the community from citizens who attended the various public meetings and participated in the online town forums.



6

Background of the Comprehensive Plan (continued)

- In addition, the Steering Committee also conducted a housing survey.
- Overall, community input served as one of the key components in developing the Pella Comprehensive Plan.
- The comprehensive plan is intended to serve as the foundational document which guides city zoning and development decisions through the year 2035.



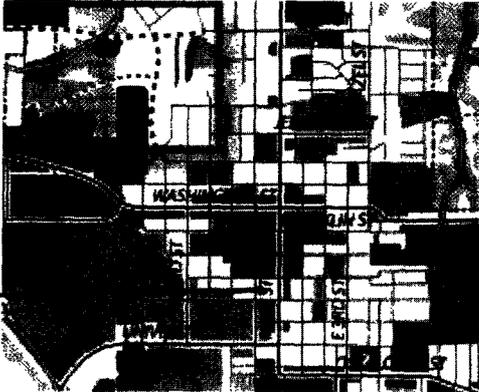
Conformance with the City of Pella's Comprehensive Plan

- In reviewing the proposed Casey's development to determine conformity with the comprehensive plan, staff considered the plan in its totality.
- Based upon staff's review, we were unable to clearly identify if the proposed Casey's development conforms with the City of Pella's Comprehensive Plan.

10

Conformance with the Comprehensive Plan (continued)

- *Future Land Use Map* - The Future Land Use Map in the comprehensive plan targets this proposed site for residential development.



<ul style="list-style-type: none"> Residential Single-Family Residential Medium-Density Residential High-Density Community Center Office Industrial Public Use Open Space Water Transportation Other Future Land Use 	<ul style="list-style-type: none"> High-Density Residential Medium-Density Residential Community Center Office Industrial Public Use Open Space Water Transportation Other Future Land Use 	<ul style="list-style-type: none"> High-Density Residential Medium-Density Residential Community Center Office Industrial Public Use Open Space Water Transportation Other Future Land Use
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Conformance with the Comprehensive Plan (continued)

Housing Goal – One of the core goals of the comprehensive plan was to provide a range of housing types at a variety of prices, to accommodate workers and residents at all stages of life.

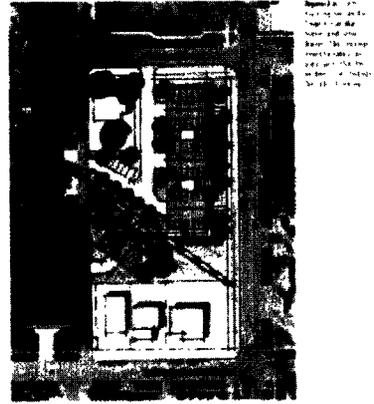


- A key component of this goal was the utilization of infill housing or housing that is built on vacant or underused lots in existing neighborhoods.
- Infill lots are beneficial for several reasons because they often allow established neighborhoods to respond to market conditions by providing new housing types and features.
- In addition, infill housing is efficient because it utilizes existing infrastructure.

11

Conformance with the Comprehensive Plan (continued)

- Likewise, the comprehensive plan also states that it is important for any infill development to complement the existing neighborhood and provide appropriate transitions where needed.
- Finally, it is important to note, this proposed site is shown in the comprehensive plan as a concept for residential infill development (Figure 2.4 page 43)



13

Conformance with the Comprehensive Plan (continued)

Land Use Compatibility Matrix

- *Land Use Compatibility Matrix* - The purpose of the Land Use Compatibility Matrix (Table 1.5, page 31) is to identify land uses when located in close proximity to each other which may cause conflicts.
- One of the goals of the matrix is to avoid creating new conflicts.
- Depending on the commercial classification of the proposed Casey's convenience store (i.e. high, medium, low, etc), there could be potential conflicts with the existing residential properties which abut the proposed site.

Land Use	High	Medium	Low
Residential Single-Family	High	Medium	Low
Residential Medium-Density	High	Medium	Low
Residential High-Density	High	Medium	Low
Commercial	High	Medium	Low
Industrial	High	Medium	Low
Office	High	Medium	Low
Public	High	Medium	Low
Open Space	High	Medium	Low
Arts and Entertainment	High	Medium	Low
Community	High	Medium	Low
Government	High	Medium	Low
Healthcare	High	Medium	Low
Hotel	High	Medium	Low
Manufacturing	High	Medium	Low
Office	High	Medium	Low
Public	High	Medium	Low
Retail	High	Medium	Low
Service	High	Medium	Low
Specialty	High	Medium	Low
Warehouse	High	Medium	Low

14

Issues to Consider in Evaluating the Proposed Amendment

- As stated earlier, the intent of the comprehensive plan is to serve as a long-term planning document.
- Likewise, it is also important to note, the comprehensive plan can change when development priorities and conditions change.
- In addition, it is not uncommon to amend a comprehensive plan to account for a new development that was not foreseen when the document was originally constructed.
- However, careful consideration should be given before making any changes to the plan to avoid haphazard development.
- Listed on the following slides are items to consider when evaluating this proposed comprehensive plan amendment.

15

Reasons for Approving the Comprehensive Plan Amendment

Based on staff's review, listed below are potential reasons to approve this amendment to the City's comprehensive plan.

- *The property is zoned for the intended use* - As stated earlier, convenience stores and gas stations are a permitted use in the CUC zoning classification.
- In addition, the highest and best use for the proposed site may be commercial rather than residential.

Reasons for Approving the Comp Plan Amendment (continued)

- *Commercial uses identified in proximity to the proposed site* - Existing commercial uses are located directly east of the proposed development site. In addition, these existing uses are identified in the Future Land Use Map of the City's comprehensive plan.



Reasons for Approving the Comp Plan Amendment (continued)

- *Commercial Corridor* - The Main Street corridor area south of the downtown is identified in the comprehensive plan as a commercial corridor.

10. Main Street Corridor - The Main Street corridor area south of the downtown is identified in the comprehensive plan as a commercial corridor. This area is shown on the Future Land Use Map of the City's comprehensive plan as a commercial corridor. The area is shown on the Future Land Use Map of the City's comprehensive plan as a commercial corridor.

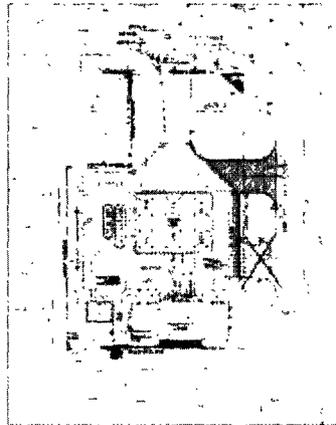


Figure 10. Future Land Use Map of the City's comprehensive plan showing the Main Street Corridor.

Reasons for Approving the Comp Plan Amendment (continued)

Site Plan Enhancements - In an effort to address potential land use compatibility issues, the Casey's site plan includes additional green space area and landscaping above the City Code requirements.

- It is important to note, this was done on a voluntary basis by Casey's.
- In addition, the building design has been modified in an effort to blend in with the abutting properties.
- Furthermore, adjustments were made in the realignment of the main driveway for the development to address potential safety issues noted by the City's traffic engineers.



Reasons for Denying the Comp Plan Amendment

Based on staff's review, listed below are potential reasons to deny this amendment to the City's comprehensive plan.

- *Allowing the existing future use designation of the property to remain unchanged:* The comprehensive plan took a considerable amount of time and effort to develop. The proposed site in the comprehensive plan is identified specifically in multiple sections of the plan for residential use, which is different than the proposed Casey's development.
- *Infill Housing Goal:* A key component of the Comprehensive Plan's Housing Goal was infill housing. Overall, the community derives benefits from infill housing and this location may be more beneficial for the community for infill housing rather than a commercial development.

Reasons for Denying the Comp Plan Amendment (continued)

- *Potential Conflicts with Neighboring Properties:* The Land Use Compatibility Matrix within the comprehensive plan indicates there could be potential conflicts between the proposed Casey's development and the residential properties abutting the development site.



Summary

- Staff does not have a recommendation in regards to approving or denying this proposed amendment to the comprehensive plan.
- However, we do believe any decision made by the Commission should be based on the City's comprehensive plan and applicable zoning ordinances.
- In considering this amendment, the Planning and Zoning Commission has the following options:
 1. Recommend approval of the proposed Comprehensive Plan Amendment. 
 2. Recommend approval of the proposed Comprehensive Plan Amendment with modification.
 3. Recommend denial of the proposed Comprehensive Plan Amendment. 

Bob Smith questioned what is the amendment?

Mike Nardini responded a change in the Future Land Use Map.

Written comments:

Jim Danks asked if written comments were received.

George Wesselhoft responded 32 letters were received, all but one expressing their opposition (see attached; some letters were in envelopes provided to the Commission members in addition to the 32 letters).

Dan Manning stated obviously the presentation tonight is about Casey's. They are in a unique position, what they are proposing to the members of the Commission is that based upon the manner in which the zoning exists and the Comprehensive Plan reads there is no requirement to amend your Future Land Use Map in order to approve the Casey's site plan. Mr. Manning referenced a packet of information provided to the Commission. Page 63, Exhibit U. On the left hand column is references to the Zoning Ordinance and on the right hand column is references to the Comprehensive Plan. The item in the ordinance that talks about approval, the property they are talking about is CUC zoning and this use is authorized as a matter of right under the laws of the City. Number 3 talks about the Comprehensive Plan must be in compliance with, not the Future Land Use Map. Mr. Manning mentioned the zoning at this location was created in 2001. RDG put the Plan together and made this presentation and the Commission approved the Comprehensive Plan. Each point they are showing is consistency, that it is well thought out that there is a corridor. Page 49 of the Comprehensive Plan there is a map that shows a commercial corridor that provides for retail and services for residents. Page 21 of the Comprehensive Plan states preferred growth area designated for commercial development. 165.12-1 of the Zoning Ordinance establishes this is an urban entry corridor leading into the City which allows for

residential, commercial and office uses. Table 1.4 page 30 of the Comprehensive Plan. What they are establishing is that this property is in full compliance with the Zoning Ordinance and in full compliance with the Comprehensive Plan. Page 64 of the documents clearly establishes exactly what the Zoning Map is for and there is a detailed analysis as to what goes into the creation of the Zoning Map. To the contrary with the Comprehensive Plan. The Future Land Use Map at page 24 and page 90 the future land use map is to be interpreted generally and is not to the specificity or rigidity of a zoning map; it is at two specific locations, it is designed that way, when you have a situation when you have inconsistency with the Future Land Use Map it says land use maps and other maps are meant to be general guides and policy rather than carry the specificity and rigidity of a map such as a zoning map as such the Planning and Zoning Commission, City staff and the City Council can exercise some discretion as to whether a proposal matches the intentions of the Plan.

Ken Haman (707 Union Street) stated he is somewhat surprised they are even here tonight as at the variance meeting on December 14 that was done in their favor 9 to 0 there were statements made by Casey's. Casey's stated "we have not found one plan that pleases us with our concerns with regards to safety and operation of the Casey's Store so at this point we do not have an option B although we have looked at many options there is just not one that suits this property; later on it was stated by Leanne the counsel at the meeting we had our engineers, our draftsman and other people look at this and any other way we configure the property raises significant concerns with regard to safety or other issues they feel are in their industry; we could build one right now in accordance with the ordinances but it is not the store that the neighborhood is going to be happy with, it is not the store that is going to suit the needs of the neighborhood, it is not the store that is going to meet their high safety standards; they looked at many other options, we don't think it meets the high safety standards especially given the proximity of the alley to our store, the neighborhood, the garages, the surrounding; that's why we are here we want to do this right; we want to do it well; we want to serve the needs of the community but want to care about high safety standards". They were denied that variance and could not put it the way they wanted and now they just want to put it in and they stated themselves safety.

Will Page (520 E. Sheridan Avenue, Des Moines, Iowa) stated he is a historic preservation consultant and he is working with the Pella Historic Trust on a potential historic district right adjacent to the property. About eight years ago they had a similar situation in his neighborhood in Des Moines. A convenience store wanted to come in and to establish a 12 pump convenience store in their neighborhood. This came as a surprise to them. At that time the City of Des Moines did not have design guidelines for a 12 pump convenience store. The guidelines they were using were for small convenience stores. This happened in different parts of the neighborhood across the City; finally the zoning was changed and we had more stringent guidelines to make sure that convenience stores of this scale were appropriate to the neighborhoods. He added he does not

want to criticize the City of Pella but it took the City of Des Moines five years to come up with design guidelines to give neighborhoods a sense of participation in the whole process and he stated his hunch is that the City of Pella is somewhat in the same situation as Des Moines was as you have guidelines for convenience stores but not for a mega convenience store. He stated he salutes the City's legal counsel when he gives you the advice to consider the Comprehensive Plan before you consider the site plan. He mentioned further that he is a baby boomer and people of his age are looking forward to retirement and down size into a place close to restaurants, entertainment, churches and social events; downtown Pella that fits the bill. Your Future Land Use Plan identifies this for residential; this is a prime place for people like him and many other people in the audience to live in. A convenience store is about transportation; you can drive your car six blocks, ten blocks to get gas but you are not going to walk ten blocks or twenty blocks to get to downtown Pella. Mr. Page stated he wanted to make one further third point: he lives in Des Moines and he knows people that work with and for Casey's; they have a good reputation about wanting to do what's in the best interest of the community and are here for a civic purpose, they want to be a good neighbor; if you look around tonight and hear what has happened in the past as far as this proposal; no one could doubt the fact that this has caused a great deal of controversy in the community; this has not been good for the community in terms of how Pella sees itself; Mr. Page concluded by stating within that context, I would appeal to you (Casey's) to withdraw this proposal.

Jim Mansueto (1304 Main Street) stated according to the Association of Convenience and Fuel Retailing the size of this new convenience store is what they classify as a hyper station, it is the largest convenience store they classify; in many cases this type of store, such stores are often used as mini truck stops; this is what we are planning to put adjacent to homes where there used to a row of single housing; any way you slice it does not fit with the existing structures in the neighborhood.

Lynn Brander Horst (227 Oskaloosa Street); she stated she just wanted to make a few points; one is that she feels we are trivializing the Comprehensive Plan, in the State of Iowa the Comprehensive Plan supersedes zoning; it would trump zoning according to Iowa Code; also the Comprehensive Plan is there to protect the people; The Comprehensive Plan started in the 1890s; they then matured on to the 1970s; they are there to help us, they are not there to help the establishment; if we were to vote to amend the Comprehensive Plan; according to Iowa Code 414.3 you cannot replace it with something that will devalue housing and not within the historic character of the neighborhood, so what would you replace it with; so if you would replace it you couldn't put a Casey's in there anyway according to the guidelines of the Comprehensive Plans in the State of Iowa; lastly this is the spring edition of Preservation Magazine, this is a national magazine and elite magazine; She is proud to say Pella made the magazine this month; nobody paid to put us there; it was their selection not ours; she read "Pella has many historic treasures such as the Pella Opera House. The Pella Historic Trust is a vital link

between Pella's past and future with a vision for preserving yesterday with a vision for tomorrow. It is especially a value at the core of Pella". Please don't make these people wrong.

David Kermod stated here we are again; it has lost on two separate occasions at the Board of Adjustment and Planning and Zoning Commission; he pointed out over 1,100 people have signed the petition against the Board of Adjustment; having gone out and obtained those signatures nobody said it was because it was north, south, east, west, they were all opposed to the Casey's being there; here we are to reconsider this for the third time; his wife has talked to Casey's representatives on two separate occasions; on the second occasion she attempted to reach out to their attorney Ms. Krell and convey to her the strong sense of displeasure and angst that their development plan had for their neighborhood; despite this she did convey her willingness and the willingness of their neighbors to sit down and talk to Casey's, the owner of the land and the City if a mutually agreeable solution could be obtained; Casey's General Stores was not interested in talking and has never reached out to their neighborhood; she also reached out to the landowner to discuss this issue; repeatedly the people opposed to the plan have offered to discuss other uses for this property; these overtures have never been reciprocated. In regards to Casey's General Stores they have been cordial and are willing to offer whatever support they can to help them find a suitable location for their perceived need to enhance services to the community. Finally, justice, honesty, and equity; Mr. Kermod referenced locally owned corporations that are part of the community and we are fortunate to have them and then stated we are now faced with a corporation that lives in Des Moines; this is why they are concerned this is coming before them a third time; he mentioned a March 8 communication to the City and other dates; he added his wife asked for this information a week or week and half ago and just two days ago received those communications which is below standards of the City of Pella; so this is where we find ourselves a place full of emotion, accusation, fear, greed and anger, this is a toxic mix for this community, choose well, be gracious and most importantly seek justice stated Mr. Kermod.

Michael Robinson stated he is categorically against any change to the Comprehensive Plan. He mentioned this is a good comprehensive plan, a lot of hard work went into this. The consulting firm that helped did an excellent job; if this comprehensive plan was good approximately two years ago, it is still good today; a large corporation from outside the City of Pella wants to have its own way regardless of the citizens and he says no, not at all, you had an opportunity and others had an opportunity; this is like the 9th inning of a baseball game; Mr. Robinson asked respectfully that you reject any attempt to change the Comprehensive Plan. its good; there is no reason to change it; you approved it, you agreed with it; yes it is a living document; he also concurs with the gentleman from Des Moines, historical preservation, if anything it is time for Casey's to step back and withdraw their proposal; they say they want to be good neighbors, he does not consider this being a good neighbor; there is no way no matter how

many Dutch facades you have on that building it is still a convenience store, gas station; while it is commercial property across the street and prior to different ownership of five lots it was all residential property; he knows it was zoned mixed use but it was residential property; there is no way this is going to blend in to the neighborhood behind, directly west or south or library; this is an incorrect location for this facility; he encourages the Commission to stand their ground and not change the Comprehensive Plan.; to quote Sam Houston: do the right thing and forget the consequences, the right thing is not to change the Comprehensive Plan.

Jim Nieboer (514 Broadway) stated his property backs up to the proposed site plan. His home was built in 1855, one of the original structures in the City of Pella; he does not want to see his property devalued, it is on the historical tour during Tulip Time; the Comprehensive Plan spends quite a bit of time and verbiage talking about housing needs of the City; the zoning, yes it is zoned mixed use commercial, but this is the wrong kind of commercial development for this location; a better development would be more of a medium density change and if you are going to change the Plan at all, it should be geared toward encouraging housing development; so they would not be opposed to a multi-story residential structure similar to what Mill Farm Partners put out by Ulrich Motors and would encourage the Commission to consider those kinds of guidelines and the need for the City's housing stock to be more diversified.

Wally Pelds (Pelds Engineering Company) stated he has had conversations with RDG if nothing else to prove that they do their due diligence before they look at a site and look at zoning and the Comprehensive Plan; they would not have spent the amount of money to this if they had not been certain they could get this accomplished; what it came down to was the verbiage that it shall comply with the Comprehensive Plan; he consulted RDG and they said didn't you look at the note, the Comprehensive Plan actually states that the zoning that is place governs; and that he would argue we do not need even need a Comprehensive Plan; in the Future Land Use Map he would argue is a really small map; the gentleman he spoke to at RDG said it could be one pen thickness; some of those half blocks are not truly represented. In addition to that, it said it refers to the zoning; it is a guide, it shows low density, high density, a commercial corridor and even talks about the three Casey's removed and rebuilt; so he would make an argument that the Comprehensive Plan already supports what we are trying to do.

Leanne Krell (Casey's Assistant Counsel) stated this may be more appropriate to the site plan review and that type of situation she wanted to be sure that those statements are accurate on the record. First of all, she believes it was Mr. Kermode told that she declined to meet with the neighbors and was unsympathetic to his wife; at the last CDC meeting she spent over a half hour in the hallway and actually missed the meeting speaking with her and offered here's my card call me she would be happy to come down, she would drive down personally, if there is something we can talk about in their site plan that they can do to help alleviate

some of their concerns and the statement given to her is there is nothing you can do we, just don't want you here. Ms. Krell stated she responded she is still open to this; that continues to be her position to the neighbors if there is something she can do that adjusting the site plan that conforms to the requirements of the zoning and conforms to the requirements of the City let her know what that is and they will evaluate that; they intend to work as good neighbors and that was their intent from the beginning. There were also statements attributed to her that the previous plan that went to the variances on was the only safe plan that Casey's could do. The statements were true at that time; based on the input from the Board of Adjustment, based on the traffic engineers, based on the input from their engineer based on the input from City they came up with a Plan B. When they presented in front of Board of Adjustment there was not a Plan B. That was the plan they wanted. They were told no. So they went away and talked to all these consultants and they came up with a new plan. That's what they intend to do with the neighbors too if there are things that could be adjusted. She just wanted to be clear that the statements attributed to her were really not the statements she had made. Ms. Krell added if there are any questions they have of her she is more than willing to answer those.

Jody Mansueto (1304 Main Street) stated she would like to bring up one point in the slide show that said we can consider an amendment to the Comprehensive Plan when development priorities and conditions have changed; she asked have their priorities changed? Casey's decided that they wanted to do something different, to combine three stations in one, they chose a prime location for what they want to do, it happens to be in an area that does not comply with the Comprehensive Plan; she mentioned we might want to look up the word "comprehensive", the word means considers everything, to think zoning is going to trump that is kind of ridiculous; she would ask you really consider have our priorities changed as the City of Pella; she thinks it is obvious with the resounding opposition to this that the priorities have not changed, they want their downtown to be their downtown; she really does not want a Casey's as a centerpiece of downtown and that is exactly what you will have; it would be the largest development down there since the Molengracht. Ms. Mansueto added please do not allow this amendment, she thinks the Comprehensive Plan is adequate as stated; let's stick to it and let's use it at least until 2035 and then we can talk.

Brad Skinner, practicing attorney in Altoona, provided a letter to the Commission (attached). He stated he has been asked by Ms. Krell and by Casey's to provide an opinion; it is important to note that if you look at the conclusion of his opinion letter that the site plan meets all the requirements of the City of Pella. They are not talking about the Comprehensive Plan or Future Land Use Map, we are talking the Zoning Ordinance itself, the zoning map; it is important as you do go through the Comprehensive Plan and the Future Land Use Map that is a guide to set policy and make recommendations to City Council; it is not the law, the law is the Zoning ordinance and the Zoning Map itself. As you read through the Comprehensive Plan in his letter in regards to the Future Land Use Map the word

“fuzzy” is used in the Plan itself because it is a guide; there are a couple of Supreme Court cases from the State of Iowa; law versus a guide; the law trumps the guide; the Supreme Court has held in numerous cases that strict adherence to the Comprehensive Plan will cause problems as regard to utilization of the Comprehensive Plan of the Future Land Use Map on future cases; Mr. Skinner stated we are here tonight because Casey’s wants to put a store to south of where he is standing; obviously we have neighbors who are opposed to that however the opposition should come from the ordinance. If the City Council truly chose to prohibit such a use why did they not enforce the Comprehensive Plan and the Future Land Use Map in the form of an ordinance, they have not done that; their position is the site plan meets the law; it may not meet the Future Land Use map but that is not the law.

Dan Spotten (512 Liberty Street) stated his wife runs the north Casey’s ,the one the Rus brothers ran for years; he would like to remind everyone in town that they have some of the best Casey’s, drive around, we’ve got the best Casey’s pizza; the people that work at these Casey’s in town are very respectful and very good people; no matter what Casey’s corporate tries to do please remember these people are your neighbors, they’re your friends; don’t hate the core people. Truly the rule right now is Casey’s can build there, it is commercial use. He does not understand the Comprehensive Plan, it does not make any sense to him; it does not make any difference to him. Right now there is a law, the law says Casey’s can build there; they have jumped through every hoop the City has put in front of them. Give them the opportunity to build there, it is what the law says. Mr Spotten asked the question of the land owner, when did he purchase those properties to which Mr. Dennis Vander Beek responded approximately three years ago. So in 2001 this was zoned commercial. Three years ago he purchased it thinking it was commercial, now all of sudden he can’t sell as commercial properties. Does everybody remember what was on the property, those nasty old houses. He was nice of enough to take them down and finds a buyer for that property and they put together a beautiful building. This whole thing that Casey’s is a gas station, how many folk walk up town to get their pop, cigarettes, coffee and donuts; its not just a gas station, Casey’s is providing a service to downtown. We used to have a grocery store downtown. When he first moved to town in 1979 there was a push to get rid of bars uptown; now there is a bar uptown; we can let a bar uptown but cannot let Casey’s expand and Casey’s comes in; we have a property, we jumped through all your hoops, we want to build the store and somebody still says no; the law is the law, the law says they can build. They met all the requirements.

Eunice Folkerts mentioned she has two stories: the first story it was her former husband Stu Kuyper that designed the north Casey’s store and they had a wonderful relationship with the Rus brothers and after Stu died she got a call from John Rus who said your husband promised me a Dutch mailbox, if she was Stu she would get a stone mailbox like they have in the Netherlands and put in in which they did. She thinks of the five Casey’s stores in the community and they

are precious, they serve wonderful needs just like this gentleman was saying. Second story: years and years ago she met this gentleman while serving on the Sprint car hall of fame foundation in Knoxville; she has been here 57 years and this is where her heart is, and she was in the restaurant business at the time, he said Eunice if you were going to serve pizza at Strawtown what kind of ingredients would you use. She said she would use Contadina tomato products, who could make a crust that tastes freshly baked and real cheese. He said well we are thinking about doing that at Casey's. She said it is some of the best pizza. She has nothing against Casey's, she shops at Casey's and buys her Powerball tickets at Casey's but she does not want a huge mega Casey's in a residential area in the center of town, let's have our nice five little Casey's that serve us so well they're neighborhood Casey's, that is what a small town is all about. Ms. Folkerts stated so please Casey's be gracious, use your good judgement, say thank you very much but no thanks; we'll go with what we have.

Joan Haman (707 Union Street) stated Casey's will be her backyard. She is very concerned about what Casey's will mean to her house, her family. She feels she will not even be able to open her windows due to all the pollution, the smell of gas coming into her house; she feels this will be a very serious health risk to them. They will have to breathe this every single day, 24 hours a day, 7 days a week. She does not feel she will be able to sit in her backyard anymore. She will have to listen to cars honk and idle and going in and out of a driveway; this is a nice peaceful neighborhood right now. Once and while they have to listen to a bar person walk by. Ms. Haman stated she feels this will be very disruptive to their community and will affect the value of her house. Her house is represented by the Historical Society, they gave her a plaque on her house. She just feels that the property values will not increase, any of these houses will not gain in property value; they will all decrease. It's just very hard for her to see this area of town go downhill. She feels that many downtowns feel honored and blessed with people wanting to live downtown. There are towns that are trying to rejuvenate their downtowns, they want people to live there; and that is why they live there; they like to participate in what Pella has to offer. She is very concerned about this being in their backyard.

Renee Bastas (706 Independence) stated all the points that were just made, she will triple that exactly; we they came here 28 years, they bought the house because of the historical value of the house; her husband and her worked on the house and this will destroy everything.

Wayne Stienstra (1019 Park Lane) mentioned he owns property at 615 Main right across the street from here on the National Register of Historic Places. About three years ago City Council gave the go ahead to pursue a historic district in that neighborhood; where the Casey's is going to be located is at the eastern edge of the district. It is in the process, Will Page has been working on that. At the time there were a whole row of intact turn of the century homes, yes they needed work, but having a historic designation would have provided funds for rehab on these

buildings; one by one those buildings disappeared. There was no plan, there was no accountability for taking those down; he does not know at what point Casey's got involved, but three of those properties were taken down without any abatement of asbestos. These turn of the century homes had boilers with asbestos, piping with asbestos, and this is kind of the consideration that the neighborhood is going to be given. Mr. Stienstra stated he thinks there needs to be some sort of investigation, it was not done properly. He thinks it is doing a disservice to the neighborhood (Mr. Stienstra provided a thumb drive to the Commission).

Bruce Terlouw (822 197th Place) stated he was before them about fifteen years ago. He went through a similar situation where they put a structure next to his existing house. He was very opposed to it and very emotional about it. He worked with the people that did it. To be honest it turn out very well. He has heard a lot of emotions on both sides of it. He wished people could talk more and get along more. He added he does not look at Casey's as a big corporate entity because he is very good friends with one of the managers that lives in Pella, Iowa. If he looks at the architecture he's seen tonight the library never should have been built because that's totally out of context with the housing around it; they tore down a church that fit the neighborhood and built a library, looks very nice by the way. People talk it out and work it because there are a lot of things you can do to protect the neighborhood. Aesthetically the design he seen tonight would look beautiful.

John Webber recommended to the Commission that before they close the public hearing they formally accept the written comments that have been submitted so they are part of the record.

Mike Vander Molen made a motion to accept the comments (see attached). David Landon seconded the motion. Upon vote, all voted yes. Motion carried 10 to 0.

Dan Manning asked that the information they provided to the Commission is also made part of the record as well as the Zoning Ordinance and the Comprehensive Plan.

Mr. Webber stated he believes the Zoning Ordinance and Comprehensive Plan are already in the public record but certainly there is no harm in accepting those along with the materials from Casey's.

Bob Smith made a motion to accept just Casey's materials (see attached). Craig Agan seconded the motion. Upon vote, all voted yes. Motion carried 10 to 0.

The public hearing was closed.

- 4) Comprehensive Plan Amendment to the Future Land Use Map Concerning Proposed Site Plan for Casey's.

Mr. Agan asked for explanation whether there is approval or denial by the Planning and Zoning Commission will this go to the City Council either way.

Mr. Webber responded in the affirmative that their job is to receive public input and then under their ordinance to make a recommendation to the City Council for the City Council to make the final decision.

Mr. Agan stated to be very frank this is a City Council decision, people have the right to have the decision made by persons elected rather than appointed.

Mr. Smith commented that the Commission can only make a recommendation; 165.47 of the Zoning Regulations say no substantial amendment or modification to the Comprehensive Plan shall be made without first being referred to the Commission, he disagreed it needed to happen; the Council will get the opportunity.

Cathy Haustein stated her understanding that Casey's wishes the Commission to deny the amendment.

Mr. Danks responded that we need to listen to what Mr. Nardini stated; Casey's has stance we want to talk about site plans; City has another stance that we need to look at the Comprehensive Plan and that puts us in a position where they need to take a form of action. He asked what is the Comprehensive Plan amendment?

Bob Smith stated his recollection is that it would be a change to page 24, to change the subject property to a different color.

Mr. Nardini responded traditionally it has been an amendment to the Future Land Use Map and that designation would change from low density residential.

Mr. Smith added is at a loss if they were going to do it why only change one out of 136 pages; the record is replete with everybody's cherry picked pieces; he does not get it; he does not think we need to do it; his personal opinion is this is not a rezoning; they have a site plan that is undeniably in compliance.

Mr. Nardini suggested that no. 2 option for action is Comprehensive Plan amendment with modification.

Mike Vander Molen asked regardless of what action is taken on the Comprehensive Plan they can still approve, deny or table the site plan correct?

John Webber responded in the affirmative, two separate matters.

David Landon mentioned that he has sat on the Commission for ten years and he participated in two steering committees on the revisions to the Comprehensive Plan; what he has observed in the only true opportunity for the public, for the

citizens of Pella, for the businesses in Pella for the community to influence the growth and development of the community is through participation in the updates or revisions of the Comprehensive Plan; we go to great extent to include the community in that process; we just recently did that in 2014; it is interesting that nobody brought up tonight that in the previous Comprehensive Plan that this piece of property in the previous edition was commercial mixed use land use, but during the public process of the Comprehensive Plan the community of Pella intentionally changed this piece of property to low use residential; that didn't happen by mistake, it happened intentionally; he stated he will go a little further and passed out a handout to his fellow Commission members (see attached). He wrote down his thoughts to logically think through this process. Mr. Landon read through his thoughts; over the last couple of days he reviewed the minutes of every meeting he has had since 2012 and this is the first site plan that as a Commission member we have been informed that must conform to both the current zoning and the Comprehensive Plan; they have had instances of rezoning and have utilized the process for determining and in every case they have utilized the process to determine if the rezoning conforms to the Comprehensive Plan; in those cases they determined conformance by using the Future Land Use Map and land use categories and characteristics table; they have used it ever since he has been on the Commission; they have approved rezoning applications using that process; likewise they have denied rezoning applications when they do not conform to the Comprehensive Plan using the aforementioned process; and they have approved rezoning applications where they don't currently conform contingent on amending the Future Land Use Map to bring the rezoning and the Map into agreement as long as that rezoning does not constitute spot zoning; never once in his ten years on the Commission has a rezoning ever been approved or denied because the Comprehensive Plan was a guide, had fuzzy lines, or was aspirational. In fact, during the October 24, 2011 meeting the Planning Commission was asked to rezone a parcel from Agricultural to Light Manufacturing. The Future Land Use Map at that time targeted the area to be rezoned Business Park/Light Industrial thus being consistent with the Comprehensive Plan. When consistory members from the adjacent land owner, a church organization, spoke at a public hearing with concerns of rezoning the Commission stated the Comprehensive Plan had public hearings so there was lot of opportunities to participate; he is concerned of the apparent disingenuous of upholding the Future Land Use Map when it supports a decision the Commission wants to make and discounting the Future Land Use Map when it conflicts with the decision they want to make; the Commission was told at their February 22 meeting of 2016, that the City of Pella Code that a site plan conforms to both the current zoning and the Comprehensive Plan, that's the law; he is not sure it is new law, previously ignored requirement an oversight or this is the first time the condition has existed, however the Code is clear; for the past ten years that he has been a member this Commission has used the process; the process is to use the Future Land Use Map Land Categories and Characteristics Table; using the process the Commission has used the last ten years in his opinion the site plan does not conform to the Comprehensive Plan.

Bob Smith mentioned one other thing, on page 95 of our Comprehensive Plan under Code revisions; some of the recommendations of this Plan may require changes to the zoning and subdivision codes; as part of the Comprehensive Plan process the project consultants provided staff with a memo listing potential changes to the zoning code and subdivision ordinances that would help remove any unnecessary impediments to the development and implementation of this plan; nowhere were any of the inconsistencies regarding this subject property or other properties listed; all listed were a couple of ticky-tack comments and that kind of stuff; you would think that if we had to do something that it would have been brought up; the reason it isn't there is because nobody contemplated you would equate a Future Land Use Map with a zoning regulation; where you put hyper focus on it, where you tell the person whose rights are about to be changed and people within 300 feet; that has not happened with respect to the Future Land Use Map; Mr. Smith added he can see them in conformance because frankly they were never intended to be the same; he is still at a loss why they need to do anything with respect to the Comprehensive Plan.

Mr. Landon stated there could be another explanation what it could not show up on the memo; that is an oversight or neglect of the consultants.

Mike Vander Molen stated to him you need to read the zoning ordinance and Comprehensive Plan together and the Comprehensive Plan is meant as a guide for future use; the zoning ordinance is now; we have a site plan before us much different in nature and character than a rezoning request; we approved the Comprehensive Plan in 2014 and if he would have known they were approving a land use map that was taking away property owner rights, he never would have approved that document. That was not his understanding. He agrees with Mr. Smith that the zoning ordinance needs to be given full deference here.

Cathy Haustein stated is one way the Comprehensive Plan and the zoning could match would be if there was commercial housing there right. She thinks the zoning is still commercial, if it was rentals wouldn't still be considered commercial. Is that what we were going for when they did the Plan and didn't change the zoning? If you just changed it to single family you could not have apartments there, maybe it was not an oversight.

Teri Vos stated in addition to what David Landon just spoke to, that is the ten year precedent that has been set on this board; that is what they have been doing and to add to that when you set a precedent; if you change the precedent, you are going to have people lining up asking why we didn't handle their situation the same; alongside the zoning ordinance; so this document was more than just a guide; those that participated they all heard more than once it is more than a guide; Ms. Vos pointed to page 90 of the Comprehensive Plan where it says in bold face the primary criteria for approval of an amendment to the Comprehensive Plan should be whether it complies with the spirit of the goals on

page 9 and the principles of land and development on page 13-15; she hopes everyone has read those pages because what you see this is about neighborhoods, biking and walking, quality of life, public safety, housing options, infill development. Do the math and this document will show you by the pages it references that if we are to make an amendment we must look at those pages, and those pages do not allow us to make an amendment change for Casey's tonight.

Jim Danks he stated he thinks we have two points, what Ms. Vos is saying is the case, on the opposite side, in a court of law, the zoning code should rule; a Comprehensive Plan is subject to change; when they did two nights ago to modify the Comprehensive Plan; we have two different points that makes it very difficult for the Commission to be consistent and to protect the owners of the properties as well as the neighbors.

Ann Visser asked can it rule without the Comprehensive Plan? She thinks they have documentation that it has to go hand in hand. Is the land use map a part of the Comprehensive Plan, who determines?

Mr. Landon stated there is a current land use map that is reflection of the current zoning.

Mr. Landon made a motion to recommend to City Council to deny the proposed Comprehensive Plan amendment. Robin Pfalzgraf seconded the motion.

Bob Smith asked for clarification on what a yes vote means.

Mr. Webber responded a yes vote would be to recommend to the City Council that the proposed amendment to the Comprehensive Plan to change the classification of the one particular parcel would not be approved. A vote in support of the motion says leave it alone, make no changes.

There was discussion on the motion.

Upon vote, Landon, Pfalzgraf, Agan, Haustein, Visser, Vos voted yes. Danks, Smith, Vander Molen, Van Vark voted no. Motion carried 6 to 4.

- 5) Site Plan Reconsideration for Casey's Marketing Company.
Dan Manning addressed the Commission on the site plan and stated they are asking that the site plan technically on February 22, 2016 no action was taken, that the Planning and Zoning Commission consider the site plan; the request for the site plan must conform to the existing zoning and the comprehensive plan. He mentioned they have submitted to the Commission in the packet they have provided with the information from their perspective that says they do in fact comply with the Comprehensive Plan, they do comply with the Zoning Ordinance and the Zoning Map. Obviously we have here tonight their engineer Wally Pelds who spoke earlier, Amy Costello and Leanne Krell representing Casey's, his

partner Joel Templeman, the property owners. As Mr. Landon pointed out in the previous item the Zoning Ordinance specifically states that in reviewing a site plan that you conform to the Comprehensive Plan not the Future Land Use Map. He did not call it a fuzzy map, that language is in the Comprehensive Plan. That was presented to you by RDG. That language is part of the Plan the Commission adopted. He stated what he is submitting to the Commission is that you must look through your Comprehensive Plan; when they established this corridor and determined CUC zoning was appropriate, they don't just talk about Main Street, they talk about Washington Street; pages 63 and 64 of the packet of information provided to the Commission they want to emphasize you don't just look at the Future Land Use Map to determine whether a particular site is in conformance with the Comprehensive Plan, you have to look at how the two documents interact with one other; as you walk through the Zoning Ordinance, you are talking about an urban entry corridor five block area from Pella Windows facility to the Central Business District; that whole area is zoned CUC; go to page 67 Main Street is part of the Gateway Corridor District and there is anticipation of conversions; as you go along, you will see numerous commercial enterprises; you will see numerous homes that have been converted to commercial use; that runs all the way along from Union Street down to Huber Street in that corridor, that was designated back in 2001 and that is what you see and in essence essentially what is happening; he stated he would also suggest nowhere in the Comprehensive Plan is there a discussion about Main Street being utilized for single family residential uses; what you have is the Future Land Use Map, one page document, page 24 of a hundred page or so document colored in yellow; he added he does not mean to quibble with anyone about the size of the map or what is intended but he does think it is fair for a property owner and anyone who wants to develop the property be able to look at the Comprehensive Plan and not be stuck, wait what does page 49 say; he stated he thinks it is important to go to page 30 of the Comprehensive Plan because that is the land use categories and characteristics matrix that Mr. Landon referred to in terms of what you are to rely upon; that's found in exhibit D page 21 of the packet they provided; page 30 of the Comprehensive Plan; when you make the determination that the zoning in this area is for CUC mixed use zoning you then go to the land use categories and characteristics and in that you see: what do we have here Main Street which is a major arterial street, uses that provide for daily convenience shopping and service needs of nearby residents, that is what a property owner has a right to anticipate, to see when they see and buy, that's what a developer is entitled to see, so every case is not a surprise in terms of the land they buy and how they can utilize it, so we know what is intended; the Comprehensive Plan was put together in 2014. Mr. Manning stated what they are saying is your own language clearly spells out that is what is anticipated and when there is ever a conflict, the Future Land Use page 24, when that happens you defer to the Zoning Map; it says it specifically, they call it a fuzzy map, and so from their perspective what is being analyzed there and anticipated there is not single family residential uses; it is commercial uses, and commercial uses that are authorized as a matter right under the Zoning Ordinance; he also pointed out back on February 22, as they looked at the minutes of that

meeting, there was confusion on one legal opinion different than another concerning how the Comprehensive Plan and Zoning Map interact; he stated they have an affidavit from the attorney that said he was asked questions but never gave a legal opinion; we are trying to walk through with the Commission and be clear that they really do work well together and the only difference is the map and when the map that's what the expressed language of the Comprehensive Plan says, that's how you interpret it.

Mr. Landon asked Mr. Manning can you explain Figure 2.4 as not being very specific in conjunction with the Future Land Use Map as to the intent of what this Comprehensive Plan is proposing for this piece of property;

Mr. Manning responded as this reads it is a suggestion, he is not going to argue.

Mr. Landon questioned if it has fuzzy lines or is unclear. Mr. Manning responded this is not single family residential but it is consistent with what's on page 30 of the Comprehensive Plan. It doesn't say, it lays out that retail uses are authorized in this area and this is a retail use with their site plan; take a look at page 30 of Comprehensive Plan, land use categories and characteristics and mixed use;

Mr. Landon and Mr. Manning further discussed the Future Land Use Map of the Comprehensive Plan and also the term fuzzy.

Mr. Manning stated anytime you have by your own adopted Plan you have a conflict you defer to the Zoning Map that is what the Plan says; taking that directly from the book itself: page 24 and page 90; both of those pages specifically say when you have a conflict, page 22 of the Comprehensive Plan, they specifically make the reference that the boundaries between land uses on the map are fuzzy lines and meant to show approximate areas rather than rigid boundaries; it does not have the specificity or the rigidity of an engineering map or zoning document; page 90 repeats that same language; from their perspective when all there is to go on is the Future Land Use Map, when everything else they refer to the maps show this a commercial corridor, all those things consistent with what the zoning map says; when they have the one thing there is an explanation in their own document in how to react; when you have that situation you defer to the zoning map because it is more detailed; he does not mean to argue but that is the perspective of Casey's.

Cathy Haustein asked where they were getting the term single family residential.

Mr. Manning responded what they are proposing is a commercial use for the location, the only time they see there is a reference for this particular corridor is if you look to the Future Land Use Map that is yellow.

Mr. Haustein questioned on page 30 mixed use can include a range of uses, the question of low impact commercial uses, does anyone have a definition.

Mr. Manning responded the next sentence says provides for daily convenience shopping and service needs of nearby residents. The third column talks about the type of zoning, one of the authorized uses.

Ms. Haustein questioned in 2001 when this was zoned was there a different definition of a convenience store?

Mr. Danks responded he does not believe the definition has changed. They are still working with RDG and does not think RDG has changed their definitions.

Ms. Haustein mentioned she has seen this called a mega store and someone called it a hyper station and questioned the size of the store as far as fitting the zoning. She asked for an example.

Wally Pelds respond it is a little over 4,600 square feet as a footprint on the ground; about the size of the one at the first exit (Westpoort), about the same size in footprint.

There was discussion about the convenience store size. Mike Vander Molen asked if this was typical size?

Mr. Pelds responded they never have built one like this architecturally, complete redesign; the number of pumps is very standard based on usage and amount of traffic.

Ms. Haustein asked so they are anticipating a lot of traffic by the twelve pumps?

Mr. Pelds responded no more so than is being generated by the three stores they are replacing.

Mr. Landon questioned twelve pumps in the center of town but only eight on the four lane highway and they are sized by traffic?

Mr. Pelds responded that one was acquisition; he added he wanted to state one more thing they have done this in numerous locations; comprehensive plan guides; rezoning is very rigid; this is the exact boundary; so his discussions with RDG there is flexibility in that plan; one is rigid which is the Zoning Ordinance, the Comprehensive Plan that helps guide when you are making a zoning change; when they have gone to a location where there is a zoning change it is very rigid; on the Comprehensive Plan future land use there is no legal description; one is a little more forgiving, the other one is rigid.

Mr. Landon asked why then did the City of Pella intentionally changed the future land use map from CUC to low density residential in this particular property?

Mr. Pelds stated he discussed with RDG why did you not put multi family, that was an example, they had more discussions why the conflict, it is because the Comprehensive Plan is a guide.

Mr. Landon reiterated it intentionally changed on purpose. The community's intention was to change it.

Mr. Pelds respond it is kind of a chicken and egg. The zoning is what governs. If we chose to change the Comprehensive Plan to light industrial on your property, that is not going to change the zoning of your property. It is a guide; it is not in stone that we are going to tear your house and put something industrial there; the Comprehensive Plan guides you when you are looking at a zoning change specifically to prevent exactly what Mr. Landon said spot zoning.

Mr. Landon maintained it was the community's intention.

Mr. Danks stated the zoning ordinance still runs.

Ms. Haustein questioned can anyone tell her the definition of light use commercial.

George Wesselhoft read from the Zoning Ordinance the definition of Convenience Food Sales— establishments occupying facilities of less than 10,000 square feet; and characterized by sales of specialty foods or a limited variety of general items, and by the sales of fuel for motor vehicles.

There was discussion about the term light use commercial and the staff review of the site plan. Ann Visser stated she thinks Ms. Haustein's question is can someone clarify what that zoning is.

John Webber responded the issue is in the Zoning Ordinance this is a permitted use, it specifically authorizes this type of a business. The term Ms. Haustein is referring to talking about the light use commercial property that is a term that is referenced in the Comprehensive Plan. Not everything that is referenced in the Comprehensive Plan is necessarily defined in the Zoning Ordinance. He added the Comprehensive Plan gives you a description of the characteristics, all of these guiding principles. The ordinance requires that the development is in accordance with both the zoning ordinance and the Comprehensive Plan. You need to use common sense in making the factual determinations; you can go ask twenty people what a light use commercial use and you probably going to get fifteen different definitions; you are going to have to use on your own basis factually speaking do I believe this is an appropriate use within the Comprehensive Plan; you have heard the position that Casey's has expressed and that is their position and now the question is when you make your own determination do you share that belief or not, and you are the decision makers, you get to make those decisions using your Plan as a guideline. The ordinance says it has to be in accordance with

the comprehensive plan. His opinion is neither one trumps the other. You cannot ignore the zoning ordinance, you cannot ignore the comprehensive plan. How much weight you give each one is a factual decision that you need to make.

Bob Smith stated you commented with respect to the idea of the site plan conforming to the zoning ordinance and comprehensive plan; 165.36 (3)(F) - everyone ignores the first sentence The Planning and Zoning Commission will review and approve the site plan based on the criteria established in Table 165.36/37-1 and conformance to the applicable regulations in this Zoning Ordinance. In making that decision they are to make a finding before approval, the finding is the three things and the last one is the site plan conform. In the first sentence we are not to consider that, it is not there.

Mr. Webber responded there position is you have to read the entire code section, read it in its entirety.

Mr. Landon added it has to be in conformance with both.

Mr. Webber stated you have to make a determination that it is in conformance with both; that's a fact question they have to make, different people may have different views.

Mr. Manning summarized Casey's position is that the site plan does conform with both the zoning ordinance and the comprehensive plan and that the only legal opinion that you have received concerning this matter is from your legal counsel and Mr. Skinner supporting the notion is that the zoning is the law as it exists today, the Comprehensive Plan is a guide, and from their perspective when there is a conflict when that one aspect Future Land Use Map it is very clear, you refer to the Zoning Map not the Comprehensive Plan; you need to read the entire Comprehensive Plan at page 49, 30, 22.; throughout there is reference this corridor for commercial uses that has been the anticipation; finally they came upon this site in February of 2015 and have been working with the staff and throughout the City staff review, it wasn't until the eve of the February 22 hearing there was ever dispute about this; they believe the legal opinions they provided are consistent with the fact that this does comply and their site plan should be approved.

Mike Moreland clarified for the record that Mr. Skinner's legal opinion was provided to Casey's and not to the City.

Mr. Manning stated they agree that is what it was intended for and asked that all the information provided it be part of this presentation as well.

Mike Nardini reviewed the action options. There was discussion about the different options in so far as action.

David Landon made a motion to deny the proposed site plan on the basis that he does not believe it complies with the Comprehensive Plan. Cathy Haustein seconded the motion. There was discussion on the motion. Upon vote, Landon, Haustein, Pfalzgraf, Visser and Vos voted yes. Agan, Danks, Smith, Vander Molen and Van Vark voted no. Motion failed 5 to 5.

Mr. Danks questioned if all eligible people voted. Robin Pfalzgraf stated her position. She thought this was important enough for her to cast a vote. One of those she has not seen in writing but was an attorney.

Mr. Moreland stated just so the record was clear Ms. Pfalzgraf was advised of a conflict of interest based on upon her stated public position against the project.

Ms. Pfalzgraf responded months ago she signed the petition before she was on the board.

Mr. Landon stated for clarification that was for a different site plan.

Mike Vander Molen made a motion to approve with conditional approval of the site plan per option 1 that the City staff would not issue a building permit until the Comprehensive Plan amendment is approved by City Council. Craig Agan seconded the motion. There was discussion on the motion. Upon vote, Vander Molen, Agan, Danks, Smith, Van Vark voted yes. Haustein, Landon, Pfalzgraf, Visser, Vos voted no. Motion failed 5 to 5.

Mr. Webber mentioned there will be a report to City Council on the proposed amendment of the Comprehensive Plan. There is no action to approve to deny on the site plan unless the Commission believes they can resolve those issues this evening there is probably is not a reason to continue. There was discussion about the action taken. Mr. Webber stated the recommended denial will be in front of City Council.

- 6) Other Business. Mr. Vander Molen requested that the Commission not reply to City staff as reply all as there are issues as far as public meeting requirements, reply to staff and not reply to the entire Commission.

Mr Manning stated they are where they were at February 22; one suggestion would be a straight up or down to approve, would that put us at 5 to 5 again. Mr. Danks responded the Council will take action.

- 7) The meeting was adjourned at 10:00 p.m.

Respectfully submitted,
George Wesselhoft
Planning and Zoning Director

Planning and Zoning Commission
Regular Meeting
April 25, 2016

- 1) The meeting was called to order at 7:00 p.m.
- 2) Roll Call.
Present: Craig Agan, Jim Danks, Cathy Haustein, David Landon, Robin Pfalzgraf, Mike Vander Molen, Gary Van Vark, Ann Visser, Teri Vos.
Absent: Bob Smith, Ervin Van Wyk.

Others Present: Nick Fanning, Vern Cochran, Dan Vander Beek, Dennis Vander Beek, Joyce Vander Beek, Brad Uitermarkt, Erin Van Roekel, Doug Van Zee, Cole Foster, Tyler Alessio, Taylor Wisecys, Jordan Fox, Larry J Peterson, Mark De Jong, Yaqoob Ahmad, Kyle Pepper, Mike Nardini, George Wesselhoft.

- 3) Approval of Minutes
 - a) March 28, 2016 Regular Meeting. The minutes were approved as submitted.
- 4) Site Plan Review Process. City Administrator Mike Nardini gave a slide presentation with an overview of proposed site plan process:

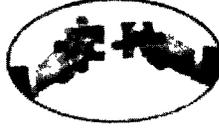


Site Plan Review Process

- Staff would like to discuss with the Planning and Zoning Commission the proposed process we intend to utilize for the review of site plans when there is a discrepancy in identified land uses between the City's zoning ordinance and comprehensive plan.
- As background, site plans are required for new commercial, industrial, and institutional buildings or building additions which exceed 2,000 square feet.
- In addition, site plans are also required for these same entities if they hard surface over 2,000 square feet on an existing lot.
- It is also important to note, before a site plan can be approved, it must conform to both the City's zoning ordinance and the comprehensive plan.

No. 4

Zoning Ordinance and the Comprehensive Plan



- The City's zoning ordinance and comprehensive plan are intended to work together to establish orderly land use in our community.
- Listed below is Section 165.03 of the City's zoning code which is intended to address the purpose of the City's zoning ordinance:

- **Purpose**
1. Serve the public health, safety and general welfare of the City and its jurisdiction.
 2. Classify property in a manner that reflects its suitability for specific uses.
 3. Provide for sound, attractive development within the City and its jurisdiction
 4. Encourage compatibility of adjacent land uses.
 5. Protect environmentally sensitive areas.
 6. Further the objectives of the Comprehensive Development Plan of the City of Pella.

Zoning Ordinance and the Comp Plan (continued)

- Furthermore, Section 165.04 (as shown below) of the City's zoning ordinance requires consistency with the Comprehensive Plan.

- The City of Pella intends that this Zoning Ordinance and any amendments to it shall be consistent with the City's Comprehensive Plan
- It is the City's intent to amend this chapter whenever such action is deemed necessary to keep regulatory provisions in conformance with the Comprehensive Plan.

Comprehensive Plan

- The Iowa State Code requires zoning regulations to be made in accordance with a comprehensive plan.
- Staff believes the goal of the state's comprehensive plan requirements is to prevent piecemeal and haphazard development
- In addition, staff also believes the intent of the state regulations is to encourage local jurisdictions to act rationally rather than arbitrarily in making zoning decisions.
- Overall, the City's comprehensive plan is a policy document that is intended to guide city zoning and development decisions through the year 2035
- The current plan was adopted in 2014.



Zoning Code

- While the comprehensive plan is a policy document intended to guide zoning decisions, the zoning ordinance is the city's legal basis to enforce land use decisions.
- As a matter of principle, the city's zoning ordinance is intended to reflect the policies stated in the comprehensive plan.
- Therefore, the city's zoning ordinance is also the primary mechanism used to implement the comprehensive plan.

7

Differences in Land Uses between the City's Zoning Ordinance and the Comprehensive Plan

- The City's zoning ordinance and comprehensive plan are intended to work together to promote orderly development and avoid incompatible land uses.
- However, recently the City has encountered instances in our site plan review process where a use is allowable under the City's zoning code, but the Future Use Land Map of the comprehensive plan identifies a different use.
- When land use differences arise between the zoning ordinance and our comprehensive plan, staff believes it is important to perform a thorough review of the reasons for the differences in land uses between the two documents.

8

Differences in Land Uses (continued)

- The reason for this approach is the differences could be an indication of incompatible land uses associated with the proposed development.
- As a result, staff intends to take a very conservative and systematic approach in addressing the root causes for the differences in land uses between the documents.
- Listed below is the proposed process staff intends to utilize in addressing land use differences between the zoning ordinance and comprehensive plan.



Step 1

Determine if there is a potential for incompatible land uses associated with the proposed development.

- One of the primary goals of the zoning ordinance and comprehensive plan is the protection of property values by separating incompatible land uses.
- In determining if there is potential for a significant land use conflict between the proposed development and the adjacent properties, staff plans to use a variety of methods.

Step 1 (continued)

- **A. Land Use Compatibility Matrix** – The Land Use Compatibility Matrix in the comprehensive plan is a tool to identify potential incompatible land uses.

	Office	Professional Office	Business Office	Community Office							
Office	1	1	1	1	1	1	1	1	1	1	1
Professional Office	1	1	1	1	1	1	1	1	1	1	1
Business Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1
Community Office	1	1	1	1	1	1	1	1	1	1	1

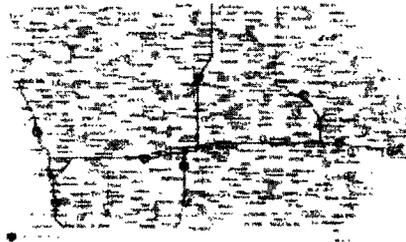
Step 1 (continued)

- **B. Proximity between the proposed development and adjacent property owners** - Staff will review the distance between the proposed development and the adjacent property owners of different use types.
 - As a general rule, the potential for an incompatible land use increases the closer the proposed development is to properties with a different use type
- **C. Review of Industry Planning Documents** - Industry planning documents may provide guidance on potential incompatible land uses

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Step 1 (continued)

- **D. Review zoning ordinance of other communities** - To verify potential land use conflicts, staff may contact other cities in Iowa.
 - Generally speaking, land use conflicts associated with a proposed development may not be unique to the City of Pella.
 - Therefore, there is value in contacting other cities to see how their zoning ordinance would regulate the proposed development.



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Step 1 (continued)

- **E. Consideration of recent actions from the Planning and Zoning Commission and the Pella City Council** - Staff will consider recent actions from the Planning and Zoning Commission and City Council in determining potential land use conflicts.
 - For instance, if the Pella City Council recently approved a rezoning for a property and the proposed development is consistent with what was stated during the rezoning process, then it is likely staff will conclude the land use compatibility issues were addressed through the rezoning process.
 - The reason for this position is the notifications to neighboring property owners and the opportunity for extensive public input that is associated with the rezoning process.

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Step 2

Analyze the proposed development in the context of the main goals of the comprehensive plan

- In determining conformance with the City's Comprehensive Plan, it is very important to consider the Priority Goals as stated in the City's Comprehensive Plan. The Priority Goals are as follows:

Priority Goal 1: Economic Strength: Continue to foster an economic environment that supports and attracts quality business, industry and tourism.

Priority Goal 3: Infrastructure: Maintain quality infrastructure for our community

Priority Goal 4: Quality of Life: Continue to support a high quality of life for Pella's residents by investing in parks, recreation, and schools.

Priority Goal 5: Housing Options: Provide a range of housing types at a variety of prices, to accommodate workers and residents at all stages of life.



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Step 3

Staff recommendation

- The Pella City Code requires site plans to conform to both the zoning ordinance and comprehensive plan.
- In addition, before a site plan can be considered by the Planning and Zoning Commission, the site must be zoned for the intended use.
- Therefore, the key issue at hand is determining conformance with the City's comprehensive plan when the Future Use Land Map identifies a different use than the proposed development

16

Step 3

Staff recommendation (continued)

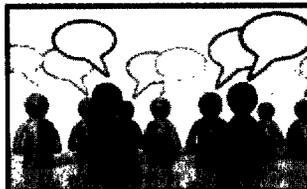
- Under this scenario, staff will likely recommend to the Planning and Zoning Commission the proposed development is in accordance with the City's Comprehensive plan if the following conditions are met.
 - There does not appear to be any significant incompatible land uses associated with the proposed development.
 - The proposed development does not appear to be contrary to any of the Comprehensive Plan's Priority Goals

17

Step 3

Staff recommendation (continued)

- Likewise, if staff believes there is a reasonable possibility the proposed development may cause a significant land use conflict with adjacent properties or if the proposed development appears to be contrary to any of the comprehensive plan's priority goals, then a range of options could be proposed to the Planning and Zoning Commission.
- Generally, these options will be intended to facilitate public input and ultimate consideration by the Pella City Council.
- The reason for this approach is when there is a potential for a significant land use conflict associated with the proposed development, there could be competing interest between property owners.



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Step 3

Staff recommendation (continued)

- As a result, any decision made regarding the proposed development could have policy implications.
- Therefore, under this scenario staff believes public input should be encouraged and the decision should ultimately be made by the Pella City Council.
- Listed below is a summary of the options proposed to the Planning and Zoning Commission when a proposed development appears to have a significant land use conflict with its adjacent property owners or when the development appears to be in conflict with any priority goals of the City's comprehensive plan:

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Step 3

Staff recommendation (continued)

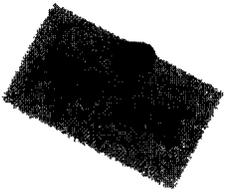
- **1. Conditional Approval of the Site Plan:** The conditional approval recommended by staff would require an amendment of the City's Comprehensive Plan to align the proposed development with the Future Use Land Map of the comprehensive plan.
 - It is important to note, amending the City's Comprehensive Plan would require public hearings and approval by the Pella City Council.
 - This approach would also provide the neighboring properties an opportunity to voice any concerns to the Pella City Council before the site plan was approved

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Step 3

Staff recommendation (continued)

- **2. Potential Zoning Recommendations:** To address potential land use compatibility issues associated with the proposed development, staff may recommend the following:
 - 1) potential zoning amendments and/or
 - 2) a planned unit development for the Planning and Zoning Commission to consider.
- It is important to note, zoning amendments and planned unit developments would require public hearings and approval by the Pella City Council



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Summary

- In summary, when a proposed development is allowable under the City's zoning ordinance but the use type does not match the Future Use Land Map of the City's comprehensive plan, staff plans to take a cautious and deliberate approach in reviewing these cases.
- In addition, staff would like to mention these cases are difficult to analyze.
- When there appears to be a significant land use conflict associated with a proposed site plan, staff believes our process should facilitate public input while striving to meet the intent of the City's zoning ordinance and comprehensive plan.



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There was discussion about the site plan review process presented by Mr. Nardini.

Teri Vos left at 7:26 p.m.

Jim Danks thanked Mr. Nardini and suggested it may help to know the zoning around where we work, play and live and what that means.

- 5) Site Plan for Missouri River Energy Services. George Wesselhoft reviewed the staff report: Missouri River Energy Services is proposing a 6,000 square foot one story warehouse building for the property located at the southwest corner of 198th Place and 216th Place. This property is located in the Marion County extraterritorial zoning jurisdiction and is zoned M1 Limited/Light Industrial. The property is also in the Flood Zone Overlay District. The Flood Plain Development Permit for this project has been approved by the IDNR. In the fall

of 2015, the City Council approved a conditional rezoning for the property from A1 Agricultural to M1 Limited/Light Industrial. The condition for the property allows it to be used for indoor storage only. The Future Use Land map of the Comprehensive Plan identifies the area as Preserve. Chapter 165.36 (3) (F) requires the Planning and Zoning Commission to make findings before approval of the site plan including Zoning and Comprehensive Plan conformance. Staff believes the site plan is in conformance with the zoning and comprehensive plan. The IDNR has issued the flood plain development permit, no issues were identified during the public hearings for the rezoning, no land use compatibility issues were identified, and the development does not appear contrary to any of the goals of the Plan. Therefore, the primary recommendation is to approve the site plan. Other options include conditional approval conditioned on the City Council approving Comprehensive Plan amendment, tabling the site plan, or denying the site plan.

Cathy Haustein questioned the location for the proposed development.

Vern Cochran with Missouri River Energy Services responded the reason they chose the property is because they have a lot of large fixtures and jigs that are going to be required for future use for maintenance and repair of the hydroelectric facility and some of those are 18 to 30 feet wide; they have to move them on a public road and that is the closest property they could purchase; they considered other locations in Pella but then they would have to transport those through town, it was just safer, that is why they selected that property.

Craig Agan asked if the same rules apply in the extraterritorial zone for the Comprehensive Plan and Zoning.

George Wesselhoft responded in the affirmative.

David Landon asked whether it is staff's position that the site plan is in conformance with both the Zoning Ordinance and Comprehensive Plan.

Mr. Wesselhoft responded in the affirmative.

David Landon made a motion to approve the site plan. Robin Pfalzgraf seconded the motion. Upon vote, all voted yes. Motion carried 8 to 0.

- 6) Site Plan for RAVE Property Management LLC. George Wesselhoft reviewed the staff report: RAVE Property Management LLC is proposing 11,760 square feet of hard surfacing parking improvements, including hard surfacing existing rock areas and additional parking expansion to serve their existing buildings at 2156 Idaho Drive. This property is located in the Marion County extraterritorial zoning jurisdiction and is zoned CC Community Commercial. The Comprehensive Plan targets the property for Low Density Residential. The site plan should be reviewed per the criteria of Chapter 165.36 (3) (F) Mr. Wesselhoft

added that the position of staff is that the site plan meets Zoning Ordinance requirements and no amendment to the Comprehensive Plan respective of the parking improvements is necessary as the majority area represents pre-existing gravel to be converted to hard surfacing and parking is not considered expansion of the use. Therefore, staff is recommending approval of the site plan.

Mike Vander Molen made a motion to approve the site plan. Gary Van Vark seconded the motion. Upon vote, all voted yes. Motion carried 8 to 0.

- 7) Other Business. George Wesselhoft mentioned three upcoming meeting dates including a May 9 special meeting for a site plan for Pella Regional Health Center third floor addition and discussion about the bypass sign ordinance, May 19 training by ISU extension, and the May 23 regular meeting date which will include discussion with the Historic Preservation Commission concerning the proposed historic overlay ordinance.
- 8) The meeting was adjourned at 7:53 p.m.

Respectfully submitted,
George Wesselhoft
Planning and Zoning Director

PELLA PUBLIC LIBRARY
Board of Trustees Meeting
April 12, 2016

I. Call To Order: President Rebecca Manifold called the meeting to order at 4:00 p.m. Board members present were: Alli Bogaard, Kenny Nedder, Jane Koogler, John Evenhouse and Mary Barnes. Praveen Mohan was absent. Library Director Wendy Street was present.

II. Recognition of Visitors and Visitor Comments: None

III. Approval of Agenda: There were no changes to the agenda. The agenda stood as approved.

IV. Disposition of Minutes: All Board members received the March minutes prior to the meeting. Under section IX. Director's Report, B. a typo was noted. Kenny moved to approve the minutes. Mary seconded the motion. The minutes were unanimously approved.

V. Approval of Bills: All Board members received the April list of bills prior to the meeting. The Board discussed the bills and questions were answered. John moved to approve the bills. Jane seconded the motion. The bills were unanimously approved.

VI. Unfinished Business:

- A. State Funding: Wendy provided the board with the 2016 State Funding budget. Approximately \$10,000 is already encumbered. We have approximately \$5,000 left to spend. The library staff came up with several ideas. The board and Wendy discussed the staff's requests at length. Rebecca moved to go forward with purchasing a new drive-up book drop. She moved that Wendy request the Friends of the Library pay for the book drop. The Library will then purchase the cart that is required to go in the book drop. The library will spend the remaining State funds on new hand dryers for the restrooms and adding materials to the collection. Kenny seconded the motion and it carried.

VII. New Business:

- A. Board Terms: Mary Barnes' second term is ending June 30, 2016. She had met her term limit and we will need to seek new applicants for the board. We will re-post the opening on the website, in the library and via email to patrons/community members. Wendy will also contact those persons who applied for the position at the last vacancy. We will discuss the applicants at the May meeting. Praveen Mohan and Jane Koogler's first terms are ending June 30, 2016. Jane has agreed to continue for her second term. Wendy will ask Praveen if he is willing to serve another term.

VIII. President's Report and Announcements: None

IX. Director's Report:

A. Food for Fines

In honor of National Library Week, the library will hold a "Food for Fines" drive April 11-16. The library will accept non-perishable food items in exchange for overdue fines. One food item will equal up to \$1.00 in fines. Two food items equal \$2.00, and so on. You may exchange a maximum of \$10.00 during the week. Each food item donated to the library will be given to the Food Shelf.

B. Use of the Digital Touch Table

Chris found an application that logs the number of minutes the table is in use. It has logged 403 hours since he installed the application in October. From March 28-April 3, the table averaged 2 ½ hours of use per day. Applications called Grinch and Fresh Paint were used the most during that week.

C. Marion County funding

The Marion County Board of Supervisors increased library funding for FY1617. Funding increased from \$80,000 to \$90,000. The Pella Public Library should receive \$49,125, compared to \$43,950 this year.

D. City Compensation Study

As part of the FY16/17 budget, the City Council approved a Compensation Study for City of Pella non-union employees. One of the first steps for the compensation study is to insure that we have accurate job descriptions/classifications to give to the consultant who will do the study. The market study will be based on the content of the job descriptions. Each job description for full-time and regular part-time employees is being reviewed by the employee doing the job, the employee's supervisor, and the department head. The compensation of Department Heads (including the Library Director) will not be included in the study, although Wendy will still review and update my job description.

E. Customer survey

As of April 7, we have received 891 survey responses. We'll keep collecting until April 15. Wendy will have results to share next month.

F. Building and grounds

- The laptop bar has been installed and has seen plenty of use.
- The Quiet room is almost finished. We're waiting for door hardware. The board discussed an appropriate name for this space. The board decided to continue to call it the "Quiet Room" for the time being.
- The Dress up station (Pella Community Foundation grant) has arrived and has been installed in the children's area.
- The Playaway Launchpads (Pella Community Foundation grant) have also arrived and are available for checkout. These devices are loaded with apps appropriate for 3-5 year olds.

G. Staff activities

April Denim Days: the library staff are once again participating in April Denim Days to support Crisis Intervention Services. Staff members are allowed to wear blue jeans to work during April, provided that they make a \$3 donation to Crisis Intervention Services each time they wear jeans. We did this last year and it was very popular with the staff.

The library staff provided "appreciation" lunches for the Public Works street crew on March 29 to thank them for taking care of our parking lot and helping with various projects. We made lunch for the Parks staff on April 7 to thank them for clearing snow from our sidewalks and taking care of our grounds.

Youth Services Librarian: Offering book to movie club in April. Working on finishing up Summer Reading Program.

Assistant Director: This month, Chris upgraded the receipt printers and scanners at the front desk. He rebuilt the Tumblebooks station, and continues to monitor and resolve any remaining questions and issues with SirsiDynix Symphony.

Director: I evaluated meeting room reservation software, gathered quotes for state funding projects, continued weeding in the 600s, and planned the adult summer reading program.

H. Upcoming events

- Friends of the Library book sale: April 8-17 in the meeting room
- Story time is offered every Saturday at 10:30 a.m. Saturday story time is suggested for ages 3 and up with parents.
- April 12 at 7:00 p.m.: LEMMINGS. Kids in grades 6 and up are welcome to join us for our monthly teen program.

- Tuesday, April 12 from 6 to 7 p.m.: Drop in LEGO club.
- Wednesday, April 20 from 2:30 to 3:30 p.m.: Drop In LEGO club
- April 21 at 10:15 a.m.: Genealogy Club meeting in the Meeting Room
- April 26 at 10:00 a.m.: Friends of the Library Annual Meeting in the Meeting Room. All Friends of the Library members are invited. New officers will be elected at this meeting.
- April 28 at 12:00 noon: The Brown Bag Book Club will discuss *A Lucky Life, Interrupted* by Tom Brokaw in the library Meeting Room.

X. Committee reports:

- Governance and Policy Committee: Revision of Circulation Policy, Fines & Fees, and Volunteer Policy. Review of Unscheduled Closings Policy (no changes recommended). Alli motioned for the revision to be approved as presented. Kenny seconded and the motion carried.

XI. Adjournment: President Rebecca Manifold adjourned the meeting at 5:15 p.m. The next regularly scheduled Board Meeting is scheduled for May 10, 2016 at 4 PM. Mary Barnes will be unable to attend.



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO. C-3-a

SUBJECT: Special Event for Friday After Five

DATE: June 17, 2016

BACKGROUND: The Young Professionals of Pella (Pella Chamber of Commerce) are requesting a Special Event Permit for two "Friday after Five" events on Friday, June 10, 2016 and June 24, 2016 from 5:00 p.m. to 9:00 p.m. to be held on the Molengracht Plaza. Set-up will begin at 2:00 p.m with take down completed by 10:00 p.m. There will be live music, food, beverages and networking. Attendance of 50-100 is expected.

All pertinent City Departments have reviewed this application. The fee and insurance have been received, and approval is recommended.

ATTACHMENTS: Application, Map, Department Head Comments

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve special event.



THE
CITY of PELLA

SPECIAL EVENTS APPLICATION

Please make sure the application is complete before submitting it to City Hall. This includes the *fee payment* and the *\$1,000,000 insurance certificate*. The application should be submitted at least a month in advance of the event date.

For Office Use Only:			
Date Received:	4/26/16	Received by:	PS
Fee:	440	Insurance Certificate:	Yes

Name of Event:	Friday After 5
----------------	----------------

Date of Application:	4/26/2016	Fee Paid:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Attach Insurance Certificate (\$1,000,000 min) naming City of Pella "Also Insured".		Make check payable to City of Pella	
		Insurance Certificate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Describe the Event: (Purpose of event, activities planned, number of anticipated people in attendance, history/origin of event, etc.) (Attach additional page is needed.)

Friday After 5's are annual events held on the Molengracht. Attendees enjoy live music and drinks are available within a fenced area (Age 21+). Young Professionals of Pella have hosted this event for the last few years. Attendance has ranged between 50-100 persons. This event has served as an awareness and engagement event with the general public for Young Professionals, and the general public is invited and encouraged to attend. Donations accepted for Young Professionals.

PROMOTER AND CONTACT PERSON INFORMATION

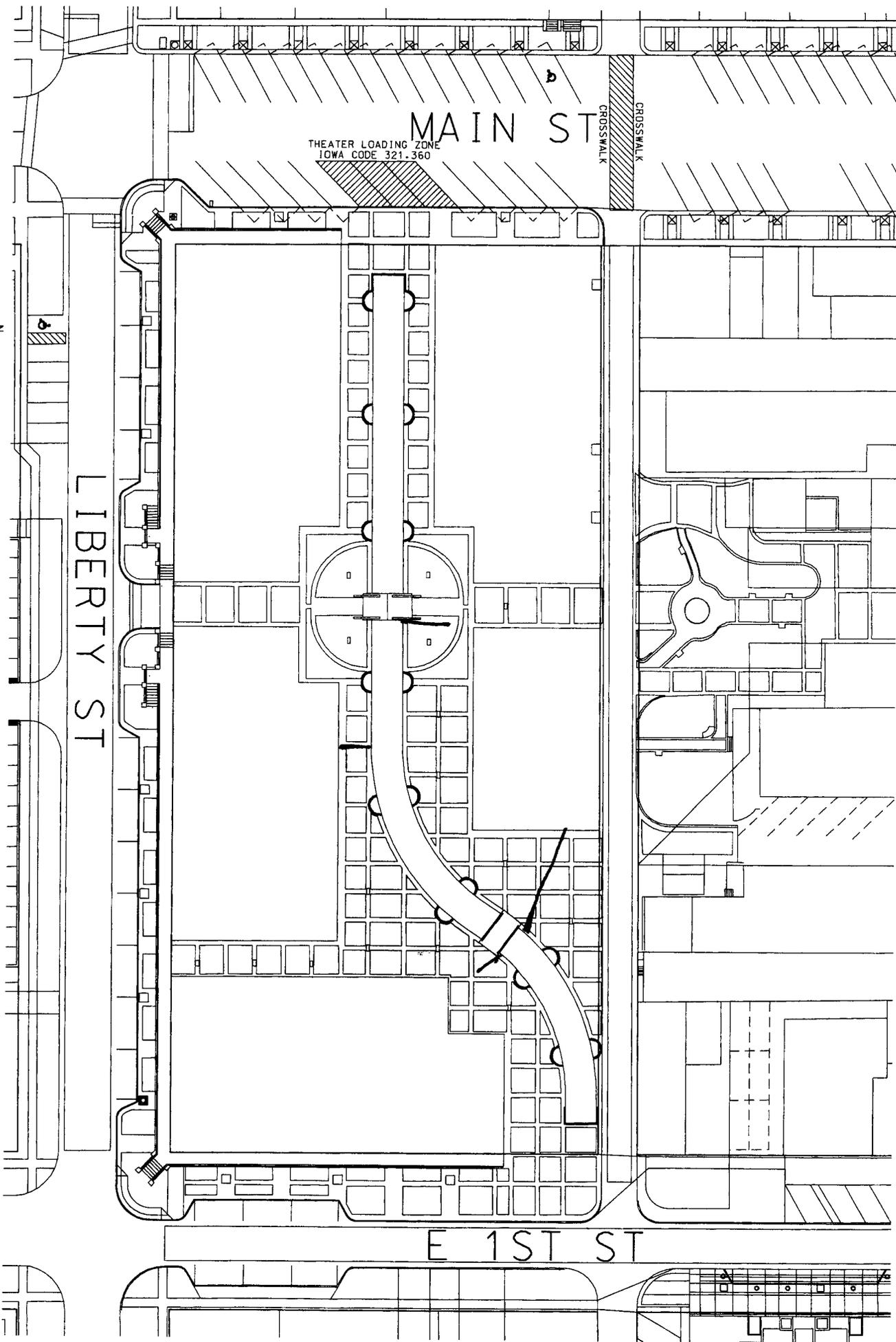
Promoter's Name:	Lindsay Van Soelen	Contact Person:	Lindsay Van Soelen
Signature:	<i>Lindsay Van Soelen</i>	Signature:	<i>Lindsay Van Soelen</i>
Address:	818 Washington Street	Address:	818 Washington Street
	Pella, IA 50219		Pella, IA 50219
Phone:	641-628-2626	Cell Phone:	641-780-7837
		Phone:	641-628-2626
		Cell Phone:	641-780-7837

EVENT INFORMATION

DATE(S) AND TIME(S) OF EVENT:	June 10, 2016 + June 24, 2016, 5-9 pm
DATE(S) AND TIME(S) OF SET-UP/TAKE DOWN:	June 10 + June 24, 2016 2pm set up; 10 pm takedown completed.
LOCATION OF EVENT: Name streets, parks, area, etc and ATTACH map or drawing.	Molengracht plaza (map included)

EVENT INFORMATION (continued)

DO STREETS NEED TO BE CLOSED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES, list streets to be closed and indicate on map. Also list number of barricades needed.			
Street Name	Distance on Street	Date/ Time for Street Closings	# of Barricades
		Starting: Ending:	
		Starting: Ending:	
DO PARKING SPACES NEED TO BE RESERVED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If spaces need to be roped off or reserved, please indicate below.			
Location			# of Cones
WILL SIGNAGE BE USED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, complete the Special Event Signage Information Sheet.			
WILL POLICE OFFICERS OR RESERVES BE NEEDED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list number needed and for what length of time. You will be billed \$30 per hour per officer.			
WILL ADDITIONAL ELECTRICITY BE REQUIRED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, complete the Special Event Electrical Information Sheet.			
WILL ANY OTHER CITY SERVICES BE NEEDED? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list details. <i>Additional garbage cans would be helpful (2 or 3) in Molengracht area.</i>			
COMPLETE LAYOUT OF THE CITY PROPERTY TO BE USED: <input checked="" type="checkbox"/> Map <input type="checkbox"/> Drawing If the map does not accurately show the area, then a drawing should be included. For example, the dimensions of the area to be used or a more detailed description of the area would be helpful. Please be reminded that if you are requesting the use of a park, the parking spaces around that area are not included in the permit, unless specifically requested.			
WILL THERE BE VENDOR BOOTHS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, a list of the names of all vendors and a map showing the location and size of the vendor booths needs to be sent to City Hall prior to the date of the event as outlined in Sec 123.04 of the City Code (attached). The time requirement for submittal of this list is dependent upon the length and size of your event. For large events, please supply this information earlier than the one month recommendation.			
WILL ANY PART OF THE EVENT BE HELD ON PRIVATE PROPERTY? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list the address of the property and have the property owner sign below giving their consent for use of their property for this special event.			
Property Owner	Address	Signature of Property Owner	



MAIN ST

THEATER LOADING ZONE
IOWA CODE 321.360

CROSSWALK
CROSSWALK

LIBERTY ST

E 1ST ST



MOLENGRACHT
PELLIDA, IOWA



CITY OF PELLA SPECIAL EVENTS DEPARTMENT REVIEW

Event	Fridays After Five
Event Date	May 9, 2016
Event Location	Ronda Brown
Event Dates	June 10 & June 24
Event Contact	Lyndsay Van Soelen

[REDACTED]

Recommend approval. RAB

[REDACTED]

Recommend approval. DB

[REDACTED]

Recommend approval. GW

[REDACTED]

Recommend approval. DM

[REDACTED]

Event coordinator to contact Chandler Nunnikhoven prior to the event to arrange for extra garbage cans. Recommend Approval. JV



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: D-1a & 1b

SUBJECT: Public Hearing and Resolution Approving an Amendment of the City of Pella's Comprehensive Plan Future Land Use from Low Density Residential to Mixed Use Commercial

DATE: May 17, 2016

This resolution approves an amendment to the Future Land Use Map of the City of Pella's Comprehensive Plan from low density residential to mixed use commercial. City staff is proposing Council consideration of the amendment to facilitate a development by Casey's Marketing Company located on 1.17 acres of vacant property located at 505-513 Main Street and 705 Union Street. According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs. It is staff's understanding, the existing Casey's stores which would be closed are 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street.

The proposed site for the new store is zoned Commercial Mixed Use Urban Corridor (CUC), and convenience stores are an allowable use in this zoning classification. However, it is important to note, the Pella City Code requires the development to conform to both the zoning ordinance and the City's comprehensive plan. In this particular case, staff was unable to clearly determine conformance with the City's comprehensive plan, and thus the reasons for the proposed amendment to the Comprehensive Plan. Listed below is background information on this issue.

Zoning Ordinance and the Comprehensive Plan

The City's zoning ordinance and comprehensive plan are intended to work together to establish orderly land use in our community. Listed below is Section 165.03 of the City's zoning code which is intended to address the purpose of the City's zoning ordinance:

165.03 Purpose

The purposes of the Zoning Ordinance of the City of Pella are to:

1. Serve the public health, safety and general welfare of the City and its jurisdiction.
2. Classify property in a manner that reflects its suitability for specific uses.
3. Provide for sound, attractive development within the City and its jurisdiction.
4. Encourage compatibility of adjacent land uses.
5. Protect environmentally sensitive areas.
6. Further the objectives of the Comprehensive Development Plan of the City of Pella.

Zoning Ordinance and the Comprehensive Plan (continued)

Furthermore, Section 165.04 of the City's zoning ordinance requires consistency with the comprehensive plan:

165.04 Consistency with the Comprehensive Plan

The City of Pella intends that this Zoning Ordinance and any amendments to it shall be consistent with the City's Comprehensive Plan. It is the City's intent to amend this chapter whenever such action is deemed necessary to keep regulatory provisions in conformance with the Comprehensive Plan.

Comprehensive Plan

The Iowa State Code requires zoning regulations to be made in accordance with a comprehensive plan. Staff believes the goal of the state's comprehensive plan requirements is to prevent piecemeal and haphazard development. In addition, staff also believes the intent of the state regulations is to encourage local jurisdictions to act rationally rather than arbitrarily in making zoning decisions.

Overall, the City's comprehensive plan is a policy document that is intended to guide city zoning and development decisions through the year 2035. The current plan was adopted in 2014.

Zoning Code

While the comprehensive plan is a policy document intended to guide zoning decisions, the zoning ordinance is the city's legal basis to enforce land use decisions. As a matter of principle, the city's zoning ordinance is intended to reflect the policies stated in the comprehensive plan. Therefore, the city's zoning ordinance is also the primary mechanism used to implement the comprehensive plan.

Differences in Land Uses between the City's Zoning Ordinance and the Comprehensive Plan

As stated earlier in this memo, the City's zoning ordinance and comprehensive plan are intended to work together to promote orderly development and avoid incompatible land uses. However, when land use differences arise between the zoning ordinance and our comprehensive plan, staff believes it is important to perform a thorough review of the reasons for the differences in land uses between the two documents. The reason for this approach is the differences could be an indication of incompatible land uses associated with the proposed development, which may necessitate additional zoning considerations by the Pella City Council. As a result, staff has tried to take a very conservative and systematic approach in addressing the root causes for the differences in land uses between the documents.

As stated earlier, the Pella City Code requires site plans for proposed developments to conform to both the zoning ordinance and comprehensive plan. In addition, before a site plan can be considered by the Planning and Zoning Commission, the site must be zoned for the intended use. Therefore, the key issue at hand is determining conformance with the City's comprehensive plan when the Future Land Use Map identifies a different use than the proposed development. Under this scenario, staff will likely recommend to the Planning and Zoning Commission the proposed development is in accordance with the City's Comprehensive plan if the following conditions are met:

- A. There does not appear to be any significant incompatible land uses associated with the proposed development.
- B. The proposed development does not appear to be contrary to any of the Comprehensive Plan's Priority Goals.

Differences in Land Uses between the City's Zoning Ordinance and the Comprehensive Plan

Likewise, if staff believes there is a reasonable possibility the proposed development may cause a significant land use conflict with adjacent properties or if the proposed development appears to be contrary to any of the comprehensive plan's priority goals, then options ranging from a comprehensive plan amendment to zoning changes could be proposed. Generally, these options will be intended to facilitate public input and ultimate consideration by the Pella City Council. The reason for this approach is when there is a potential for a significant land use conflict associated with the proposed development, there could be competing interest between property owners. As a result, any decision made regarding the proposed development could have policy implications. Therefore, under this scenario, staff believes public input should be encouraged and the decision should ultimately be made by the Pella City Council.

Comprehensive Plan Priority Goals

In determining conformance with the City's Comprehensive Plan, it is very important to consider the Priority Goals as stated in the City's Comprehensive Plan. For the City Council's review, the Priority Goals are as follows:

Priority Goal 1: Economic Strength: Continue to foster an economic environment that supports and attracts quality business, industry and tourism.

Priority Goal 2: Biking and Walking: Embrace our community's Dutch heritage by being a premier city for bicycle and pedestrian transportation.

Priority Goal 3: Infrastructure: Maintain quality infrastructure for our community.

Priority Goal 4: Quality of Life: Continue to support a high quality of life for Pella's residents by investing in parks, recreation, and schools.

Priority Goal 5: Housing Options: Provide a range of housing types at a variety of prices, to accommodate workers and residents at all stages of life.

In reviewing the proposed Casey's development in the context of the priority goals, there was one inconsistency noted which related to Priority Goal 5: Housing Options. This core goal of the comprehensive plan was to provide a range of housing types at a variety of prices, to accommodate workers and residents at all stages of life. A key component of this goal was the utilization of infill housing or housing that is built on vacant or underused lots in existing neighborhoods. Infill lots are beneficial for several reasons because they often allow established neighborhoods to respond to market conditions by providing new housing types and features. In addition, infill housing is efficient because it utilizes existing infrastructure. Likewise, the comprehensive plan also states that it is important for any infill development to complement the existing neighborhood and provide appropriate transitions where needed. Finally, it is important to note, this proposed site is shown in the comprehensive plan as a concept for residential infill development (Figure 2.4 page 43).

Potential Land Use Compatibility Issues

The Land Use Compatibility Matrix (Table 1.5, page 31) in the comprehensive plan is a tool staff utilizes to identify land uses when located in close proximity to each other may cause conflicts. Based on staff's review, it appears the proposed development may cause a significant land use conflict with the adjacent residential property owners surrounding the development. In an effort to verify the results of the land use compatibility matrix, staff conducted a review of zoning ordinances of other communities as it pertains to permitting gas stations and convenience stores. For Council's review, we have enclosed a copy of the survey.

Differences in Land Uses between the City's Zoning Ordinance and the Comprehensive Plan

Potential Land Use Compatibility Issues (continued)

The intent of the zoning survey was to determine if other communities which are in close proximity to Pella or are similar to Pella have additional zoning regulations which are intended to reduce land use conflicts with neighboring properties. For the survey purposes we contacted Des Moines, West Des Moines, Urbandale, Knoxville, and Decorah. Listed below is a summary of the survey as it pertains to zoning uses:

Gas Stations/Convenience Stores Permitted by Right or Special Use Permit

The three Des Moines metro area communities require a special use permit to some degree for gas stations and convenience stores. The City of West Des Moines permits gas stations/convenience stores only by a special use permit and they must be located in a commercial zoning district. Urbandale permits gas stations/convenience stores by right in their Highway Commercial Zoning District. All other commercial zoning districts require a special use permit. The City of Des Moines permits gas stations/convenience stores by right only in commercial zoning districts. In addition, the City of Des Moines would require a special use permit for any alcohol sales by the gas station/convenience store. In comparison, the cities of Decorah and Knoxville permit gas station/convenience store by right in commercial zoning districts only.

Residential Use Permitted in Commercial Zoning Districts

It is important to note, the City's Mixed Use Urban Commercial Corridor zoning district permits both residential and commercial use types. Likewise, it appears most of the cities contacted in the survey tried to restrict residential use in commercial zoning districts. The only exception was the City of Des Moines which does allow residential use in commercial zoning districts. However, it is also important to note, the City of Des Moines also has additional requirements for permitting gas stations/convenience stores in close proximity to residential properties. It is staff's understanding, the goal of these requirements are to minimize land conflicts between the property owners.

Design Permit Required

In minimizing potential land use conflicts, aesthetics are an important consideration. Of the cities surveyed, only the City of Pella has a required design permit for commercial buildings. All of the other cities indicated an informal or negotiated process to address the aesthetics of the commercial buildings.

After considering the results of the survey and the land use characteristics of our community, staff does not believe any additional zoning adjustments are required as it pertains to use types. However, we do believe the survey results do indicate there may be a significant land use conflict associated with the proposed development and the adjacent property owners. Therefore, we believe special consideration should be given during the site plan process to minimize any potential conflicts with the neighboring properties of the proposed development.

Issues to Consider in Evaluating the Proposed Amendment

As stated earlier, the intent of the comprehensive plan is to serve as a long-term planning document. Likewise, it is also important to note, the comprehensive plan can change when development priorities and conditions change. In addition, it is not uncommon to amend a comprehensive plan to account for a new development that was not foreseen when the document was originally constructed. However, careful consideration should be given before making any changes to the plan to avoid haphazard development. Listed on the following page are items to consider when evaluating this proposed comprehensive plan amendment.

Reasons for Approving the Comprehensive Plan Amendment

Based on staff's review, listed below are potential reasons to approve this amendment to the City's comprehensive plan.

The property is zoned for the intended use - As stated earlier, convenience stores and gas stations are a permitted use in the CUC zoning classification. In addition, by aligning the comprehensive plan with the City's zoning ordinance, it may assist in reducing uncertainty in evaluating future developments for conformity with the City's comprehensive plan.

Commercial uses identified in proximity to the proposed site - Existing commercial uses are located directly east of the proposed development site. In addition, these existing uses are identified in the Future Land Use Map of the City's comprehensive plan.

Commercial Corridor - The Main Street corridor area south of the downtown is identified in the comprehensive plan as a commercial corridor.

Reasons for Denying the Comprehensive Plan Amendment

Based on staff's review, listed below are potential reasons to deny this amendment to the City's comprehensive plan.

Allowing the existing future use designation of the property to remain unchanged: The comprehensive plan took a considerable amount of time and effort to develop. The proposed site in the comprehensive plan is identified specifically in multiple sections of the plan for residential use, which is different than the proposed Casey's development.

Infill Housing Goal: A key component of the Comprehensive Plan's Housing Goal was infill housing. Overall, the community derives benefits from infill housing, and this location may be more beneficial for the community for infill housing rather than a commercial development.

Summary

Amending the City's Comprehensive Plan is a Council policy decision. Careful consideration should be given before making a decision on this matter.

Finally, it is important to note, the Planning and Zoning Commission denied the proposed amendment on a six to four vote at their March 30, 2016 meeting.

ATTACHMENTS: Resolution, Zoning Map, Comprehensive Plan Map, Zoning Survey, Citizen's Letters

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Council Policy Decision.

RESOLUTION NO. 5689

RESOLUTION APPROVING COMPREHENSIVE PLAN AMENDMENT FOR
CASEY'S SITE PLAN TO AMEND THE FUTURE LAND USE MAP FROM LOW
DENSITY RESIDENTIAL TO MIXED USE

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

WHEREAS, Chapter 414.3 of the Iowa Code which establishes City zoning has as its foundation a Comprehensive Plan; and,

WHEREAS, the City updates its Comprehensive Plan on periodic basis to account for growth and development in the City planning and zoning jurisdiction and last updated its Plan in 2014; and,

WHEREAS, Casey's Marketing Company has submitted a site plan for a Casey's convenience store for the property legally described as:

Legal Description: Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61, Original Pella, in the City of Pella, Marion County, Iowa

WHEREAS, the property in question for the Casey's is presently zoned CUC Commercial Mixed Use Urban Corridor; and,

WHEREAS, the property in question for Casey's is currently designated as Low Density Residential in the Comprehensive Plan Future Land Use Map; and,

WHEREAS, in order to assure consistency between the Zoning Ordinance and Comprehensive Plan respective of the site plan, it is proposed to amend the property to Mixed Use designation.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Pella, Iowa, that the Comprehensive Plan Amendment for Casey's Site Plan be adopted.

PASSED and ADOPTED this 17th of May, 2016.

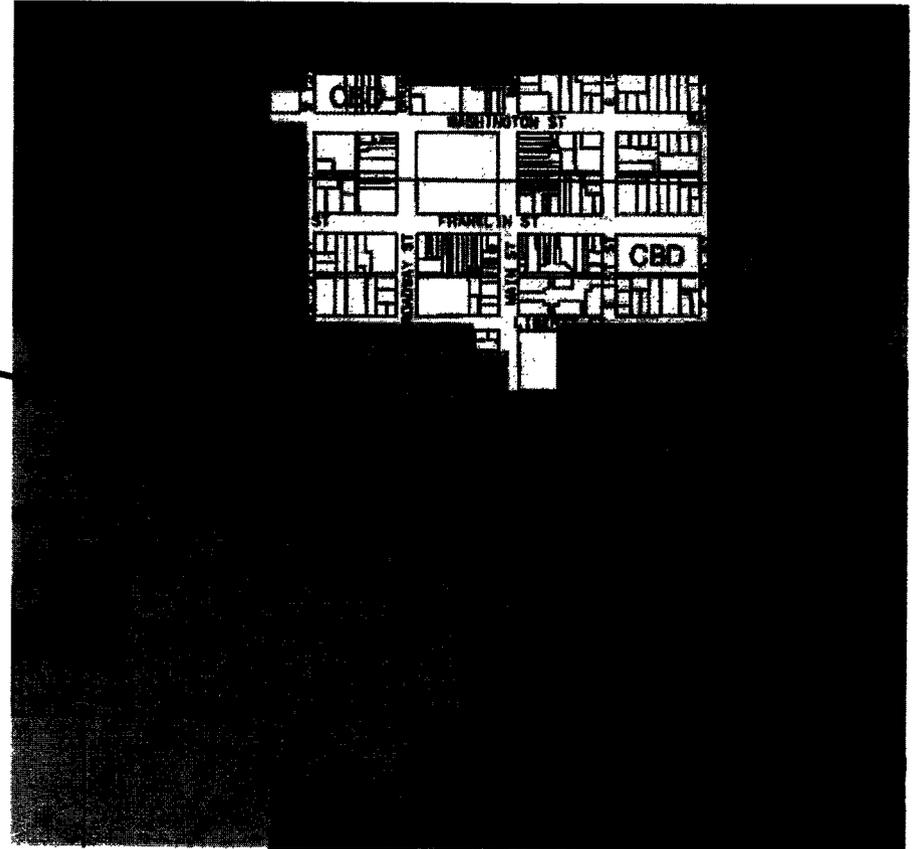
James Mueller, Mayor

ATTEST:

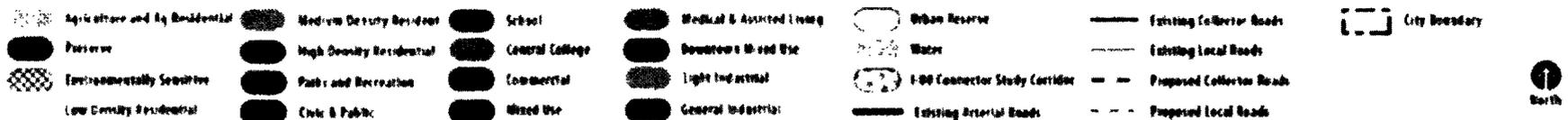
Ronda Brown, City Clerk

Zoning Map

- The proposed site for the new store is zoned Commercial Mixed Use Urban Corridor (CUC), and convenience stores are an allowable use in this zoning classification.



✦ *Future Land Use Map* -
 The Future Land Use Map
 in the comprehensive plan
 targets this proposed site
 for residential
 development.



SURVEY OF ZONING REGULATIONS FOR GAS STATIONS AND CONVENIENCE STORES

	Pella	Knoxville	Decorah
Permitted zoning districts for convenience stores	Comm, Mixed Use, & Industrial	Commercial Only	Commercial Only
Residential use allowed in the same zoning district which is allowed for convenience stores.	Yes	by Special Use Permit Only	Yes on a limited basis
Separation requirements for convenience stores from residential use.	None	None	None
Regulation of lighting for convenience stores.	None	None	None
Design permit required	Yes	None	Negotiated process
Other Regulations	None	None	None

SURVEY OF ZONING REGULATIONS FOR GAS STATIONS AND CONVENIENCE STORES

	Des Moines	West Des Moines	Urbandale
Permitted zoning districts for convenience stores	Special use permit req. to sell alcohol/ commercial zones only	Special use permit req/ commercial zones only	Comm/highway permitted by right/other comm zones require special use permit
Residential use allowed in the same zoning district which is allowed for convenience stores.	Yes	Yes, by special use permit	Yes, by special use permit
Separation requirements for convenience stores from residential use.	Yes for beer and alcohol sales	None	None
Regulation of lighting for convenience stores.	Yes	Yes	No
Design permit required	Yes	No formal permit /negotiated process	No formal permit /negotiated
Other regulations	Limits on fuel dispensers	Limits on fuel dispensers	None

*- The City of Des Moines provided information for convenience stores which were likely to abut or be adjacent to residential properties.

Here we are again looking at a vote for or against Casey's. So here I am again asking you again to not amend the comprehensive plan to allow a Casey's General Store to be built in my backyard. First I am very concerned for my family's quality of life. This is a Hyper Casey's and so it will have a very large impact on my family. We would no longer be able to open up a window and smell fresh air, will we even be able to breathe fresh air with the windows closed? I am very concerned about the health effects of smelling exhaust and gas all day and all night. Would we be able to sit outside and enjoy our backyard? I don't feel this would even be an option as we will have constant noise of traffic, people and lights. It makes me very sad to think of what this area of town will become. This will not only affect us it will affect my neighbors and their neighbors. This is not the right place to build a Casey's of this size. We have talked with many people in this community and a Major majority thought this was not a good idea to have so close to our downtown and to a historical area. There are so many things against this idea and I actually cannot think of anything that would make this a good idea. What value will it add to our community? I have never heard of why this is such a good idea from anyone that has been for this. We have been asked why we are against but I am asking why would we be for it? So I ask that you please listen to us and make the decision that is the best for Pella and Pella's residents.

Thank you for listening,
Joan Haman
707 Union St.

-----Original Message-----

From: Mike Casebolt [mailto:mkcsb172@gmail.com]

Sent: Friday, April 08, 2016 2:24 PM

To: tbokhoven@iowatelecom.net; Mike Nardini <mnardini@cityofpella.com>; mdejong@dejonggh.com; Pella Mayor <mayor@cityofpella.com>

Subject: Questions and concerns about the construction of a mega Caseys General Store

I am writing this to inform you of my concerns that could or will or already have due to the preparation and constructing the mega Caseys General Store on Main and Union Streets with Independence Street possibly being an entrance and/or exit street . This part of Main Street has got to be already, if not will be one of the heaviest traveled streets in town. One half block north on Main is our Fire Department and 4 ambulances departure area onto Main Street. I feel this new construction in an area that had 5 homes previously and only 4 used Main as access.

I live a 1/2 block east of Main on Independence. Another concern I have is how much more traffic will this create for me in trying to back out onto Independence ? The traffic on Independence will be heavier because of people turning to avoid that part of Main, the traffic coming from the alley between Independence and Main, the traffic coming out of the alley between Main and Washington. I have to wait on traffic now because Independence carries a lot of traffic already.

I would also like to bring up the matter in which these 5 homes were removed. When Marion County Bank purchased and tore down the house just east of their drive up bank, they had people in asbestos removable suits to remove the asbestos. I have heard there was none of this done at this site and a gentleman recorded the mess it made including on the library. The flash drive was turned over to the Planning and Zoning board.

And this project at this site definitely does not meet the "historic " theme of uptown Pella.

Thank you for your time and I hope you do the right thing, Mike Casebolt

607 Independence St
Pella, Iowa 50219-1825

Sent from my iPad

Jackie Dingeman

From: George Wesselhoft
Sent: Thursday, March 24, 2016 10:39 AM
To: Jackie Dingeman
Subject: FW: POTENTIAL REQUEST TO AMEND THE COMPREHENSIVE PLAN BY Casey's General Stores, Inc

From: Jim Danks [mailto:jrdanks42@gmail.com]
Sent: Thursday, March 24, 2016 10:38 AM
To: George Wesselhoft <gwesselhoft@cityofpella.com>
Subject: FW: POTENTIAL REQUEST TO AMEND THE COMPREHENSIVE PLAN BY Casey's General Stores, Inc

From: Michael [mailto:michaelrobinson@iowatelecom.net]
Sent: Tuesday, March 22, 2016 6:43 PM
To: cagan@co.marion.ia.us; jrdanks42@gmail.com; hausteinc@gmail.com; dlandon@vermeermfg.com; robinpfa@msn.com; bsmith@vermeermfg.com; vandermolen@mahaskacounty.org; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com
Cc: mayor@cityofpella.com; mark@dejonggreenhouses.com; danvb@lisco.com; elsvan@iowatelecom.net; tbokhoven@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; kathybruxvoort@yahoo.com; jmueller@iowatelecom.net; rskermode@gmail.com; MansuetoJJ@pella.com; dehuizen@iowatelecom.net
Subject: POTENTIAL REQUEST TO AMEND THE COMPREHENSIVE PLAN BY Casey's General Stores, Inc

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St. as it pertains to Casey's General Stores, Inc. attempting to develop the property for a convenience store/gas station, I am communicating with you today. Casey's General Stores, Inc. has attempted in two separate actions to obtain approval from the City of Pella Board of Adjustment and the Planning and Zoning Commission to develop this property as a convenience store/gas station. This corporation has attempted to obtain a variance for one plan and approval for a second plan. Both efforts by Casey's General Stores, Inc. have been rejected by the City of Pella Board of Adjustment and the Planning and Zoning Commission. The actions by the Board of Adjustment and the Planning and Zoning Commission were based on the fact the proposed development of this property by Casey's General Stores, Inc. would not be in compliance with the City of Pella Comprehensive Plan of 2014.

I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. The Comprehensive Plan (page 43) clearing states this area should be used for "Infill Housing" which is defined as housing that is built on vacant/under-used lots in existing neighborhoods.

The Comprehensive Plan clearly identifies that infill lots should be used to:

1. "Expand options: Allowing established neighborhoods to respond to a changing market by providing new housing types and features.
2. Fill in gaps: Giving new life to vacant/under-used lots that detract from neighborhood vitality.
3. Provide transition between higher intensity uses on the north and east, and lower intensity uses on the west.
4. Provides for new housing options that could include quality multi-family option close to downtown, an option that is currently limited. This set-up and location is likely to be favored by young adults and seniors."

It is noted in the Comprehensive Plan that "it is important for infill development to complement the character of the existing neighborhood and provide appropriate transitions where needed." The Comprehensive Plan states that infill lots in neighborhoods should consist of some type of residential housing. Furthermore the Comprehensive Plan clearly states that development of infill lots in neighborhoods should consist of residential housing, not mixed use.

Pella City Code, 165.18 pertains to the Gateway Corridor District reinforces what the Comprehensive Plan makes abundantly clear in reference to the property in the 500 block of Main Street what should occur in the future. The intent of Pella City Code 165.18 is to provide special regulations to assure that new developments along the primary entry corridors into Pella, especially in and near the downtown, respect the existing community character and foster pedestrian-oriented design. The community character of the neighborhoods immediately adjacent to the south, west, and north does not consist of commercial development. It consists primarily of historic homes, a beautiful modern library, and the community center that resides in what is an architectural gem.

The Comprehensive Plan is a result of an effort that insured the final product was a result of a diverse collaboration of the residents of Pella. Thirty five residents and elected officials worked together through a process that also included public meetings. A Community Goals Workshop along with two participatory 2-day design studios were held in January 2014 and February 2014 to create the future land use plan, the trails plan and the downtown concept. Six focus groups met to discuss issues pertaining to future land use in Pella and there was also online participation as well. The effort included business and industry input.

Based on the fact the Comprehensive Plan was a locally developed plan, a large corporation such as Casey's General Stores, Inc. should not be allowed to change the plan simply because they want to, or the corporation finds it inconvenient. Neither should they be allowed to change the Comprehensive Plan due to the failure of Casey's General Stores, Inc. to perform due diligence. The Comprehensive Plan is the result of a systematic needs assessment that was conducted by the City of Pella. Casey's did not conduct, a systematic, comprehensive needs assessment which if performed correctly would have told them from the very beginning that the neighborhood immediately adjacent to the property in question did not want a Casey's convenience store developed there. Such an assessment would also have revealed the very few residents of Pella want a convenience store located on the vacant lots in a residential neighborhood in the 500 block of Main Street.

If the City of Pella Planning and Zoning Commission were to grant an amendment to the Comprehensive Plan at the request of Casey's General Stores, Inc. a precedent will be established with unintended and unforeseeable consequences. Stare decisis is the doctrine of precedent meaning let the decision stand. The United States Supreme Court has stated that stare decisis "promotes the evenhanded, predictable, and consistent development of legal principles, fosters reliance on judicial decisions, and contributes to the actual

and perceived integrity of the judicial process.” The doctrine of stare decisis is very pertinent regarding any requested change in the Comprehensive Plan. Once amendments or variances are granted for one individual then the commission comes under pressure to grant more variances that has the potential to eviscerate the Comprehensive Plan. What might appear to be a one-time change potentially has the ability to undermine the commission’s ability to be evenhanded, predictable, and consistent in the application of the Comprehensive Plan and the city code of Pella, Iowa.

I respectfully request the Pella Planning and Zoning Commission not grant a potential amendment to the Comprehensive Plan as it relates to the aforementioned property located in the 500 block of Main Street if Casey’s General Stores, Inc. makes such a request. The Comprehensive Plan is a good plan, developed by a diverse range of residents along with local business and industry. There is no need for any change to the Comprehensive Plan at this point in time. Last not but least the commission should apply and follow the doctrine of stare decisis as the U.S. Supreme Court did in the majority opinion of 2015 in *Kimble, et al v. Marvel Entertainment, LLC*. Let the previous decision of the Pella Planning and Zoning Commission stand.

Respectfully,

Michael Robinson

USAF Veteran
513 Broadway
Pella, Iowa 2015

George Wesselhoft

From: Julia Vanderzyl <jvanderzyl@christianopportunity.org>
Sent: Tuesday, March 15, 2016 1:47 PM
To: George Wesselhoft
Subject: New massive Casey's on Main Street

Hi George,

Is it true that they are going to build a massive Casey's on Main Street where all the old houses were torn down?

I wonder if the City of Pella could possibly reconsider this and put it somewhere else? This is going to make our downtown look so commercial and it will take away the charm of our small town. It's going to make it look like Des Moines. I realize it will bring more taxes into the City, but then what will happen to the 3 Casey's locations? They will just be closed empty buildings. The location will be right at the start of the parade. Is that really what our City needs? Won't that look tacky? It will directly compete with all the food stands set up at Tulip Time.

Could you please reconsider approving this?

Thanks much for listening.

Julie Vanderzyl, Book keeper
Christian Opportunity Center
1553 Broadway
Pella, IA 50219
641-628-1162 ext. 155
Fax: 641-628-8682
jvanderzyl@christianopportunity.org

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March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,

Name (Print): Wendy Hartson
Address: 110 Holland Dr. Pella IA 50219

March 20, 2016

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to my concerns of increased traffic affecting the safety of pedestrians.

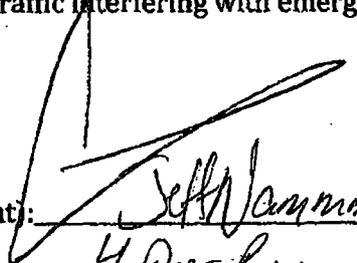
the negative impact this would have on the proposed collegiate historic district
the negative impact this would have on small, local businesses
the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature

Name (Print):

Address:


Jeff Jamming
4 Deer Run

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 8:15 AM
To: Jackie Dingeman
Subject: FW: Casey's

From: Mansueto, Jim [mailto:MansuetoJJ@pella.com]

Sent: Wednesday, March 30, 2016 8:14 AM

To: Craig Agan <cagan@co.marion.ia.us>; jrdanks42@gmail.com; Cathy Haustein <hausteinc@gmail.com>; Cathy Haustein <hausteinc@central.edu>; Landon, David <dlandon@vermeer.com>; vandermolen@mahaskacounty.org; bsmith@vermeermfg.com; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com; Robin Pfalzgraf <pfalzgraf.robin@gmail.com>

Cc: George Wesselhoft <gwesselhoft@cityofpella.com>; Pella Mayor <mayor@cityofpella.com>; mark@dejonggreenhouses.com; elsvan@iowatelecom.net; tbokhoven@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; kathybruxvoort@yahoo.com; jmueller@iowatelecom.net; rskermode@gmail.com; dehuizen@iowatelecom.net; Haman Haman <haman.haman.haman@gmail.com>; Laura Nieboer <laurien@iowatelecom.net>; Nieboer, James <JDNieboer@Pella.com>; patragreek@yahoo.com; Adam Hale <haleaj1@gmail.com>; Michael Robinson <michaelrobinson@iowatelecom.net>; Shelley Bradfield <shelleyjbradfield@gmail.com>; vmvandyk@hotmail.com; Wayne Stienstra <waynes@iowatelecom.net>; brettw@trcpella.com; veauto@iowatelecom.net; dkandre@mediacombb.net; k van <vannimwegenkeith76@yahoo.com>; Sherri Seekamp <joeshherri2003@yahoo.com>; Dody Boat <dodyboat@iowatelecom.net>; Darrell Dobernecker <ddobie@iowatelecom.net>; Bruce Boertje <boertje@windstream.net>; Matt McCulla <Matthew.R.McCulla@ampf.com>; Davis & Eunice Folkerts <defolkerts@iowatelecom.net>; Robert Klein <rklein@pellaproducts.com>

Subject: Casey's

Dear Planning and Zoning Commission,

The Comprehensive Plan and the Planning and Zoning regulations are in place to guide and protect the development of the city of Pella. Now, despite many letters, several meetings, and a petition signed by over 1100 residents -- we are still considering a consolidation of three Casey stations to a new mega station in our downtown area. This development is wrong for Pella for so many reasons.

Size: at 4500 sq. ft., this store is classified as a **Hyper Station** – the largest classification for a convenience store as defined by The Association of Convenience and Fuel Retailing (ACFR) .

<http://www.nacsonline.com/Research/Pages/What-is-a-Convenience-Store.aspx>. Its size is not compatible for an area of Pella that was recently occupied by a row of single family homes. Its nearly 20' tall canopy , which is not considered a structure by Pella codes (go figure) and paved area for 25 parking spots destroy the fabric of the neighborhood. Per the ACFR, *"In some locations, such stores are mini-truck stops . . . "*

Type of Operation: A **Hyper Station** is not like a typical business open from 8 am to 5 pm.

- 1.) Lights from its canopy and parking lot are on 24 hours a day and will spew light pollution into neighbors' yards, living rooms and bedrooms
- 2.) With credit card pumps, traffic will be constant and will use the pumps throughout the day and night.

Traffic: According to a Mary Edwards of the University of Wisconsin (

http://www.lic.wisc.edu/shapingdane/facilitation/all_resources/impacts/analysis_traffic.htm) a Traffic Study should be

considered when a station is over 1300 sq. ft. and has 5 pumps. Not only is this proposed **Hyper Station** much larger, but three additional Casey's locations will be closed and will now funnel traffic to this location. (Stations with a total of 7 pumps or 14 fueling stations). Yet the City of Pella has been told that this new **Hyper Station** will have no impact on its traffic along Main Street.

Safety: Tankers with thousands of gallons of highly explosive gasoline will need to service the pumps in an area that until recently were residential back yards. To fit in the allotted area, compromises have already been made for access into this **Hyper Station**. This **Hyper Station** will be located adjacent to our Public Library, Community Center, and within a few hundred feet of our Ambulance and Fire Protection dispatching locations -- this type of location is best suited for a large parcel of land on the outskirts of town.

Control of Downtown: If permitted to erect this **Hyper Station**, Casey's will effectively control the largest development in downtown since the Molengracht. The non-compete clauses they put on selling their existing structures (no food sales, no pizza sales, no fuel sales) will also limit future Pella downtown growth. Casey's already has a monopoly on our fuel purchases by owning five of our six public gas stations. They will now control future development in other areas as well. Do we really want to be like every other small town in Iowa with a Casey's as its downtown center piece?

I ask that the Planning and Zoning preserve the fabric of our downtown area and adjoining neighborhoods and not permit the construction of this **Hyper Station** in our downtown area.

Sincerely,

Jim & Jody Mansueto
1304 Main Street
Pella, IA 50219

George Wesselhoft

From: Marty Racheter <racheterm@yahoo.com>
Sent: Friday, March 25, 2016 10:18 AM
To: Mike Nardini; George Wesselhoft
Subject: It's not all negative

I do not have the emails of all of our City Council members but I wanted you all to know that it is not everyone in the general public who is against the proposed Casey's on Main Street.

I strongly support this project and urge you, the Council, and P&Z to do so, in spite of the petitions circulating.

Marty Racheter

March 27th, 2016

Dear City Council members,

I heard on the radio today that there will be a public hearing on Wednesday to discuss amending the comprehensive plan for Pella to allow a large Casey's to be built in the middle of downtown Pella. I am confounded by this renewed attempt to placate Casey's by ignoring the will of the citizens of Pella. I assumed that the City of Pella and the elected City Council of Pella worked for the residents of Pella and for the benefit of Pella.

The City just adopted the comprehensive plan in August 2014. This is not an outdated plan. It was meant to be our guiding document for the next 20 years. Thought and planning went into it. What has changed about our future that amending the plan has become an imperative? How will impact it the other parts of the plan (like the bike path)? Can't we accept that the planning we put into our community has value? The current comprehensive plan is a good one, valuing community and smart development. I do not support amending it.

Several weeks ago, I signed a petition against allowing Casey's to develop a large sized store on the corner of Main and Union. I attended the hearings at Planning and Zoning to express my concerns, although at the most recent meeting, I was not allowed given that I do not own property adjacent to the site in question.

I'm not arguing that Casey's doesn't have a place in Pella. It's just that a size of the store that Casey's is planning does not conform to the image that Pella seeks to project, especially not in that location. A super Casey would be fine at the exit 40 site on Washington Street. A large Casey's on Clark Street near exit 42 would be fine, especially given that Casey's already owns enough property there to expand. A super Casey's on Oskaloosa Street, where the Southside Bar & Grill used to be would make sense. It does not make sense in the middle of a community oriented small town. It does not make sense next to public library and the Pella Community Center, both of which encourage children to be walking near these sites.

It does not make sense two blocks from the main square. Name one other town approximately the size of Pella that prides itself in community and appearance that has a gas station the size Casey's is proposing to build that close to its central core. There is a reason large gas stations tend to be on the outskirts of small towns.

The comprehensive plan clearly states that it "articulates community values and priorities". It emphasizes Pella's "high standard for aesthetics", which "makes it obvious to every visitor that this is a special place". "Pella boasts a high quality of life, ..., and small town sense of community that creates a great place to live". "In preparation for this plan, two issue that were at the top of mind for the community were the availability of diverse housing types and the continued success of the downtown". Those quotes are all from the first page of the plan.

I could go through the entire plan, picking the spots where amending the plan would violate our goals, from page 10 where Pella's growth is projected, necessitating the need for diverse housing to the chapter on housing praising infilling as a smart development option.

Amending the plan to allow for the construction is not a simple matter of amending one section of the comprehensive plan. It may be a dynamic plan, but any changes should continue to reflect Pella's core. Our values are embedded throughout the plan and it is that sense of Pella that we valued when making this plan. It is those values that we want to continue to retain for Pella.

Rather than making Pella and all of its citizens conform to the wishes of Casey's, why don't we ask Casey's to conform to the community of Pella? I approve of the current Comprehensive Plan for Pella, which was created after significant input by the Pella citizens and the considered effort by the city putting it all together.

While the comprehensive plan clearly states that it is a dynamic plan, it also states the criteria for amending the plan should be guided by the principles on pages 9 and 13-15 (page 90). The number 1 priority on page 13 clearly states a preference for a development that is human scale rather than designed solely for the car. A large gas station does not make it walkable and instead is designed solely for the car. The second priority states that development should respect the character of the surrounding neighborhood. Nothing in the surrounding neighborhood screams gas station. The fourth priority is for more diverse housing options. The sixth priority values a multi-modal transportation network for bikeways and pedestrian paths. The 7th priority is to minimize risk and developing a high traffic area does not minimize risk in a currently child friendly zone. Thus, by the very criteria that the comprehensive plan sets out for its amendment, the proposed amendment does not fit the spirit of the goals or the principles of land use and development.

Thus, I reiterate my opposition to the proposed amendment, as it violates the very principles that the living document sets out. And I hope that the City of Pella stays true to the principles that define our city as outlined in the plan.

Sincerely,



Anya Butt

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 5:47 AM
To: Jackie Dingeman
Subject: FW: Current Comprehensive Plan

From: Nicholas Kuntz [mailto:kuntzn1@central.edu]
Sent: Tuesday, March 29, 2016 10:07 PM
To: George Wesselhoft <gwesselhoft@cityofpella.com>
Subject: Current Comprehensive Plan

Dear City Council Members,

I am writing to express my opposition to amending the current comprehension plan. As a student of Central College, many students rely on walking and biking to areas on the square and around Pella as we support the local businesses. By amending the current plan, this will result in an unnecessary influx in traffic and a hazard for pedestrians.

--

Nick Kuntz
Central College '17
Environmental Science/Biology Major
(319)-530-2152

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 5:47 AM
To: Jackie Dingeman
Subject: FW: Amending current comprehensive

From: Benjamin Mitchell [mailto:mitchellb1@central.edu]
Sent: Tuesday, March 29, 2016 10:05 PM
To: George Wesselhoft <gwesselhoft@cityofpella.com>
Subject: Amending current comprehensive

Dear City Council Members,

I support the current comprehensive plan of Pella that was finished in 2014 and oppose amending the plan. The City of Pella does not need another super Casey's that would disrupt the bike route though that area. Having a huge gas station would stick out like a sore thumb and take away the Dutch feel that this town has.

Thanks for reading my letter,
Ben

--
Ben Mitchell
Central College 18'
Environmental Science Major
(515)-201-3066

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 5:48 AM
To: Jackie Dingeman
Subject: FW: Current Comprehensive Plan

From: Trenton Smothers [mailto:smotherst1@central.edu]
Sent: Tuesday, March 29, 2016 9:44 PM
To: George Wesselhoft <gwesselhoft@cityofpella.com>
Cc: Anya Butt <anya.butt@central.edu>
Subject: Current Comprehensive Plan

Hello,

I am Trenton Smothers, senior of Central college, and I would like to say I do not support the amending plan for adding a new Casey's in town. I strongly support the current comprehensive plan. There is no need to add another Casey's! Adding another place like that will take the community authenticity and takes away business from the locals which takes away the focus of Pella. So please come up with something else that keeps Pella the same great place it already is.

--

Trenton Smothers

Information Systems Major

smotherst1@central.edu

(202)-374-3466

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 5:48 AM
To: Jackie Dingeman
Subject: FW: Keeping the current comprehensive plan

From: James Cunningham [mailto:cunninghamj1@central.edu]
Sent: Tuesday, March 29, 2016 9:41 PM
To: George Wesselhoft <gwesselhoft@cityofpella.com>
Subject: Keeping the current comprehensive plan

I do not support the current amendment to the current comprehensive plan to build a Casey's on a plot of land that is currently zoned for residential. This change would be bad for the small town feel that Pella has. With a large gas station a few blocks from the square the town will feel different than if there were some nice quaint houses there instead.

Thank you,
Jimmy Cunningham

Dear Pella City Council,

I am writing to up hold the current Comprehensive Plan for the city of Pella. I do not think the large Casey's in the center of town will benefit the city. I do think that it may actually take away from the beautiful small town feel that Pella has to offer. People come to Pella to see the Dutch culture not to visit a Casey's store. I support the current Comprehensive Plan and do not support the amending of the plan.

Thank you,

Brook Van Helten

March 29th, 2016

To: Members of the City Council
From: Paulina Mena, Ph.D.
1213 Broadway, Pella, IA
Re: Support for not emending the City's Comprehensive Plan

Dear Member of the Pella City Council,

As a resident of Pella and employee of Central College I am writing with concern about the possibility of emending the City's Comprehensive Plan. This is a well thought out plan that was approved recently and therefore is current and has wide-spread support in the community.

In particular, I am concerned with the prospect of replacing downtown areas that were intended for housing with a large Casey's gas station. I am in opposition of emending the Comprehensive Plan because not only is the city in need of housing, but allowing for a store larger than regular sized convenience store in the downtown area will change the character of the our downtown.

Pella's downtown is the heart of the city's character. This is what makes us happy to live here and what brings in visitors. The building of this oversized convenience store would disrupt the character that we cherish so much.

If this heinous project would to move forward, I would beg that at least Casey's consider building housing in the area.

Sincerely,

Paulina Mena
Associate Professor of Biology at Central College and Pella Resident



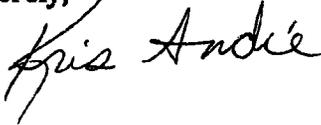
March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,



Name (Print): Kris Andre

Address: 601 West 1st St. Pella

March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,



Name (Print):

Dan Andre

Address:

601 W. 1st Pella

March 24, 2016

Dear Planning & Zoning Commission Member:

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Sincerely,

Name (Print): Eric Schippers / ~~Eric Schippers~~
Address: 302 Franklin St.

March 24, 2016

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to my concerns of increased traffic affecting the safety of pedestrians.

the negative impact this would have on the proposed collegiate historic district
the negative impact this would have on small, local businesses
the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature



Name (Print):

Susan H. Van Waardhuizen

Address:

1517 Westwood Dr, Pella IA

March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,



Name (Print): Bridgette Hardesty

Address: 906 Union Pella IA

March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,

Name (Print): BRENT HARDESTY

Address: 906 Union St. Pella



March 24, 2016

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

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the negative impact this would have on the proposed collegiate historic district
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the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature

Name (Print): BEN HARDESTY

Address: 906 UNION

March 28,2016

Planning and Zoning Commission,

I am asking you to not amend the Comprehensive Plan for Casey's use. I feel that the City of Pella and its citizens have spent a lot of time and money on this plan.

As the plan states "Pella is one of Iowa's premier small towns. Pella's strong connection to its Dutch Heritage and High standards for aesthetics make it obvious to every Visitor that this is a special place. Beyond its unique look, Pella boasts a high quality of life, strong job base and small town sense of community that creates a great place to live."

I feel that a Mega Casey's will not promote a great entrance to our downtown business district. This size of Casey's belongs on major highways and next to big box stores, not near our quaint shops and tourist attractions.

I feel that a Mega Casey's will not promote a High Quality of life for those of us in the surrounding area due to the 24 hour, 7 days a week of lights, smells, noise and traffic. Many people have purchased houses in this area over that last several years. We like our location to downtown events, shopping, restaurants, and entertainment. We can walk or ride our bikes to work. We are becoming a society who wants to live where we have access to all of these venues. This is not only happening here but in communities all across Iowa.

I am asking that you help us to maintain Pella High Quality of life and not amend the Comprehensive plan.

Joan Haman

March 24, 2016

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

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the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature

Name (Print): Heather McCracken

Address: 402 Franklin St. Pella IA 50219

March 20, 2016

Dear Sir or Madam:

After the February 22, 2016 Planning & Zoning meeting, I became concerned that Casey's could petition the City of Pella to amend the Comprehensive Plan. Many citizens volunteered countless hours to work on this plan. Taxpayers paid \$85,000 for this plan. City Council voted to approve this plan. This plan specifically addresses the vacant lots in the 500 block of Main Street. The plan suggests using the space to meet some of the housing needs in Pella. It uses this area as an example of what transition areas should look like. The comprehensive plan respects the character of the current neighborhood and the cultural heritage of the city. The Comprehensive Plan is a living document with many ideas that would benefit the City of Pella.

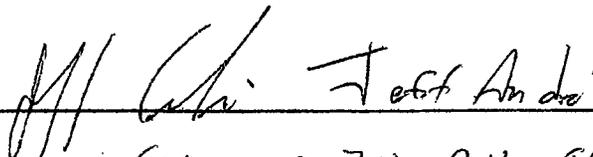
Casey's would like to close their three older stores in town and have one new, large store. They believe the empty lots on the 500 block of Main Street will allow them to provide all of the newest amenities to better serve their customers in Pella. They say that the old stores' kitchens are too small to service Pella's pizza and donut needs. They also say that the bathrooms in the old stores are inadequate especially at Tulip Time. According to Casey's, a new store will allow them to provide even more amenities. My question is, how many of those amenities compete with small, local businesses? Will they offer soft serve ice cream and compete with De Scoop? Will they offer indoor seating for coffee drinkers and compete with our local coffee shops? They already compete with restaurants and bakeries whose owners raise their families here. These families attend our schools, churches, and community events. These owners invest their money and TIME in our communities. What does Casey's REALLY offer our community? How do they really invest in our community? After they abandon three stores, will they be leaving our community better off than when they came? Is the consolidation of three stores into one a benefit for our community or does Casey's really reap the benefit?

The Comprehensive Plan was created by citizens of Pella and independent consultants. The Comprehensive Plan gives us innovative and progressive ideas for improving our community. Casey's is trying to move to a location that is opposed by many citizens. They are essentially the Wal-Mart of convenience stores. Is that what we really need to grow our local economy? Is that the vision for Pella that is expressed in the Comprehensive Plan?

If Casey's requests that our Comprehensive Plan be changed, I urge you to consider the people who really live and invest in this community and vote NO.

Respectfully

Name (Print):

 Jeff Andri

Address:

601 West 75th Pella IA 50219

March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,

Name (Print): Corey Westra

Address: 911 Hazel St.

March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,

Name (Print): Christian Rick

Address: 506 Broadway St.

March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,

Name (Print): Katie Rich

Address: 506 Broadway St.

Jackie Dingeman

From: George Wesselhoft
Sent: Wednesday, March 30, 2016 3:35 PM
To: Jackie Dingeman
Subject: FW: Casey's

From: Darrell Dobernecker [mailto:ddobie@iowatelecom.net]
Sent: Wednesday, March 30, 2016 1:27 PM
To: 'Adam Hale' <haleaj1@gmail.com>; 'Mansueto, Jim' <MansuetoJJ@pella.com>
Cc: 'Cathy Haustein' <HausteinC@central.edu>; 'Craig Agan' <cagan@co.marion.ia.us>; jrdanks42@gmail.com; 'Cathy Haustein' <hausteinc@gmail.com>; 'Landon, David' <dlandon@vermeer.com>; vandermolen@mahaskacounty.org; bsmith@vermeermfg.com; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com; 'Robin Pfalzgraf' <pfalzgraf.robin@gmail.com>; George Wesselhoft <gwesselhoft@cityofpella.com>; Pella Mayor <mayor@cityofpella.com>; mark@dejonggreenhouses.com; elsvan@iowatelecom.net; tbokhoven@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterston60@gmail.com; kathybruxvoort@yahoo.com; jmueller@iowatelecom.net; rskermode@gmail.com; dehuizen@iowatelecom.net; 'Haman Haman' <haman.haman.haman@gmail.com>; 'Laura Nieboer' <laurien@iowatelecom.net>; 'Nieboer, James' <JDNieboer@pella.com>; patragreek@yahoo.com; 'Michael Robinson' <michaelrobinson@iowatelecom.net>; 'Shelley Bradfield' <shelleyjbradfield@gmail.com>; vmvandyk@hotmail.com; 'Wayne Stienstra' <waynes@iowatelecom.net>; brettw@trcpella.com; veauto@iowatelecom.net; dkandre@mediacombb.net; 'k van' <vannimwegenkeith76@yahoo.com>; 'Sherri Seekamp' <joesherri2003@yahoo.com>; 'Dody Boat' <dodyboat@iowatelecom.net>; 'Bruce Boertje' <boertje@windstream.net>; 'Matt McCulla' <Matthew.R.McCulla@ampf.com>; 'Davis & Eunice Folkerts' <defolkerts@iowatelecom.net>; 'Robert Klein' <rklein@pellaproducts.com>
Subject: RE: Casey's

Excellent comments and concerns expressed by Mr. Mansueto and Mr. Hale. You have expressed the concerns that many of us have regarding this issue. Thank you.

Darrell Dobernecker

From: Adam Hale [mailto:haleaj1@gmail.com]
Sent: Wednesday, March 30, 2016 11:10 AM
To: Mansueto, Jim
Cc: Cathy Haustein; Craig Agan; jrdanks42@gmail.com; Cathy Haustein; Landon, David; vandermolen@mahaskacounty.org; bsmith@vermeermfg.com; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com; Robin Pfalzgraf; George Wesselhoft; mayor@cityofpella.com; mark@dejonggreenhouses.com; elsvan@iowatelecom.net; tbokhoven@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterston60@gmail.com; kathybruxvoort@yahoo.com; jmueller@iowatelecom.net; rskermode@gmail.com; dehuizen@iowatelecom.net; Haman Haman; Laura Nieboer; Nieboer, James; patragreek@yahoo.com; Michael Robinson; Shelley Bradfield; vmvandyk@hotmail.com; Wayne Stienstra; brettw@trcpella.com; veauto@iowatelecom.net; dkandre@mediacombb.net; k van; Sherri Seekamp; Dody Boat; Darrell Dobernecker; Bruce Boertje; Matt McCulla; Davis & Eunice Folkerts; Robert Klein
Subject: Re: Casey's

These are all great concerns that I agree with and I think we have made resoundingly clear as a neighborhood and as a community through letters, conversations, and petitions. I am thankful that, up to this point, the

Planning and Zoning Commission has done a great job of not bending to the will of Casey's. If I am understanding things correctly, it seems that tonight's meeting is about whether or not making an amendment to the Comprehensive Plan will or will not be allowed. I also get the impression that this is one of the last courses of action that Casey's has available to them; I think this because I have heard that without an amendment, another vote on the matter is not allowed and because of the rumors of Casey's looking to purchase land elsewhere in town. Can anyone confirm this supposition?

The Casey's issue aside, I think it is important to stick to the current Comprehensive Plan. According to the article KNIA/KRLS, the city gathered multiple legal opinions that suggested sticking with this plan. If an amendment were to be made now in order to accommodate Casey's, not only would it potentially lead to the problems outlined by Mr. and Mrs. Mansueto above, but who knows what other issues could come down the line as others seek to get amendments added.

On Wed, Mar 30, 2016 at 10:54 AM, Mansueto, Jim <MansuetoJJ@pella.com> wrote:
I believe 12 spaces are for fueling and the other 23 are for parking.

Sent from my iPhone

On Mar 30, 2016, at 8:33 AM, Cathy Haustein <HausteinC@central.edu> wrote:

For clarification, the site plan I got mentioned 35 parking spaces. I did have some trouble reading the plan but thought I saw that. Could anyone confirm? Cathy

From: Mansueto, Jim [MansuetoJJ@pella.com]

Sent: Wednesday, March 30, 2016 8:13 AM

To: Craig Agan; jrdanks42@gmail.com; Cathy Haustein; Cathy Haustein; Landon, David; vandermolen@mahaskacounty.org; bsmith@vermeermfg.com; gvv1301@gmail.com; midtowntireco@lisco.com; avisser@windstream.net; terivos@vermeer.com; Robin Pfalzgraf

Cc: George Wesselhoft; mayor@cityofpella.com; mark@dejonggreenhouses.com; elsvan@iowatelecom.net; tbokhoven@iowatelecom.net; eagleelectric@iowatelecom.net; ljpeterson60@gmail.com; kathybruxvoort@yahoo.com; jmueller@iowatelecom.net; rskermode@gmail.com; dehuizen@iowatelecom.net; Hama Hama; Laura Nieboer; Nieboer, James; patragreek@yahoo.com; Adam Hale; Michael Robinson; Shelley Bradfield; vmvandyk@hotmail.com; Wayne Stienstra; brettw@trcpella.com; veauto@iowatelecom.net; dkandre@mediacombb.net; k van; Sherri Seekamp; Dody Boat; Darrell Dobernecker; Bruce Boertje; Matt McCulla; Davis & Eunice Folkerts; Robert Klein

Subject: Casey's

Dear Planning and Zoning Commission,

The Comprehensive Plan and the Planning and Zoning regulations are in place to guide and protect the development of the city of Pella. Now, despite many letters, several meetings, and a petition signed by over 1100 residents -- we are still considering a consolidation of three Casey stations to a new mega station in our downtown area. This development is wrong for Pella for so many reasons.

Size: at 4500 sq. ft., this store is classified as a **Hyper Station** – the largest classification for a convenience store as defined by The Association of Convenience and Fuel Retailing (ACFR) . <http://www.nacsonline.com/Research/Pages/What-is-a-Convenience-Store.aspx>. Its size is not compatible for an area of Pella that was recently occupied by a row of single family homes. Its

nearly 20' tall canopy , which is not considered a structure by Pella codes (go figure) and paved area for 25 parking spots destroy the fabric of the neighborhood. Per the ACFR, *"In some locations, such stores are mini-truck stops . . . "*

Type of Operation: A **Hyper Station** is not like a typical business open from 8 am to 5 pm.

- 1.) Lights from its canopy and parking lot are on 24 hours a day and will spew light pollution into neighbors' yards, living rooms and bedrooms
- 2.) With credit card pumps, traffic will be constant and will use the pumps throughout the day and night.

Traffic: According to a Mary Edwards of the University of Wisconsin (http://www.lic.wisc.edu/shapingdane/facilitation/all_resources/impacts/analysis_traffic.htm) a Traffic Study should be considered when a station is over 1300 sq. ft. and has 5 pumps. Not only is this proposed **Hyper Station** much larger, but three additional Casey's locations will be closed and will now funnel traffic to this location. (Stations with a total of 7 pumps or 14 fueling stations). Yet the City of Pella has been told that this new **Hyper Station** will have no impact on its traffic along Main Street.

Safety: Tankers with thousands of gallons of highly explosive gasoline will need to service the pumps in an area that until recently were residential back yards. To fit in the allotted area, compromises have already been made for access into this **Hyper Station**. Tis **Hyper Station** will be located adjacent to our Public Library, Community Center, and within a few hundred feet of our Ambulance and Fire Protection dispatching locations -- this type of location is best suited for a large parcel of land on the outskirts of town.

Control of Downtown: If permitted to erect this **Hyper Station**, Casey's will effectively control the largest development in downtown since the Molengracht. The non-compete clauses they put on selling their existing structures (no food sales, no pizza sales, no fuel sales) will also limit future Pella downtown growth. Casey's already has a monopoly on our fuel purchases by owning five of our six public gas stations. They will now control future development in other areas as well. Do we really want to be like every other small town in Iowa with a Casey's as its downtown center piece?

I ask that the Planning and Zoning preserve the fabric of our downtown area and adjoining neighborhoods and not permit the construction of this **Hyper Station** in our downtown area.

Sincerely,

Jim & Jody Mansueto

1304 Main Street

Pella, IA 50219

Jordan

~~Justin~~

please
sign.

March 24, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,

Name (Print): Jordan Tyrrel

Address: 904 Union St

March 24, 2016

Dear Planning & Zoning Commission Member:

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Sincerely,

Name (Print):

Justin CHIDESTER

Address:

904 Wm St.

March 24, 2016

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Sincerely,

Name (Print):

Michelle Musgrove

Address:

904 Union St.

March 24, 2016

Dear Planning & Zoning Commission Member:

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Sincerely,

Name (Print): JAMES B STANK JR.

Address: 904 Union St.

March 20, 2016

Dear Planning & Zoning Board Member:

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to my concerns of increased traffic affecting the safety of pedestrians.

the negative impact this would have on the proposed collegiate historic district
the negative impact this would have on small, local businesses
the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature

Lynn K Branderhorst

Name (Print):

Lynn K Branderhorst

Address:

227 Oskaloosa St Pella

March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,



Name (Print): Bob Zylstra

Address: 1047 198th PL

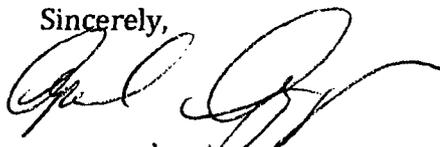
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Sincerely,



305 W 4th
PELLA, IA 50219

March 20, 2016

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Sincerely,

Name (Print): Joan Lucas

Address: 502 1/2 Brabant Ln Pella

March 20, 2016

Dear Sir or Madam:

After the February 22, 2016 Planning & Zoning meeting, I became concerned that Casey's could petition the City of Pella to amend the Comprehensive Plan. Many citizens volunteered countless hours to work on this plan. Taxpayers paid \$85,000 for this plan. City Council voted to approve this plan. This plan specifically addresses the vacant lots in the 500 block of Main Street. The plan suggests using the space to meet some of the housing needs in Pella. It uses this area as an example of what transition areas should look like. The comprehensive plan respects the character of the current neighborhood and the cultural heritage of the city. The Comprehensive Plan is a living document with many ideas that would benefit the City of Pella.

Casey's would like to close their three older stores in town and have one new, large store. They believe the empty lots on the 500 block of Main Street will allow them to provide all of the newest amenities to better serve their customers in Pella. They say that the old stores' kitchens are too small to service Pella's pizza and donut needs. They also say that the bathrooms in the old stores are inadequate especially at Tulip Time. According to Casey's, a new store will allow them to provide even more amenities. My question is, how many of those amenities compete with small, local businesses? Will they offer soft serve ice cream and compete with De Scoop? Will they offer indoor seating for coffee drinkers and compete with our local coffee shops? They already compete with restaurants and bakeries whose owners raise their families here. These families attend our schools, churches, and community events. These owners invest their money and TIME in our communities. What does Casey's REALLY offer our community? How do they really invest in our community? After they abandon three stores, will they be leaving our community better off than when they came? Is the consolidation of three stores into one a benefit for our community or does Casey's really reap the benefit?

The Comprehensive Plan was created by citizens of Pella and independent consultants. The Comprehensive Plan gives us innovative and progressive ideas for improving our community. Casey's is trying to move to a location that is opposed by many citizens. They are essentially the Wal-Mart of convenience stores. Is that what we really need to grow our local economy? Is that the vision for Pella that is expressed in the Comprehensive Plan?

If Casey's requests that our Comprehensive Plan be changed, I urge you to consider the people who really live and invest in this community and vote NO.

Respectfully

Name (Print):

EARIE Vissier

Address:

1322 Boone Pella

March 20, 2016

Dear Sir or Madam:

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If Casey's requests that our Comprehensive Plan be changed, I urge you to consider the people who really live and invest in this community and vote NO.

Respectfully

Name (Print):

Shawn Knox

Address:

1250 Hwy 17 Pella, IA 50219

March 20, 2016

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It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,

Betty Bandstra
250 Peoria West.
Pella Iowa
50219

March 20, 2016

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Respectfully

Iwan Williams.

Name (Print):

Iwan Williams

Address:

913 Liberty St

March 20, 2016

Dear Planning & Zoning Board Member: *TO ALL MEMEMBERS*

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support ~~the Comprehensive Plan~~ and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to ~~the convenience of having more, smaller caseys around town.~~

Sincerely,



Name (Print): Elizabeth Johnson

Address: 1117 E 2nd St apt 1
Pella IA 50219

March 20, 2016

Dear Sir or Madam:

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Respectfully

Name (Print): RICHARD PHILLIPS

Address: 510 LIBERTY ST, PELLA, IA 50219

March 20, 2016

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the negative impact this would have on small, local businesses
the historic/residential nature of this area
it's negative impacts of noise and light pollution and decreased property values
increased traffic interfering with emergency vehicles

Sincerely,

Signature *Whitney Pavlat*

Name (Print): Whitney Pavlat

Address: 607 E. 14th St.

March 20, 2016

Dear Sir or Madam:

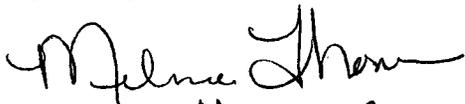
After the February 22, 2016 Planning & Zoning meeting, I became concerned that Casey's could petition the City of Pella to amend the Comprehensive Plan. Many citizens volunteered countless hours to work on this plan. Taxpayers paid \$85,000 for this plan. City Council voted to approve this plan. This plan specifically addresses the vacant lots in the 500 block of Main Street. The plan suggests using the space to meet some of the housing needs in Pella. It uses this area as an example of what transition areas should look like. The comprehensive plan respects the character of the current neighborhood and the cultural heritage of the city. The Comprehensive Plan is a living document with many ideas that would benefit the City of Pella.

Casey's would like to close their three older stores in town and have one new, large store. They believe the empty lots on the 500 block of Main Street will allow them to provide all of the newest amenities to better serve their customers in Pella. They say that the old stores' kitchens are too small to service Pella's pizza and donut needs. They also say that the bathrooms in the old stores are inadequate especially at Tulip Time. According to Casey's, a new store will allow them to provide even more amenities. My question is, how many of those amenities compete with small, local businesses? Will they offer soft serve ice cream and compete with De Scoop? Will they offer indoor seating for coffee drinkers and compete with our local coffee shops? They already compete with restaurants and bakeries whose owners raise their families here. These families attend our schools, churches, and community events. These owners invest their money and TIME in our communities. What does Casey's REALLY offer our community? How do they really invest in our community? After they abandon three stores, will they be leaving our community better off than when they came? Is the consolidation of three stores into one a benefit for our community or does Casey's really reap the benefit?

The Comprehensive Plan was created by citizens of Pella and independent consultants. The Comprehensive Plan gives us innovative and progressive ideas for improving our community. Casey's is trying to move to a location that is opposed by many citizens. They are essentially the Wal-Mart of convenience stores. Is that what we really need to grow our local economy? Is that the vision for Pella that is expressed in the Comprehensive Plan?

If Casey's requests that our Comprehensive Plan be changed, I urge you to consider the people who really live and invest in this community and vote NO.

Respectfully



Name (Print): Melinda Thom

Address: 210 2nd Pella

March 20, 2016

Dear Planning & Zoning Board Member: *To all members*

Due to the ~~unpredictable nature of~~ the situation in the 500 block of Main St., I would like the ~~Planning & Zoning Commission to be aware that~~ as a concerned citizen, I fully support the ~~Comprehensive Plan and ask~~ that it not be amended to facilitate a convenience store/gas station. The ~~plan cost~~ the taxpayers in our community \$85,000, but ~~it provided us with some progressive ideas for improvements in this area.~~ There is a ~~need for housing~~ in our community and this area could provide housing close to ~~downtown~~ desired by many retirees. Others believe there is a need for more retail space in Pella. ~~This area could provide retail space with living space above.~~ The ~~plan also lays out a design for a biking/walking trail for tourists.~~ As tourism is so ~~important to our community,~~ I believe this would be an inexpensive activity to ~~implement for tourists,~~ which could potentially benefit retailers and restaurants ~~in the area.~~

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to *Safety, Lights in our home, 24/7, noise, pollution from the pumps, we moved to Pella in 1988 for it's historic preservation, it's charm and uniqueness and the friendly community.*

Sincerely, *Renee & Kosta Bastas*

Name (Print): RENEE + KOSTA BASTAS

Address: 706 INDEPENDENCE ST.
PELLA -

March 20, 2016

Dear Planning & Zoning Board Member: *TO ALL MEMEBERS*

Due to the unpredictable nature of the situation in the 500 block of Main St., I would like the Planning & Zoning Commission to be aware that as a concerned citizen, I fully support the Comprehensive Plan and ask that it not be amended to facilitate a convenience store/gas station. The plan cost the taxpayers in our community \$85,000, but it provided us with some progressive ideas for improvements in this area. There is a need for housing in our community and this area could provide housing close to downtown desired by many retirees. Others believe there is a need for more retail space in Pella. This area could provide retail space with living space above. The plan also lays out a design for a biking/walking trail for tourists. As tourism is so important to our community, I believe this would be an inexpensive activity to implement for tourists, which could potentially benefit retailers and restaurants in the area.

I would like to be clear that I do not believe this location is appropriate for Casey's General Stores due to ~~the~~ *the current locations are great where they are and I don't want one so close to the houses that ~~were~~ are around that space.*

Sincerely,

Deb Pavlat

Name (Print): Deb Pavlat

Address: 607 E. 14th St. Pella

March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

I do not see the benefits, of a store at this location, to the community. The detriments to the community have been pointed out at the Board of Adjustment meeting before they denied the variance and at the Planning and Zoning meeting before you denied the building permit. The citizens of our community have signed a hard copy petition, written letters to members serving on city boards and commissions and to the Chronicle, signed online petitions, and voiced their concerns at meetings. We want you to know that we have and will remain firm in our belief that this site is NOT a good fit for a convenience store/gas station. I ask that you honor the concerns and opinions of our citizens and DO NOT amend the Comprehensive Plan for this purpose.

Sincerely,

Name (Print): Nancy Moreland Nancy Moreland

Address: 215 E. 13th St.

March 20, 2016

Dear Planning & Zoning Commission Member:

It is highly probable that Casey's will ask the City of Pella to amend our Comprehensive Plan. As a concerned citizen, I urge you to support our city's Comprehensive Plan and send a firm message to Casey's that we will not amend our Comprehensive Plan to accommodate their convenience store/gas station.

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Sincerely,

Name (Print): Jody Mansueto

Address: 1304 Main St., Pella, 50219

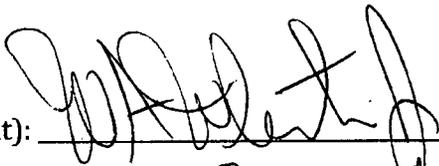
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Sincerely,

Name (Print):  BILL WHITE
Address: 1008 BROADWAY

March 20, 2016

Dear Sir or Madam:

After the February 22, 2016 Planning & Zoning meeting, I became concerned that Casey's could petition the City of Pella to amend the Comprehensive Plan. Many citizens volunteered countless hours to work on this plan. Taxpayers paid \$85,000 for this plan. City Council voted to approve this plan. This plan specifically addresses the vacant lots in the 500 block of Main Street. The plan suggests using the space to meet some of the housing needs in Pella. It uses this area as an example of what transition areas should look like. The comprehensive plan respects the character of the current neighborhood and the cultural heritage of the city. The Comprehensive Plan is a living document with many ideas that would benefit the City of Pella.

Casey's would like to close their three older stores in town and have one new, large store. They believe the empty lots on the 500 block of Main Street will allow them to provide all of the newest amenities to better serve their customers in Pella. They say that the old stores' kitchens are too small to service Pella's pizza and donut needs. They also say that the bathrooms in the old stores are inadequate especially at Tulip Time. According to Casey's, a new store will allow them to provide even more amenities. My question is, how many of those amenities compete with small, local businesses? Will they offer soft serve ice cream and compete with De Scoop? Will they offer indoor seating for coffee drinkers and compete with our local coffee shops? They already compete with restaurants and bakeries whose owners raise their families here. These families attend our schools, churches, and community events. These owners invest their money and TIME in our communities. What does Casey's REALLY offer our community? How do they really invest in our community? After they abandon three stores, will they be leaving our community better off than when they came? Is the consolidation of three stores into one a benefit for our community or does Casey's really reap the benefit?

The Comprehensive Plan was created by citizens of Pella and independent consultants. The Comprehensive Plan gives us innovative and progressive ideas for improving our community. Casey's is trying to move to a location that is opposed by many citizens. They are essentially the Wal-Mart of convenience stores. Is that what we really need to grow our local economy? Is that the vision for Pella that is expressed in the Comprehensive Plan?

If Casey's requests that our Comprehensive Plan be changed, I urge you to consider the people who really live and invest in this community and vote NO.

Respectfully

Name (Print):

Duane Rempel

Address:

2328 Jesup Dr Pella



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: D-1-c

SUBJECT: Casey's Marketing Company Site Plan Appeal

DATE: May 17, 2016

BACKGROUND:

Casey's Marketing Company is appealing the denial of their site plan at the March 30, 2016 Planning and Zoning Commission meeting. As background, the Commission considered two separate motions regarding the Casey's proposed site the first to deny the site plan and the second to conditionally approve subject to Comprehensive Plan amendment. In each case, the vote was 5 to 5 and therefore, both motions failed. As a result, Casey's Marketing Company Marketing Company is proceeding with its appeal to the City Council as outlined in Chapter 165.36 (1) of the City Code.

Project Description

Casey's Marketing Company is proposing a new 4,475 square foot convenience store with gasoline sales on 1.17 acres of vacant property located at 505-513 Main Street and 705 Union. According to Casey's representatives, the intention of the new store is to consolidate three of their existing stores into a new store which is capable of serving the community's needs. It is staff's understanding, the existing Casey's stores which would be closed are 640 Washington Street, 744 Washington Street and 414 Oskaloosa Street.

Pella City Code Requirements for Site Plans

In considering this appeal, the Pella City Council will need to make the following findings before approval of the site plan as stated in Chapter 165.36 (3) (F):

- A. The proposed development is in accordance with the criteria established in Table 165.36/37-1.
- B. Any modifications to the site plan are reasonable and the minimum necessary to minimize potential unfavorable effects.
- C. The site plan conforms to the Zoning Ordinance and the Comprehensive Plan.

Zoning and Design Overlay Requirements for the Proposed Site

The zoning for the proposed site is Mixed Use Urban Corridor Commercial (CUC). Staff believes this zoning district is intended to accommodate a variety of uses and serves as a transition from the restrictive zoning district which is the Central Business District (CBD) to the City's Commercial Zoning Districts (CC). For Council's review, staff has listed below the purpose of the CBD, CUC, and CC zoning districts as defined in the City Code.

Purpose of Zoning Districts

CBD Central Business District -This district is intended to provide appropriate development regulations for Downtown Pella. Mixed uses are encouraged within the CBD District with the primary use type being retail commercial. The grouping of uses with retail as the primary use type is designed to strengthen the town center's role as a center for trade, service, and civic life.

CUC Mixed Use Urban Commercial Corridor: This district recognizes the mixed use character of urban entry corridors into Pella's downtown, including Washington Street and Main Street, which contain a combination of residential, commercial, and office uses. These entry corridors include special aesthetic and sign design standards, which will help enhance their status as principal entrances and arterials into Pella's downtown, and to maintain their character as urban streets.

CC Community Commercial District: This district accommodates a variety of commercial uses, some of which have significant traffic or visual effect. These districts may include commercial uses which are oriented to services, including automotive services, rather than retail activities. These uses may create land use conflicts with adjacent residential areas, requiring provision of adequate buffering. This district is most appropriately located along major arterial streets or in areas that can be adequately buffered from residential districts.

Commercial Use Definitions

After consulting with the City Attorney, it was determined the most appropriate category the proposed development aligned with under the commercial use in the City's zoning code was Convenience Food Sales, which are permitted by right in the CUC Zoning District. Listed below is the definition for the Convenience Food Sales commercial use type:

Food Sales – establishments or places of business primarily engaged in the retail sale of food or household products for home consumption. Food sales establishments may include the sale of non-food items. However, the sales of non-food items may account for no more than the lesser of 25% of the sales area or 10,000 square feet of the food sales establishment. Typical uses include groceries, delicatessens, meat markets, retail bakeries and candy shops.

- (1) *Convenience Food Sales*– establishments occupying facilities of less than 10,000 square feet; and characterized by sales of specialty foods or a limited variety of general items, and by the sales of fuel for motor vehicles.

Zoning and Design Overlay Requirements for the Proposed Site

Purpose of Gateway Corridor Overlay District

The proposed development site is also subject to the standards established for the Gateway Corridor Overlay District. This overlay district is intended to provide special regulations to assure new developments along the primary entry corridors into Pella, especially in and near the downtown, respect the existing community character and foster pedestrian-oriented design. The requirements for this overlay district can be found in Chapter 165.18 of the City Code.

Criteria for Site Plan Review

As Council is aware, Section 165.36 (F) (3) of the City Code requires site plans to conform to the zoning ordinance and comprehensive plan. In determining if the proposed site plan conforms with the City's zoning ordinance and comprehensive plan, the City Council is required to use the criteria established in Table 165.36/37-1. For Council's review staff has listed below a summary of the applicable requirements of Table 165.36/37-1:

Operating Characteristics

Operating Hour Requirements: Projects with long operating hours must minimize effects on surrounding residential areas. In addition, outside storage areas should be screened from surrounding streets and less intensive land uses.

Staff Comment: It is staff's understanding, Casey's Marketing Company tentatively plans to operate the new store from 6:00 a.m. to 11:00 p.m. seven days a week. One of the ways Casey's has proposed to minimize the impact on the surrounding areas is through their lighting plan for the development. It is staff's understanding the lighting plan is intended to minimize light pollution and contain lighting on the development site. In addition, no outside storage is allowed in the CUC zoning district.

Traffic Capacity & External Traffic Effects

Traffic Capacity Requirements: Project should not reduce the existing level of traffic service on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations. Project design should direct non-residential traffic away from residential areas.

Staff Comment: Proposed access point for the development would be on Main and Union Streets. It is important to note, the development would not have access to the public alley which is immediately west and abuts the proposed development site. The City Engineer, as part of the site plan review, considered traffic impacts of the proposed development. Key highlights from this traffic memo include:

Criteria for Site Plan Review

Traffic Capacity & External Traffic Effects (continued)

- Traffic volume information was used from Iowa DOT 2014 counts as part of the estimated trip distribution.
- Based on the total number of drive-way trips during the most critical time periods (AM and PM peak hours), no improvements are recommended at either the intersection of Union Street and Main Street or to Union Street or Main Street at the development's proposed accesses.
- The traffic study did take into account the closing of the three existing stores (two downtown stores and the Oskaloosa Street store).
- Casey's has revised their access location to meet the traffic engineer's recommendations concerning vehicle access.
- Traffic control will be installed per current Manual on Uniform Control Devices during construction including adjacent roadways and sidewalks/trails with note provided accordingly on the Site Plan.

Site Development

Landscaping Requirements: Project frontage along a street should be similar to lot width. Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of site with sensitive environmental features or natural drainageways should be preserved.

Staff Comment: The project frontage requirement does not apply to CUC zoning districts as there are no minimum required lot widths. The proposed development significantly exceeds minimum Code requirements for landscaping:

- The minimum green space required is 5% of the total lot area. The lot area is 50,865 square feet; 14,466 square feet of green space is proposed which equates to 28.4%.
- A Type A (solid screen) is required versus adjacent residential. This may be satisfied by a 6 foot fence only. The proposed development includes both a fence and intermittent trees for this screening which exceeds minimum Code.
- A Type C screen is required versus adjacent street right of ways. This may be satisfied by shrubbery combined with tulip plantings. The proposed development includes trees, shrubs and tulip beds.

Parking Lot Requirements: Parking should serve all structures with minimal conflicts between pedestrians and vehicles. Structures must be accessible to public safety vehicles. Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points.

Staff Comment: The City Engineer reviewed the proposed parking layout from a traffic review standpoint. The developer has addressed the City Engineer's traffic comment for access location modification. Staff believe the proposed parking layout meets the intent of the zoning ordinance.

Criteria for Site Plan Review

Public Facilities

Utilities Requirement: The development must be served by utilities and projects within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare. Sanitary sewer must have adequate capacity to serve development.

Staff Comment: The proposed development will connect to the public sanitary sewer system. In addition, staff the sanitary sewer system has capacity to serve the development.

Storm Water Requirement: Development should handle storm water adequately to prevent overloading of public storm water management system. Development should not inhibit development of other properties. Development should not increase probability of erosion, flooding, landslides, or other run-off related effects.

Staff Comment: The proposed development will address storm water management by way of underground detention. In addition, the development's storm water detention plan was approved by the City Engineer.

Height and Bulk

In discussing the Height and Bulk requirements, it is important to note, staff consulted the City Attorney in regards to the treatment of the gas canopy. The reason staff sought guidance from the City Attorney was that it appears gas canopies are not defined under the city's zoning ordinance. As background, the area of the proposed convenience store is 4,475 square feet and the gas canopy area is roughly 5,544 square feet. After reviewing the City Code as it relates to height and bulk requirements, the City Attorney's opinion is the gas canopy is not considered a building as defined under the City's zoning code. Therefore, the City Attorney believes the gas canopy is not subject to any density, bulk, or setback requirements. Listed below for Council's review is the definition Buildings and Building Coverage Areas as stated in the City's zoning code:

“Building” means any structure designed or intended for the support, enclosure, shelter, or protection of persons, animals, or property, but not including signs or billboards.

“Building coverage” means the area of a site covered by buildings or roofed areas including carports or covered porches or covered patios but excluding allowed projecting eaves, balconies and similar features.

Height and Bulk Requirements: Development should minimize differences in height and building size from surrounding structures. Differences should be justified by urban design considerations.

Staff Comment: There is no maximum height limit for CUC zoning. It also important to note, based on staff's calculations, we believe the maximum Gateway Corridor District building size as stated in 165.18 (D) (3) of the city code is 5,416 square feet. The proposed convenience store is 4,475 square feet and is under this limitation. As previously stated, the City Attorney does not believe gas canopies are subject to height and bulk requirements under the City Code.

Criteria for Site Plan Review **Height and Bulk (continued)**

Setback Requirements: Development should respect pre-existing setbacks in surrounding area. Variation should be justified by site or operating characteristics.

Staff Comments: Based on the staff formula for computing setbacks, we believe the following are the required setbacks for the development:

- Front yard (maximum) setback: 16' 4"
- Street side yard (minimum) setback: 10'
- Interior side yard (minimum) setback: 0'
- Rear yard (minimum) setback: 20'

Staff believes the proposed convenience store building meets these setback requirements. In addition, as previously stated, the City Attorney does not believe the proposed gas canopy is subject to the setback requirements as stated in the City Code. The setback for the proposed gas canopy is 34 feet from the property line.

Building Coverage Requirement: Building coverage should be similar to that of surrounding development if possible. Higher coverage should be mitigated by landscaping or site amenities.

Staff Comments: The CUC District does not have a floor area ratio requirement. Based on staff's calculations the area surrounding the development has a building coverage ratio of 28%. In comparison we believe the proposed convenience store of 4,475 square feet is 9% of the total site of 50,865 square feet which is less than the surrounding area. In addition, the proposed green space percentage for the development of 28% exceeds the minimum requirements as stated in the city code of 5%.

Finally, as previously stated, the City Attorney does not believe gas canopies are subject to building coverage requirements under the city code.

Comprehensive Plan

Chapter 165.36 (F) (3) requires the proposed site plan to conform to the City's Comprehensive Plan. Based on staff's review we were unable to clearly determine conformance with the comprehensive plan due to the following factors:

The Future Land Use Map of the Comprehensive Plan targets the proposed site for low density residential development.

There may be a conflict with the proposed development and Comprehensive Plan's priority goal of housing options. This site is shown as an example of infill housing development on page 41 of the plan.

There appears to be potential for a land use compatibility issue with the proposed development and the residential properties in close proximity to the development.

Based on the above factors, staff has proposed for Council consideration an amendment which would align the proposed development with the Future Use Land Map of the Comprehensive Plan.

Comprehensive Plan (continued)

Council will need to determine if the development as proposed is in conformance with the City's Comprehensive Plan. In addition, it is also important to mention that for developments with a potential for significant land use compatibility issues, the Comprehensive Plan recommends consideration of Planned Unit Development. For Council's review, listed below is the recommendation for a land use compatibility rating of 2 (page 31 of the City's Comprehensive Plan):

'2: Significant conflict. Major effects must be strongly mitigated to prevent impact on adjacent uses. A Planned Unit Development is required in all cases to assess project impact and define development design.'

Summary

The proposed resolution approves the site plan submitted by Casey's Marketing Company. In order to approve this resolution, Council must make the following findings as required in Chapter 165.36 (F) of the City Code:

The proposed development is in accordance with the criteria established in Table 165.36/37-1.

Any modifications to the site plan are reasonable and the minimum necessary to minimize potential unfavorable effects.

The site plan conforms to the Zoning Ordinance and the Comprehensive Plan

Based on the legal opinion staff received from the City Attorney, we believe the proposed site plan conforms to the minimum requirements of the City's zoning ordinance. However, Council will need to determine if the site plan as submitted conforms to the City's Comprehensive Plan. In addition, Council will also need to determine if any additional modifications to the site plan are needed to offset potential negative impacts to adjacent property owners.

The City Council has the following options available:

1. Approve the proposed site plan.
2. Approve the proposed site plan with modifications.
3. Deny the proposed site plan.
4. If additional information is needed by Council prior to making a decision on the site plan, staff would recommend tabling this item.

ATTACHMENTS: Resolution, Site Plan Review Process, Notice of Appeal of Site Plan Decision; Site Plan; City Engineer Traffic Memo; Table 165.36/37-1 of the City's Zoning Code

REPORT PREPARED BY: City Administration and Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR/City Clerk

RECOMMENDED ACTION: As outlined above.

RESOLUTION NO. 5690

RESOLUTION APPROVING SITE PLAN FOR CASEY'S

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

WHEREAS, Casey's Marketing Company has submitted a site plan for a Casey's convenience store for the property legally described as:

Legal Description: Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61, Original Pella, in the City of Pella, Marion County, Iowa

WHEREAS, the property in question for the Casey's is presently zoned CUC Commercial Mixed Use Urban Corridor; and,

WHEREAS, the City Council finds the site plan in conformance with the Zoning Ordinance and Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Pella, Iowa, that the Casey's Site Plan be approved.

PASSED and ADOPTED this 17th of May, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk



THE
CITY of PELLA
STAFF MEMO

ITEM NO.

SUBJECT: Site Plan Review Process

DATE: May 17, 2016

BACKGROUND:

Staff would like to provide an overview to the City Council of the process we intend to utilize for the review of site plans when there is a discrepancy in identified land uses between the City's zoning ordinance and comprehensive plan.

As background, site plans are required for new commercial, industrial, and institutional buildings or building additions which exceed 2,000 square feet. In addition, site plans are also required for these same entities if they hard surface over 2,000 square feet on an existing lot. It is also important to note, before a site plan can be approved, it must conform to both the City's zoning ordinance and the comprehensive plan. Listed below are the requirements of the Pella City Code for approving site plans:

Site Plan Review Requirements – Chapter 165.36 (F)

Review and Evaluation. The Planning and Zoning Commission shall review and approve the site plan based on the criteria established in Table 165.36/37-1 and conformance with applicable regulations in this Zoning Ordinance. The Planning and Zoning Commission shall make the following findings before approval of the site plan:

- (1) The proposed development, together with any necessary modifications, is compatible with the criteria established in Table 165.36/37-1.
- (2) Any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable effects.
- (3) The site plan conforms to the Zoning Ordinance and the Comprehensive Plan.

Zoning Ordinance and the Comprehensive Plan

The City's zoning ordinance and comprehensive plan are intended to work together to establish orderly land use in our community. Listed below is Section 165.03 of the City's zoning code which is intended to address the purpose of the City's zoning ordinance:

165.03 Purpose

The purposes of the Zoning Ordinance of the City of Pella are to:

1. Serve the public health, safety and general welfare of the City and its jurisdiction.
2. Classify property in a manner that reflects its suitability for specific uses.
3. Provide for sound, attractive development within the City and its jurisdiction.
4. Encourage compatibility of adjacent land uses.
5. Protect environmentally sensitive areas.
6. Further the objectives of the Comprehensive Development Plan of the City of Pella.

Zoning Ordinance and the Comprehensive Plan (continued)

Furthermore, Section 165.04 of the City's zoning ordinance requires consistency with the comprehensive plan:

165.04 Consistency with the Comprehensive Plan

The City of Pella intends that this Zoning Ordinance and any amendments to it shall be consistent with the City's Comprehensive Plan. It is the City's intent to amend this chapter whenever such action is deemed necessary to keep regulatory provisions in conformance with the Comprehensive Plan.

Comprehensive Plan

The Iowa State Code requires zoning regulations to be made in accordance with a comprehensive plan. Staff believes the goal of the state's comprehensive plan requirements is to prevent piecemeal and haphazard development. In addition, staff also believes the intent of the state regulations is to encourage local jurisdictions to act rationally rather than arbitrarily in making zoning decisions.

Overall, the City's comprehensive plan is a policy document that is intended to guide city zoning and development decisions through the year 2035. The current plan was adopted in 2014.

Zoning Code

While the comprehensive plan is a policy document intended to guide zoning decisions, the zoning ordinance is the city's legal basis to enforce land use decisions. As a matter of principle, the city's zoning ordinance is intended to reflect the policies stated in the comprehensive plan. Therefore, the city's zoning ordinance is also the primary mechanism used to implement the comprehensive plan.

Differences in Land Uses between the City's Zoning Ordinance and the Comprehensive Plan

As stated earlier in this memo, the City's zoning ordinance and comprehensive plan are intended to work together to promote orderly development and avoid incompatible land uses. However, recently the City has encountered instances in our site plan review process where a use is allowable under the City's zoning code, but the Future Land Use Map of the comprehensive plan identifies a different use. When land use differences arise between the zoning ordinance and our comprehensive plan, staff believes it is important to perform a thorough review of the reasons for the differences in land uses between the two documents. The reason for this approach is the differences could be an indication of incompatible land uses associated with the proposed development. As a result, staff intends to take a very conservative and systematic approach in addressing the root causes for the differences in land uses between the documents. Listed below is the proposed process staff intends to utilize in addressing land use differences between the zoning ordinance and comprehensive plan.

Step 1: Determine if there is a potential for incompatible land uses associated with the proposed development.

Once again, one of the primary goals of the zoning ordinance and comprehensive plan is the protection of property values by separating incompatible land uses. In determining if there is potential for a significant land use conflict between the proposed development and the adjacent properties, staff plans to use a variety of methods. Listed below are the main methods that may be used to analyze the proposed development compatibility with adjacent property owners:

- A. **Land Use Compatibility Matrix** – The Land Use Compatibility Matrix in the comprehensive plan is a tool to identify potential incompatible land uses.
- B. **Proximity between the proposed development and adjacent property owners** - Staff will review the distance between the proposed development and the adjacent property owners of different use types. As a general rule, the potential for an incompatible land use increases the closer the proposed development is to properties with a different use type.
- C. **Review of Industry Planning Documents** - Industry planning documents may provide guidance on potential incompatible land uses.
- D. **Consideration of recent actions from the Planning and Zoning Commission and the Pella City Council** - Staff will consider recent actions from the Planning and Zoning Commission and City Council in determining potential land use conflicts. For instance, if the Pella City Council recently approved a rezoning for a property and the proposed development is consistent with what was stated during the rezoning process, then it is likely staff will conclude the land use compatibility issues were addressed through the rezoning process. The reason for this position is the notifications to neighboring property owners and the opportunity for extensive public input that is associated with the rezoning process.
- E. **Review zoning ordinance of other communities** - To verify potential land use conflicts, staff may contact other cities in Iowa. Generally speaking, land use conflicts associated with a proposed development may not be unique to the City of Pella. Therefore, there is value in contacting other cities to see how their zoning ordinance would regulate the proposed development.

Step 2: Analyze the proposed development in the context of the main goals of the comprehensive plan.

In determining conformance with the City's Comprehensive Plan, it is very important to consider the Priority Goals as stated in the City's Comprehensive Plan. For the City Council's review, the Priority Goals are as follows:

Priority Goal 1: Economic Strength: Continue to foster an economic environment that supports and attracts quality business, industry and tourism.

Priority Goal 2: Biking and Walking: Embrace our community's Dutch heritage by being a premier city for bicycle and pedestrian transportation.

Priority Goal 3: Infrastructure: Maintain quality infrastructure for our community.

Priority Goal 4: Quality of Life: Continue to support a high quality of life for Pella's residents by investing in parks, recreation, and schools.

Priority Goal 5: Housing Options: Provide a range of housing types at a variety of prices, to accommodate workers and residents at all stages of life.

Step 3: Staff recommendation

As stated earlier, the Pella City Code requires site plans to conform to both the zoning ordinance and comprehensive plan. In addition, before a site plan can be considered by the Planning and Zoning Commission, the site must be zoned for the intended use. Therefore, the key issue at hand is determining conformance with the City's comprehensive plan when the Future Land Use Map identifies a different use than the proposed development. Under this scenario, staff will likely recommend to the Planning and Zoning Commission the proposed development is in accordance with the City's Comprehensive plan if the following conditions are met:

- A. There does not appear to be any significant incompatible land uses associated with the proposed development.
- B. The proposed development does not appear to be contrary to any of the Comprehensive Plan's Priority Goals.

Likewise, if staff believes there is a reasonable possibility the proposed development may cause a significant land use conflict with adjacent properties or if the proposed development appears to be contrary to any of the comprehensive plan's priority goals, then a range of options could be proposed to the Planning and Zoning Commission. Generally, these options will be intended to facilitate public input and ultimate consideration by the Pella City Council. The reason for this approach is when there is a potential for a significant land use conflict associated with the proposed development, there could be competing interest between property owners. As a result, any decision made regarding the proposed development could have policy implications. Therefore, under this scenario staff believes public input should be encouraged and the decision should ultimately be made by the Pella City Council.

Listed below is a summary of the options proposed to the Planning and Zoning Commission when a proposed development appears to have a significant land use conflict with its adjacent property owners or when the development appears to be in conflict with any priority goals of the City's comprehensive plan:

- 1. Conditional Approval of the Site Plan:** The conditional approval recommended by staff would require an amendment of the City's Comprehensive Plan to align the proposed development with the Future Land Use Map of the comprehensive plan. It is important to note, amending the City's Comprehensive Plan would require public hearings and approval by the Pella City Council. This approach would also provide the neighboring properties an opportunity to voice any concerns to the Pella City Council before the site plan was approved.
- 2. Potential Zoning Recommendations:** To address potential land use compatibility issues associated with the proposed development, staff may recommend potential zoning amendments and/or a planned unit development for the Planning and Zoning Commission to consider. It is important to note, if staff believes any zoning adjustments are necessary to avoid land use conflicts, then we will make every effort to discuss the potential zoning issues before the site plan is formally considered by the Planning and Zoning Commission. Furthermore, it is important to note, zoning amendments and planned unit developments would require public hearings and approval by the Pella City Council.

Summary

In summary, when a proposed development is allowable under the City's zoning ordinance but the use type does not match the Future Land Use Map of the City's comprehensive plan, staff plans to take a cautious and deliberate approach in reviewing these cases. In addition, staff would like to mention these cases could be difficult to analyze and may involve competing interest between property owners. When there appears to be a significant land use conflict associated with a proposed site plan, staff believes our process should facilitate public input while striving to meet the intent of the City's zoning ordinance and comprehensive plan.

LILLIS O'MALLEY OLSON MANNING POSE TEMPLEMAN LLP

WILLIAM J. LILLIS
MICHAEL W. O'MALLEY
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DANIEL L. MANNING, SR.
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JOEL B. TEMPLEMAN*
BRIDGET O'MALLIFY KAUIZKY
DANIEL M. MANNING, JR.

*LICENSED IN IOWA & ILLINOIS

ATTORNEYS AT LAW

(ESTABLISHED 1917)

317 SIXTH AVENUE, SUITE 300
DES MOINES, IOWA 50309-4127

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JOHN CONNOLLY, JR. (1891-1975)
GEORGE E. O'MALLEY (1905-1982)
JOHN CONNOLLY III (1918-1998)
BERNARD J. CONNOLLY (1920-1970)
C. I. MCNUTT (1901-1958)
STREETAR CAMERON (1957-2008)

Writer's Direct Email Address: dmanning@lolaw.com

April 1, 2016

***Via Certified Mail,
and Email (rbrown@cityofpella.com)***

Ronda Brown
Pella City Clerk
825 Broadway Street
Pella, IA 50219

Re: Request for Continuance of the Appeal of the February 22, 2016 Planning and Zoning Commission (Casey's Marketing Company – Site Plan – 505-513 Main St. and 705 Union St.);

Notice of Appeal of March 30, 2016 Planning and Zoning Commission Decision to the Pella City Council

Dear City Clerk:

This letter is a request for a continuance of the Notice of Appeal filed by Casey's Marketing Company ("Caseys") with the Pella City Council on March 8, 2016, as well as a Notice of Appeal of the March 30, 2016 Planning and Zoning Commission decision concerning Casey's Marketing Company – Site Plan located at 505-513 Main St. and 705 Union St. in the City of Pella, Iowa.

My understanding is that the initial Notice of Appeal filed on March 8, 2016, was to be heard by the Pella City Council on its next regularly scheduled meeting, but will be continued to the first regularly scheduled meeting of the Pella City Council in May of 2016. The pending appeal will be heard along with the appeal of the March 30, 2016 Planning and Zoning Commission decision concerning Casey's site plan provided that all of the information that Casey's has requested from the City has been made available to them by that date.

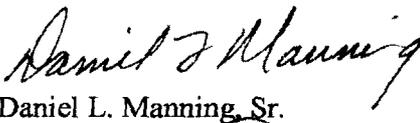
The continuance of the initial appeal and the appeal of the commission's decision of March 30, 2016 are both timely and properly submitted to the City Clerk in accordance with Code Section 165.36 of the City of Pella Zoning Ordinances.

LILLIS O'MALLEY OLSON MANNING POSE TEMPLEMAN LLP

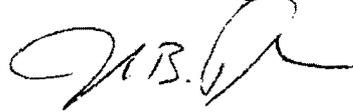
April 1, 2016
Page Two

We ask that this application for continuance of the pending appeal, and the Notice of Appeal concerning the March 30, 2016 decision of the Planning and Zoning Commission be provided to the Mayor and all members of the City Council. We further request that the appeal from the decision of the Planning and Zoning Commission on February 22 and the appeal from the decision of the Planning and Zoning Commission on March 30 be placed upon the City Council's agenda and that the undersigned, receive notice of the time and place in which the Pella City Council shall consider these appeals, and that upon hearing same, that the City Council vote upon and approve the Casey's site plan as submitted.

Very truly yours,



Daniel L. Manning, Sr.



Joel B. Templeman
For the Firm

DLM/dj

cc: Sent Via Email:
Robert Stuyvesant, Legal Counsel
Mike Moreland, Legal Counsel
John Webber, Legal Counsel
George Wesselhoft, Planning and Zoning Director
Mike Nardini, City Manager

Site Plan

for

Casey's General Stores

505-513 Main Street & 705 Union Street

Pella, Iowa

BUILDINGS
 PROPOSED CASEY'S BUILDING - 41' x 106'-3"
 NUMBER OF STORIES: 1 STORY

PAVING
 THE APPROACH SHALL BE 7" THICK P.C.C.
 THE PARKING LOT SHALL BE 6" THICK P.C.C.

PARKING
 33 TOTAL PARKING SPACES ARE PROVIDED
 23 SPACES AND 12 PUMP ISLAND SPACES

FLOODPLAIN
 PER FEMA MAP #19125C0218C, THE SITE IS LOCATED IN ZONE X

GENERAL NOTES

- 1 ALL TRASH AND RECYCLING SHALL BE CONTAINED IN THE OUTDOOR DUMPSTER/RECYCLE AREA
- 2 WALL PACK LIGHTING SHALL BE SHARP CUT-OFF
- 3 HANDICAPPED PARKING STALLS AND SIGNS SHALL BE PROVIDED PURSUANT TO THE STATE CODE
- 4 ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR RIGHT OF WAY SHALL BE PROMPTLY REMOVED

SIGN
 PROPOSED CASEY'S SPECIAL MONUMENT SIGN AT THE INTERSECTION OF MAIN STREET AND UNION STREET

DISTURBED AREAS
 ALL DISTURBED AREAS SHALL BE SOODED.
 THE DISTURBED AREA FOR THIS SITE IS MORE THAN 1 ACRE, THEREFORE A PERMITS FROM IT IS REQUIRED

OWNER

DENNIS & JOYCE VANDER BEEK
 914 HAZEL STREET
 PELLA, IA 50219
 PH 641-790-6588

DEVELOPER:

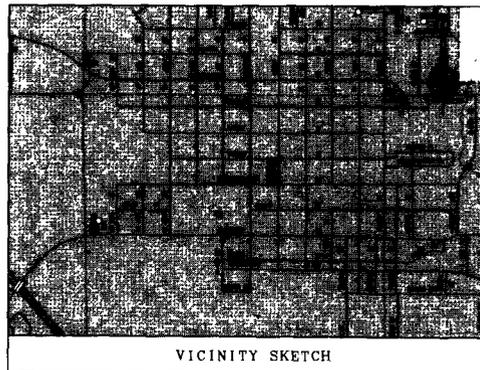
CASEY'S MARKETING COMPANY
 PO BOX 5001
 ANKENY, IA 50021
 PROJECT CONTACT: MELANI ATHA
 PH (515) 265-6100

ENGINEER/AND SURVEYOR

A. LEO PELDS ENGINEERING COMPANY
 2323 OXON STREET
 DES MOINES, IOWA 50316
 PROJECT CONTACT: CLARA JONCKLE
 PH (515) 265-8196

LEGAL DESCRIPTION

Lot 1, except the West 70.00 feet thereof, and all of Lots 4 and 5 in Block 61 in the City of Pella, Iowa



VICINITY SKETCH

SHEET INDEX	
Sheet 1	Cover Sheet
Sheet 2	Boundary & Topo
Sheet 3	Site Plan (AL-101)
Sheet 4	Grading Plan
Sheet 5	Utility Plan
Sheet 6	Landscaping Plan
Sheet 7	Typical Notes

GENERAL NOTES

1. All work shall be conducted in accordance with OSHA codes and standards. Nothing indicated on the site plan shall relieve the contractor from complying with all applicable safety regulations.
2. All public improvements shall be designed and constructed to meet the City approved Urban Design Standards for Public Improvements and the Urban Standard Specifications for Public Improvements.
3. The location of existing utilities and structures is approximate. The contractor shall take precautionary measures to protect the utilities and/or structures at the site. It shall be the contractor's responsibility to notify the owners of utilities and/or structures to determine the present extent and exact location of their facilities before beginning work. If existing utility lines are encountered that conflict with new construction, the contractor shall notify the engineer so that the conflict may be resolved.
4. The Contractor shall field adjust, as necessary, all existing utilities to finish grades. Existing site utilities include, but are not limited to, fire hydrants, manhole rims, inlets, water valves, and light bases.
5. The Contractor shall preserve all monuments, stakes, reference points, and bench marks. The Contractor shall be charged the cost for replacement, lost time, and any other associated responsibility due to contractor's negligence or carelessness that results in destruction of these items.
6. All spot elevations are at the top-of-finished surfaces.
7. The Contractor shall conduct clean-up, surface restoration, and surface replacement activities as construction progresses. All debris spilled on the ROW or on adjacent property shall be picked up by the contractor at the end of each work day.
8. Materials not suitable for construction, including, trench backfill and surface restoration, and excess materials shall be properly disposed. Disposal is incidental to construction.
9. All salvageable materials that are removed shall remain property of the City of Pella. Deliver salvageable materials to the Public Works Shop, 100 Truman Road.
10. The Contractor shall notify property owners at least 24 hours in advance if access to property will be interrupted. Access to private property for emergency vehicles shall be maintained at all times.
11. Notify Denny Buyer, Public Works Director, City of Pella, at 641-628-1601, at least 48 hours prior to beginning construction activities (or to verify ROW, etc.).
12. The Contractor shall coordinate work and cooperate with City of Pella personnel.

STREET, DRIVEWAY, AND TRAFFIC NOTES

1. The Contractor shall provide traffic control for all work within street rights of way at no additional cost to the owner. Traffic control shall consist of barricades, signage, and lights as necessary to protect vehicle and pedestrian traffic in accordance with the Manual on Uniform Traffic Control Devices.
2. All existing street and traffic control signs that are in conflict with construction shall be removed and reset by the contractor. Owner shall direct resetting of signs. Contractor shall provide necessary signs, barricades, lights, and flags to insure the safe flow of vehicular and pedestrian traffic. Work is incidental to construction.
3. Contractor shall minimize disruption of traffic on Main Street & Union Street at all times. If partial closure is necessary to facilitate paving, the contractor shall coordinate lane closure to occur only during off-peak times. Flaggers will be required.
4. Remove existing street, parking, and driveway surfacing in neat, uniform lines. Replace surfacing with material noted and specified on plans. Protect remaining street surface from damage. (Notify Denny Buyer, Public Works Director, at least 48 hours prior to working within street right of way to discuss pavement removal requirements, doweling, backfill, etc.)
5. (DOT Class M concrete mix shall be used for driveway and street replacement)
6. All public sidewalks and curb cuts to be built per City specifications and inspected by the City of Pella Public Works Director prior to pouring concrete (at least 24-hour notice).
7. Paving thicknesses shall be as shown on the plans.
8. Place transverse joint (SC joint) in new PCC pavement prior to asphalt overlay. Joint spacing to match existing or at maximum of 12 feet, whichever is greater.
9. All sidewalks to have 2% transverse slope in the direction of natural drainage unless otherwise indicated.
10. Place 6-inch thick sidewalk through driveways. All other sidewalk shall be 4 inches thick.
11. Replace concrete curb at driveway closures to nearest joint line.

Engineering | Planning | Surveying

2323 Oxon Street, Des Moines, IA 50316 | P. 515.265.8196 | F. 515.265.8230

EXISTING UTILITIES NOTE
 THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEY'S AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL 1-800-292-6999

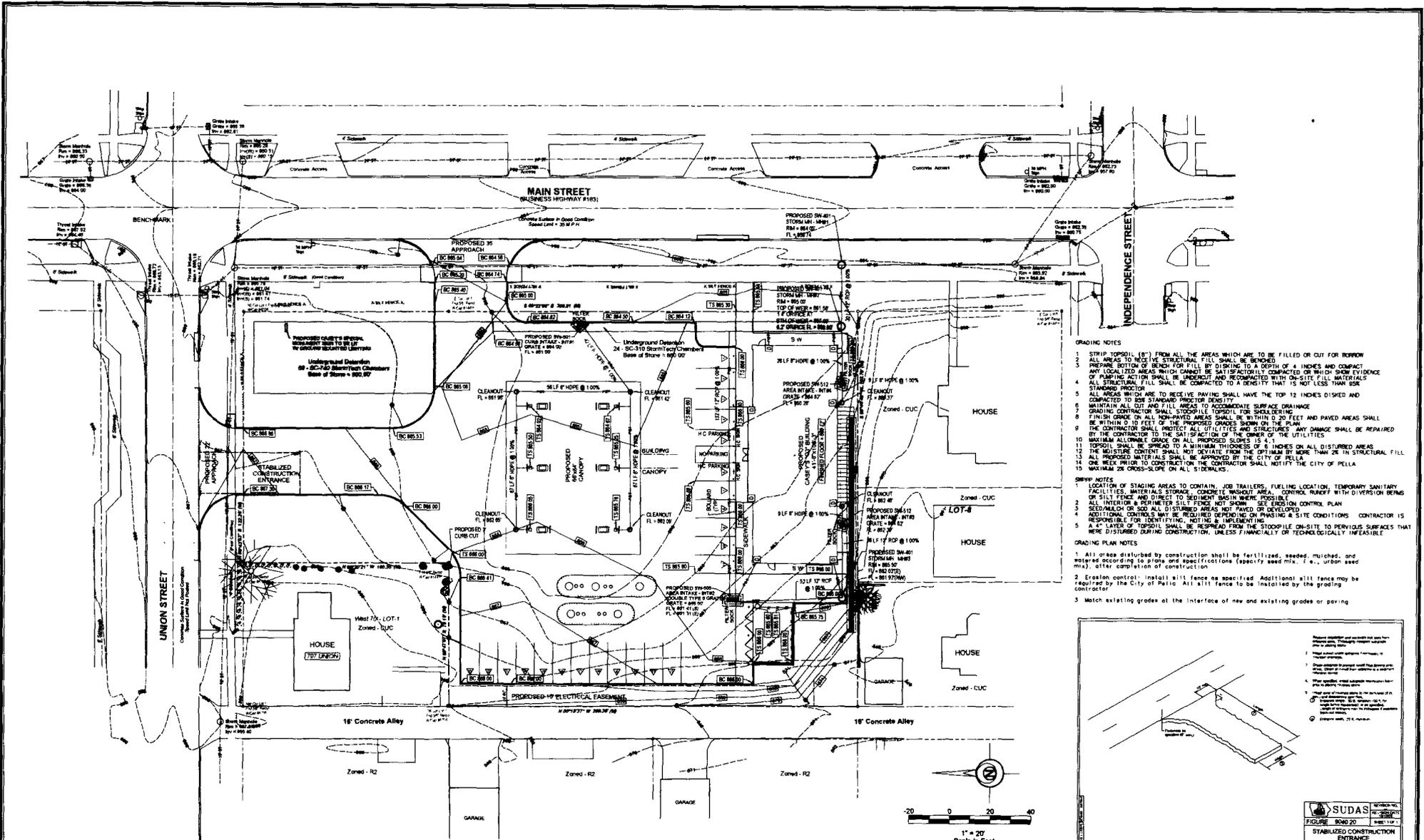
CONTRACTOR'S NOTE
 THIS DRAWING IS BEING MADE AVAILABLE BY A LEO PELDS ENGINEERING COMPANY (LLP) E.C. FOR USE ON THIS PROJECT IN ACCORDANCE WITH I.A.P.C.E. AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P. DISCLAIMS ANY RESPONSIBILITY OR LIABILITY, CONTRACTUAL OR OTHERWISE, FOR ANY USE OF THESE DRAWINGS OR ANY PART THEREOF, EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:		STANDARD SYMBOLS	
●	IRON ROD OR PIPE FOUND	---+---	MORE OR LESS FENCE LINE
○	CALCULATED CORNER	---X---	FIRE HYDRANT
△	SECT. COR. MONUMENT FOUND	---O---	SANITARY SEWER MANHOLE
▲	SECT. COR. MONUMENT CALC.	---○---	STORM SEWER MANHOLE
⊙	POWER POLE	⊙	VALVE
⊙	LIGHT POLE	⊙	SPOT ELEVATION (B.X)
⊙	FINISHED FLOOR	NTS	NOT TO SCALE
		H.M.A.	HOT MIX ASPHALT
		P.C.C.	PORTLAND CEMENT CONCRETE
		W	UTILITY LINE OR PIPE
		WATER	
		G.S.	CAST
		S	SANITARY SEWER
		S	STORM SEWER
		U	UNDERGROUND ELEC. / TEL.
		OHE/T	OVERHEAD ELEC. / TEL.
		CATV	CABLE TELEVISION

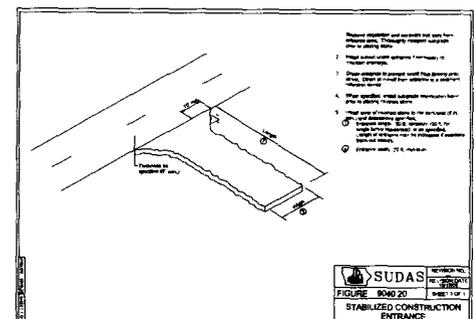
Casey's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

10-20-2015 E Janda NTS 02-18-2016 15-087

COVER - SHEET 1



- GRADING NOTES**
1. STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW
 2. ALL AREAS TO RECEIVE STRIP TOPSOIL FILL SHALL BE BENCHMARKED
 3. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT
 4. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS
 5. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR
 6. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY
 7. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE
 8. FINISH GRADE ON ALL UNPAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADERS SHOWN ON THE PLAN
 9. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES
 10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 4:1
 11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS
 12. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL
 13. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF PELLA
 14. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF PELLA
 15. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS
- STAKE NOTES**
1. LOCATION OF STAGING AREAS TO CONTAIN JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BEING OR SILT FENCE AND STREET TO SEGMENT BEHIND PROPOSED
 2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN - SEE EROSION CONTROL PLAN
 3. SEE DRAWING OR SDP ALL DISTURBED AREAS NOT PAVED OR DEVELOPED
 4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PAVING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING, NOTIFYING & IMPLEMENTING ANY SUCH CONTROLS
 5. A 4" LAYER OF TOPSOIL SHALL BE REAPPLIED FROM THE STOOPPILE ON-SITE TO PERVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE
- GRADING PLAN NOTES**
1. All areas disturbed by construction shall be fertilized, seeded, mulched, and watered according to plans and specifications (specify seed mix, fertilizer used, etc.) after completion of construction
 2. Erosion control - install silt fence as specified. Additional silt fence may be required by the City of Pella. All silt fence to be installed by the grading contractor
 3. Match existing grades at the interface of new and existing grades or paving



EXISTING UTILITIES NOTE
 THE LOCATION OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ANY EXISTING UTILITIES SHOWN OR NOT SHOWN ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-7899)

DISCLAIMER
 THIS DRAWING IS BEING MADE AVAILABLE BY A LEO PELTON ENGINEERING COMPANY (L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALL A.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LEO PELTON ENGINEERING COMPANY. ANY SUCH REPRODUCTION OR TRANSMISSION WITHOUT THE WRITTEN PERMISSION OF LEO PELTON ENGINEERING COMPANY IS PROHIBITED.

LEO PELTON ENGINEERING COMPANY
 2322 Ocean Street, Des Moines, IA 50319 • P.O. Box 4024, Des Moines, IA 50316 • (515) 264-1177 • (515) 268-2526

Engineering | Planning | Surveying

LEGEND

STANDARD SYMBOLS

○	MATCH EXISTING ELEVATION	○	CLEANOUT MORE OR LESS
□	GAS METER	—	FENCE LINE
⊕	PARKING SPACE	—	FIRE HYDRANT
⊕	STREET LIGHT	—	SANITARY SEWER MANHOLE
⊕	POWER POLE	—	STORM SEWER MANHOLE
⊕	LIGHT POLE	—	VALVE
⊕	FINISHED FLOOR	—	BOTTOM OF CURB ELEVATION
⊕		—	TOP OF SLAB ELEVATION
⊕		—	FLOWLINE ELEVATION

○	DOWNSPOUT
—	PROPOSED UTILITY LINE
—	UTILITY LINE OR PIPE
—	WATER
—	WATER METER
—	GAS
—	SANITARY SEWER
—	STORM SEWER
—	UNDERGROUND ELEC / TEL
—	OVERHEAD ELEC / TEL
—	CABLE TELEVISION

Case's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

Number Four Construction of Union & Main
 Elevation as of 08/16/2016

10-28-2016 E. Jordan 1" = 20' 02-16-2016 15-067

STABILIZED CONSTRUCTION ENTRANCE

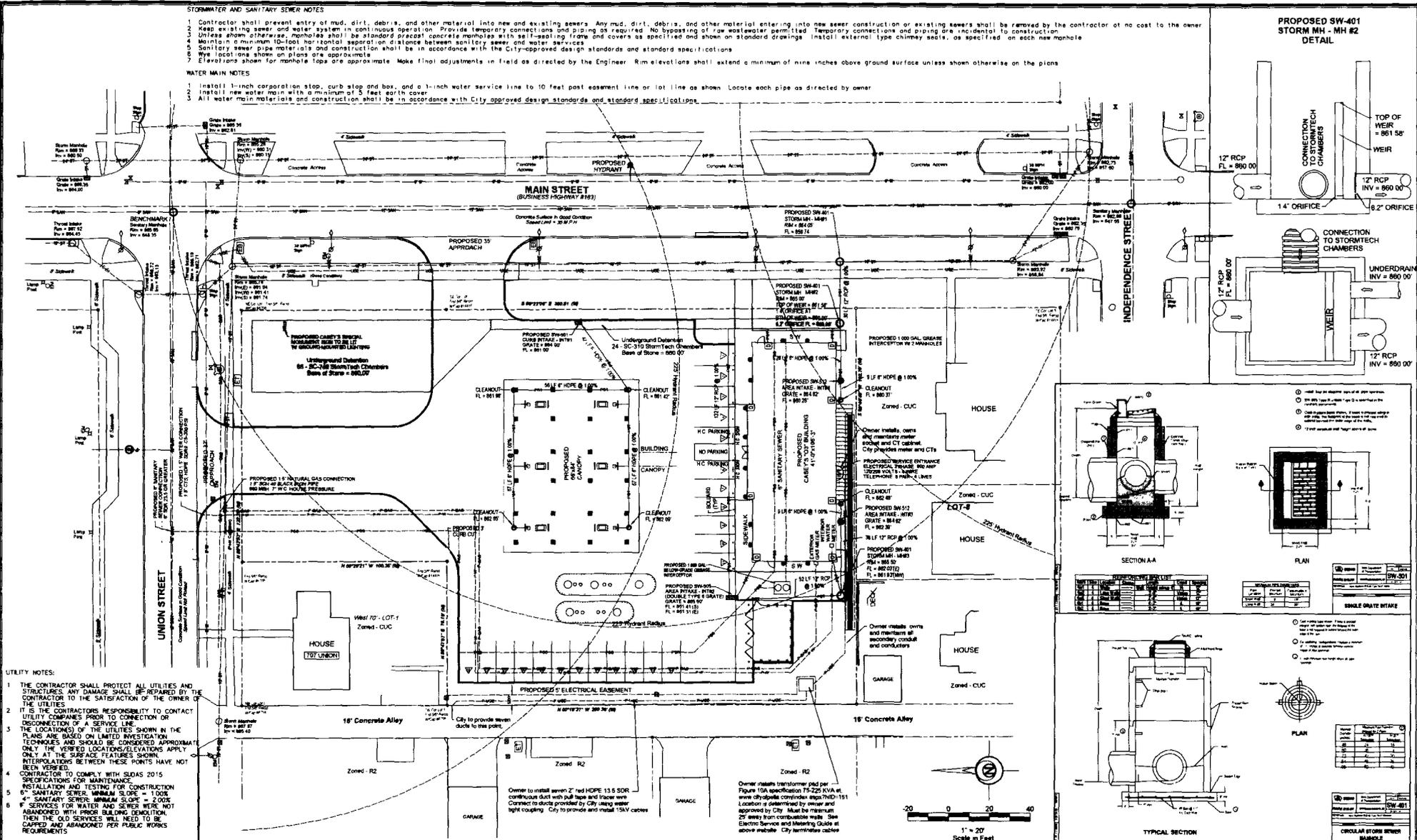
GRADING

STORMWATER AND SANITARY SEWER NOTES

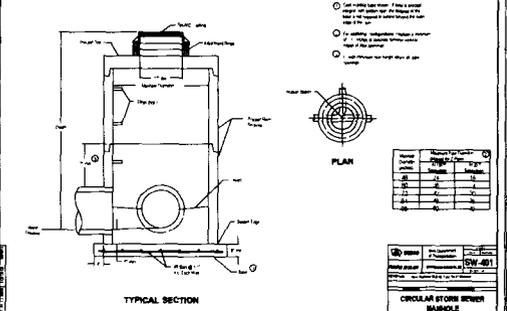
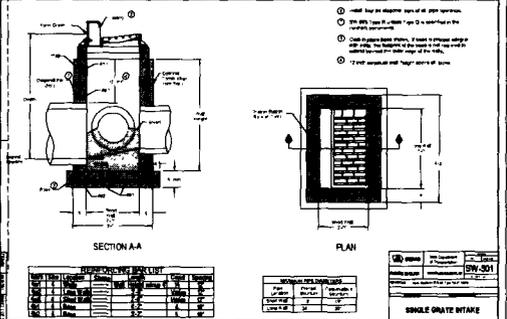
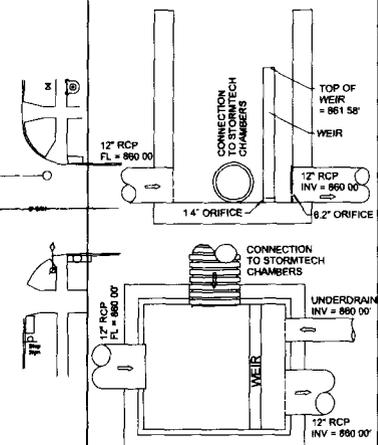
- Contractor shall prevent entry of mud, dirt, debris, and other material into new and existing sewers. Any mud, dirt, debris, and other material entering into new sewer construction or existing sewers shall be removed by the contractor at no cost to the owner. Unless shown otherwise, manholes shall be standard precast concrete manholes with self-sealing frame and covers as specified and shown on standard drawings. Install external type chimney seats, as specified on each new manhole.
- Sanitary sewer pipe materials and construction shall be in accordance with the City-approved design standards and standard specifications.
- Weir locations shown on plans are approximate.
- Elevations shown for manhole tops are approximate. Make final adjustments in field as directed by the Engineer. Rim elevations shall extend a minimum of nine inches above ground surface unless shown otherwise on the plans.

WATER MAIN NOTES

- Install 1-inch corporation stop, curb stop and box, and a 1-inch water service line to 10-foot post-essment line or lot line as shown. Locate each pipe as directed by owner.
- Install new water main with a minimum of 5-foot earth cover.
- All water main materials and construction shall be in accordance with City approved design standards and standard specifications.



PROPOSED SW-401 STORM MH - MH #2 DETAIL



- UTILITY NOTES:**
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
 - THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
 - CONTRACTOR TO COMPLY WITH SDAS 2015 SPECIFICATIONS FOR MAINTENANCE.
 - INSTALLATION AND TESTING FOR CONSTRUCTION OF SANITARY SEWER, MINIMUM SLOPE = 1/8" PER FOOT. SANITARY SEWER, MINIMUM SLOPE = 1/8" PER FOOT.
 - IF SERVICES FOR WATER AND SEWER WERE NOT ABANDONED WITH PRIOR BUILDING DEMOLITION, THEN THE OLD SERVICES WILL NEED TO BE CAPPED AND ABANDONED PER PUBLIC WORKS REQUIREMENTS.

EXISTING UTILITIES NOTE
 THE LOCATION(S) OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEY'S AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (KNOWN OR NOT KNOWN) ARE NOT DAMAGED DURING CONSTRUCTION. (FORM 096-001-001) (1-1-2010) (0-0000)

CONTRACTOR:
 THIS DRAWING IS BEING MADE AVAILABLE BY ALCO P&E ON ENGINEERING COMPANY (ALCO P&E) FOR USE ON THIS PROJECT IN ACCORDANCE WITH ALL P&E AGREEMENTS. FOR MORE INFORMATION, CONTACT ALCO P&E AT (515) 281-1111. (FORM 096-001-001) (1-1-2010) (0-0000)

Engineering - Planning - Surveying
 2323 North Blvd., Des Moines, IA 50319, P.O. Box 4024, Des Moines, IA 50306, P: (515) 281-1111 F: (515) 281-2324

LEGEND:

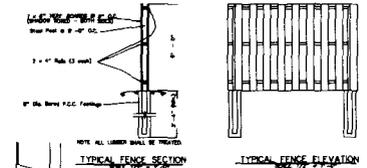
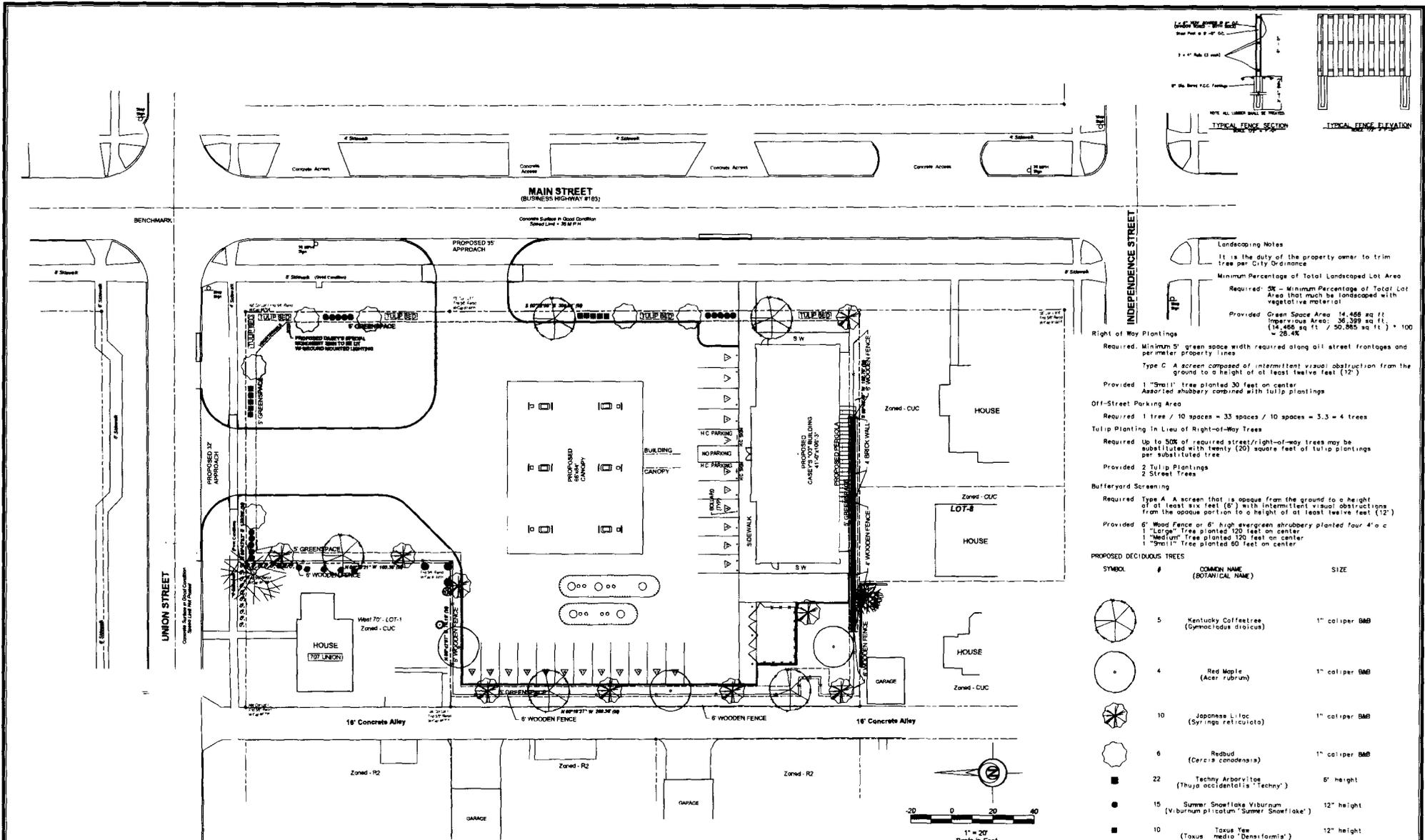
	MATCH EXISTING ELEVATION		GAS METER		FIRE HYDRANT		SANITARY SEWER MANHOLE		STORM SEWER MANHOLE		VALVE		BOTTOM OF CURB ELEVATION		TOP OF CURB ELEVATION		TOP OF SLAB ELEVATION		FLOWLINE ELEVATION		DOWNSPOUT		PROPOSED UTILITY LINE		UTILITY LINE OR PIPE		WATER		WATER METER		GAS		SANITARY SEWER		STORM SEWER		UNDERGROUND ELEC / TEL		OVERHEAD ELEC / TEL		CABLE TELEVISION
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Casey's General Stores
 505-513 Main Street & 705 Union Street
 Peella, Iowa

Manhole Rim @ Intersection of Union & Main
 Coordinates = 860.07 (NAD83)

10-25-2015 E. J. J. 1" = 20' 02-18-2018 14-087

UTILITY



Landscaping Notes
 It is the duty of the property owner to trim tree per City Ordinance
 Minimum Percentage of Total Landscaped Lot Area
 Required: 2% - Minimum Percentage of Total Lot Area that must be landscaped with vegetative material
 Provided: Green Space Area 14,466 sq ft
 Impervious Area: 36,399 sq ft
 (14,466 sq ft / 30,863 sq ft) * 100 = 28.4%

Right of Way Plantings
 Required: Minimum 5' green space width required along all street frontages and perimeter property lines
 Type C A screen composed of intermittent visual obstruction from the ground to a height of at least twelve feet (12')
 Provided: 1 "Small" tree planted 30 feet on center
 Assorted shrubbery combined with tulip plantings

Off-Street Parking Area
 Required: 1 tree / 10 spaces = 33 spaces / 10 spaces = 3.3 = 4 trees
 Tulip Planting In Lieu of Right-of-Way Trees
 Required: Up to 50% of required street/right-of-way trees may be substituted with twenty (20) square feet of tulip plantings per substituted tree
 Provided: 2 Tulip Plantings
 2 Street Trees

Bufferyard Screening
 Required: Type A A screen that is opaque from the ground to a height of at least six feet (6') with intermittent visual obstructions from the opaque portion to a height of at least twelve feet (12')
 Provided: 6' Wood Fence or 6' high evergreen shrubbery planted four 4' o c
 "Large" tree planted 120 feet on center
 "Medium" tree planted 120 feet on center
 "Small" tree planted 60 feet on center

PROPOSED DECIDUOUS TREES

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	5	Kentucky Coffeetree (Gymnocladia dioica)	1" caliper B&B
	4	Red Maple (Acer rubrum)	1" caliper B&B
	10	Japanese Lilac (Syringa reticulata)	1" caliper B&B
	6	Redbud (Cercis canadensis)	1" caliper B&B
	22	Techy Arborvitae (Thuja occidentalis 'Techy')	6' height
	15	Summer Snowflake Viburnum (Viburnum plicatum 'Summer Snowflake')	12" height
	10	Texas Yew (Taxus media 'Densiformis')	12" height

EXISTING UTILITIES NOTE:
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LEGEND: STANDARD SYMBOLS

	MATCH EXISTING ELEVATION		CLEANOUT		DOWNSPOUT
	GAS METER		FIRE HYDRANT		PROPOSED UTILITY LINE
	PARKING SPACE		SANITARY SEWER MANHOLE		UTILITY LINE OR PIPE
	STREET LIGHT		STORM SEWER MANHOLE		WATER
	POWER POLE		VALVE		WATER METER
	LIGHT POLE		BOTTOM OF CURB ELEVATION		SANITARY SEWER
	FINISHED FLOOR		TOP OF CURB ELEVATION		STORM SEWER
			FLOW LINE ELEVATION		UNDERGROUND ELEC / TEL
					OVERHEAD ELEC / TEL
					CABLE TELEVISION

Casey's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

Marketed Area: 8' Intersection of Union & Main
 Division: 100' SEE NAVY 80

10-20-2019 J. S. Jacobs 1" = 20' 02-18-2018 15-067

LANDSCAPING

General Notes

- 1 The contractor shall notify the City of Peella, Developer's engineer and One-Call 48 hours prior to commencing construction and prior to culvert construction and backfill, utility construction, subgrade prep, main line paving, roundabout paving and box-out paving
- 2 All construction shall be in accordance with the Statewide Urban Standard Specifications for Public Improvements, current at the commencement of construction
- 3 The contractor and developer's engineer shall attend a pre-construction conference as required with the Public Works Department prior to commencement of construction
- 4 The contractor shall verify the location and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor at the contractor's expense to the satisfaction of the city and the owner
- 5 The contractor shall be responsible for recording the as-built location of all sanitary sewer, sump and water main services
- 6 Reconnect any field tile that are intercepted during construction
- 7 The contractor shall be responsible for installing and maintaining traffic control in accordance with the manual on uniform traffic control devices
- 8 A representative from the cable concrete supplier, construction specifications, shall be on-site at all times to direct the placement, embedment, anchoring, grouting and clamping of the mats
- 9 The space between the cable concrete cells located on the side slopes of the channel shall be backfilled with topsoil and seeded with crown vetch
- 10 The developer's engineer shall provide as-built meters and files in electronic format to the City of Peella prior to acceptance of the public improvements
- 11 Public sidewalk access will need to be maintained through construction by temporary sidewalks or approved signed detour routes
- 12 Roadway and sidewalk pavements damaged by construction operations will need to be replaced per City standard to the nearest joint line

Sanitary sewer typical notes

- 1 All 8" sanitary sewer shall be pvc truss pipe with class "B" bedding unless otherwise noted on the drawings
- 2 The contractor shall install sewer tape at the end of each sanitary sewer service
- 3 All inverts located at an elevation above the centerline of the existing through pipe and less than 2' above the manhole floor shall have a poured-in-place sloped invert
- 4 All manholes within pavement shall have type "B" adjustable coatings and internal chimney seals. All manholes not within pavement shall have type "A" non-adjustable coatings and external chimney seals
- 5 All 4" and 6" sanitary sewer services shall be SDR 35 in accordance with Urban Standard Specifications. All services shall be extended 10' inside lot lines unless otherwise noted on plans
- 6 Manhole steps are required in all sanitary sewer manholes
- 7 Manhole covers shall have raised diamond roughness pattern
- 8 The contractor shall televise every sanitary sewer line and provide a copy of the video tape and file in WindOn format to Peella Public Works. Using a 500 gallon tank and garden hose, the contractor shall gravity flow water down the pipe during televising so dips and sags can be identified. The City shall notify the contractor of any necessary cleaning and/or repairs. The contractor shall jet clean and vacuum any section of pipe, from manhole to manhole, with mud or debris more than 1" deep, along with any downstream segments as required due to this construction. These segments shall then be re-televised to demonstrate pipes are clean. If repairs, if necessary, and televising shall be of the contractor's expense
- 9 Special sanitary sewer connections shall be made with 441 style watermain clamp
- 10 Provide shop drawings for manhole inverts for approval by City prior to ordering or installing manholes

Storm sewer notes

- 1 All intake coatings shall have Phase 2 environmental symbology or text
- 2 Additional rip-rap may be required at the SES based upon field review by City of Peella
- 3 Provide subdrain behind back of curb on public streets as required based on subsurface moisture conditions. Connect subdrain to storm sewer intake using RCP pipe beneath pavement
- 4 All intakes shall have vane grates
- 5 8-inch leading drains to be PVC, SDR 35
- 6 Footing drain services to be 4-inch PVC, SDR 35. Estand services 10' inside lot unless otherwise noted
- 7 All intakes shall be located a minimum of 2.5 feet from end of returns
- 8 The contractor shall provide a minimum of 3'-6" cover on all storm sewer, including sump services
- 9 All intakes shall be poured-in-place concrete structures

Water main typical notes

- 1 Pipe materials shall be ANMA C900 class 150 PVC
- 2 install No. 10 thin standard copper tracer wire under pipe, bring tracer wire to surface at hydrant with receptacle box
- 3 Connect new tracer to existing using approved splice kit and provide a ground rod at end of tracer wire for location and extension in future. The City will test the tracer wire prior to acceptance of plot and repairs, if any, shall be at the contractor's expense
- 4 Hydrants shall be set 3.5 feet from the water main
- 5 Hydrants, manhole covers and valve boxes shall be set to conform to finished pavement elevations
- 6 Hydrants to be Mueller or Clove fire hydrants, painted yellow
- 7 Services to be 1-inch copper
- 8 Stop bases for 1" through 2" water service lines shall include a stainless steel self-centering rod with stainless steel collar pin within the a stop box housing with an 1" extendable upper section and lid with 1" pentagon plug. All stop box installations shall be completed in such a manner that the lid is allow to raise with the frost and lower if driven over with out damage to curb valve. Finish grade of the lid shall be level with the surrounding surface and does not present a hazard to the public
- 9 Water main to have 3 feet bury, typical except at critical crossings
- 10 All valves shall have a valve box adapter installed to maintain alignment
- 11 The contractor shall remove chains on all hydrants
- 12 The contractor shall work with the City of Peella Water Department when operating existing valves. Water shall not be turned on without prior approval of the City of Peella
- 13 Water can not be used by the contractor unless it is part of the purification process of the new main. Water needed for any reason after bacteria testing has been completed and passed will need prior approval from the City of Peella
- 14 Provide 2" blow-off at the terminal end of the 8" water line.

LEO PELLS ENGINEERING COMPANY, INC.
 Engineering | Planning | Surveying
 2025 Dixon Street, Des Moines, IA 50316 P: 515 281 4276, Fax 515 281 4288 F: 515 281 9195 F: 515 281 2283

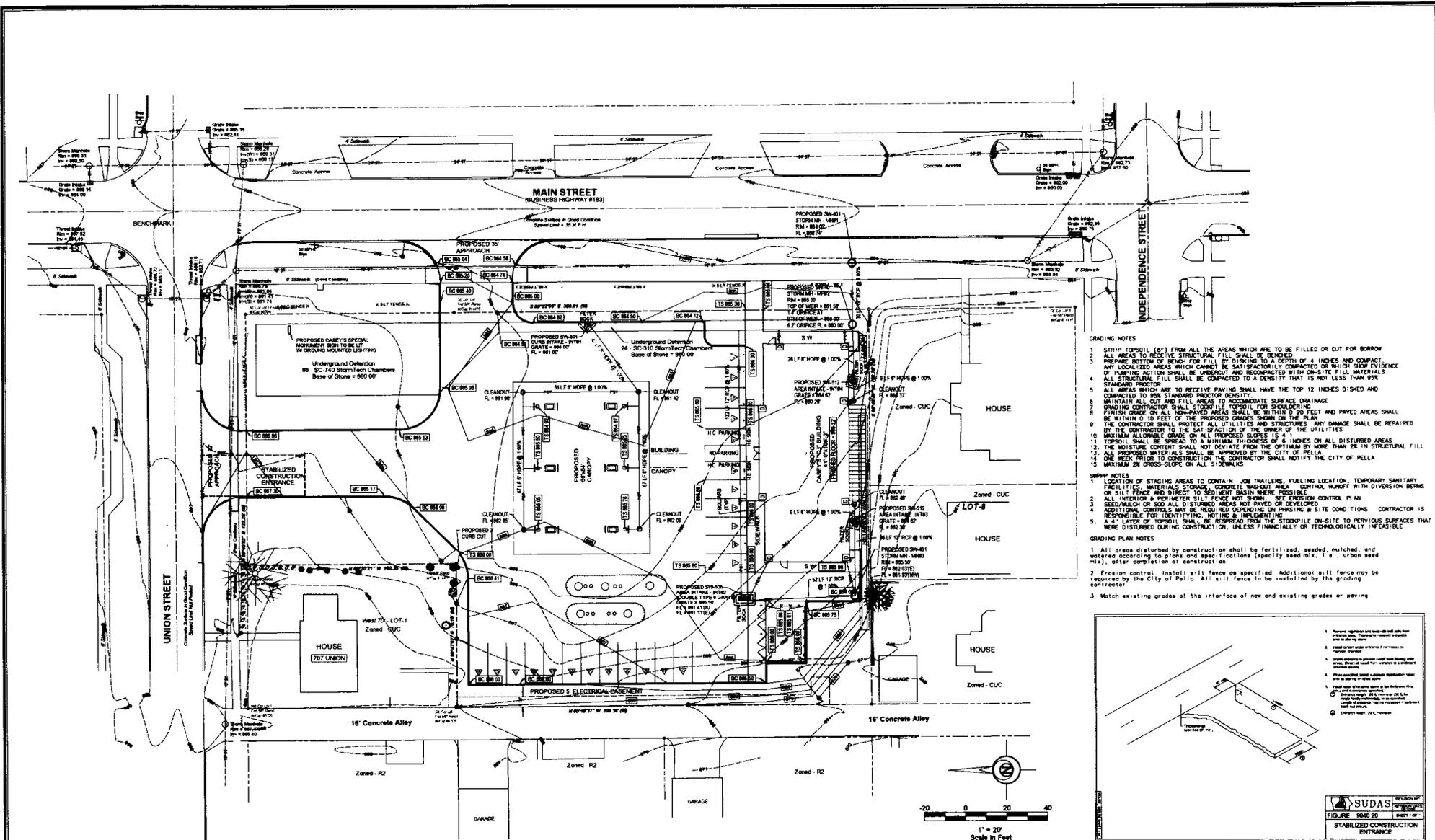
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LEGEND:		STANDARD SYMBOLS		MORE OR LESS		P.C.C.	
+	IRON ROD OR PIPE FOUND	+	FENCE LINE	---	PORTLAND CEMENT CONCRETE	---	UTILITY LINE OR PIPE
•	CALCULATED CORNER	•	FIRE HYDRANT	W	WATER	G	GAS
•	SECT. COR. MONUMENT FOUND	•	SANITARY SEWER MANHOLE	S	SANITARY SEWER	S	STORM SEWER
•	SECT. COR. MONUMENT CALC.	•	SPOT ELEVATION (•x)	ST	UNDERGROUND ELEC. / TEL.	U	OVERHEAD ELEC. / TEL.
•	POWER POLE	125.3	NOT TO SCALE	OVHT	CABLE TELEVISION		
•	LIGHT POLE	N.T.S.	H.M.A.				
•	FINISHED FLOOR						

Casey's General Stores
 505-513 Main Street & 705 Union Street
 Peella, Iowa

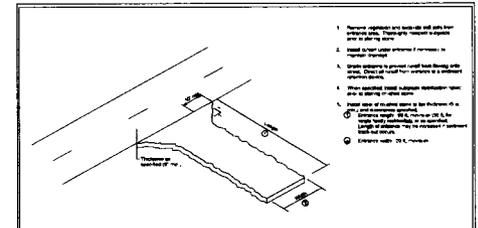
15-20-2016	E. Jordan	NTS	02-15-2016	15-087
300 P&E/CSL/PLB/LSW Typical Notes				



- GRADING NOTES**
- 1 STRIP TOPSOIL (2") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW
 - 2 ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHMARKED
 - 3 PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT
 - 4 ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS
 - 5 ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN PER STANDARD PRACTICE
 - 6 ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO PER STANDARD PRACTICE DENSITY
 - 7 MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE
 - 8 GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING
 - 9 FINISH GRADE ON ALL NONPAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED DIMENSIONS SHOWN ON THE PLAN
 - 10 THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES
 - 11 MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 4%
 - 12 TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 8 INCHES ON ALL DISTURBED AREAS
 - 13 THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL
 - 14 ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF PELLA
 - 15 ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF PELLA
 - 16 MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS

- SMIPPY NOTES**
- 1 LOCATION OF STAGING AREAS TO CONTAIN JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE BATCHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERM OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE
 - 2 ALL INTERIOR PERIMETER SILT FENCE NOT SHOWN - SEE EROSION CONTROL PLAN
 - 3 REVISION OF SIZE ALL DISTURBED AREAS NOT PAVED OR DEVELOPED
 - 4 ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON CHANGING SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTIFYING & IMPLEMENTING
 - 5 A 4" LAYER OF TOPSOIL SHALL BE SPREAD FROM THE STOCKPILE ON-SITE TO PREVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIAL OR TECHNOLOGICALLY FEASIBLE

- GRADING PLAN NOTES**
- 1 All areas disturbed by construction shall be fertilized, seeded, mulched, and watered according to plans and specifications (specify seed mix, i.e., urban seed mix), after completion of construction.
 - 2 Erosion control install silt fence as specified. Additional silt fence may be required by the City of Pella. All silt fence to be installed by the grading contractor.
 - 3 Match existing grades at the interface of new and existing grades or paving.



SUDAS SURVEYING & DESIGN
 FIGURE 0240 20
 STABILIZED CONSTRUCTION ENTRANCE

Engineering | Planning | Surveying
 3223 Union Street, Des Moines, IA 50316 P.O. Box 6886, Des Moines, IA 50309 P: (515) 281-4166 F: (515) 281-2228

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LEGEND

○	CLEANOUT	○	DOWNSPROUT
○	MORE OR LESS	○	PROPOSED UTILITY LINE
○	FENCE LINE	—	UTILITY LINE OR PIPE
○	FIRE HYDRANT	—	WATER METER
○	SANITARY SEWER MANHOLE	—	GAS
○	STORM SEWER MANHOLE	—	SANITARY SEWER
○	VALVE	—	STORM SEWER
○	BOTTOM OF CURB ELEVATION	—	UNDERGROUND ELEC. / TEL
○	TOP OF CURB ELEVATION	—	OVERHEAD ELEC. / TEL
○	TOP OF SLAB ELEVATION	—	CABLE TELEVISION
○	FLOWLINE ELEVATION	—	

Casey's General Stores
 505-513 Main Street & 705 Union Street
 Pella, Iowa

Marked Plan @ Intersection of Union & Main
 Elevation = 882.00 (881.00) (881.00)

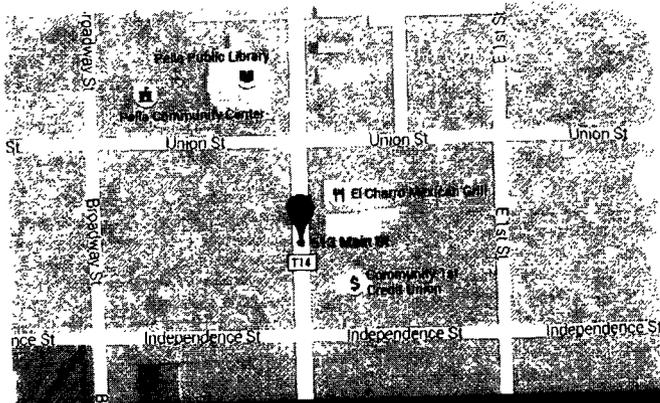
16-26-2016 E. Joshi 1" = 20' 02-18-2016 15-087

leonard associates

7437 BRIDGETOWN RD SUITE 200 CINCINNATI OH 45248
616.315.1414 • info@leonard.com

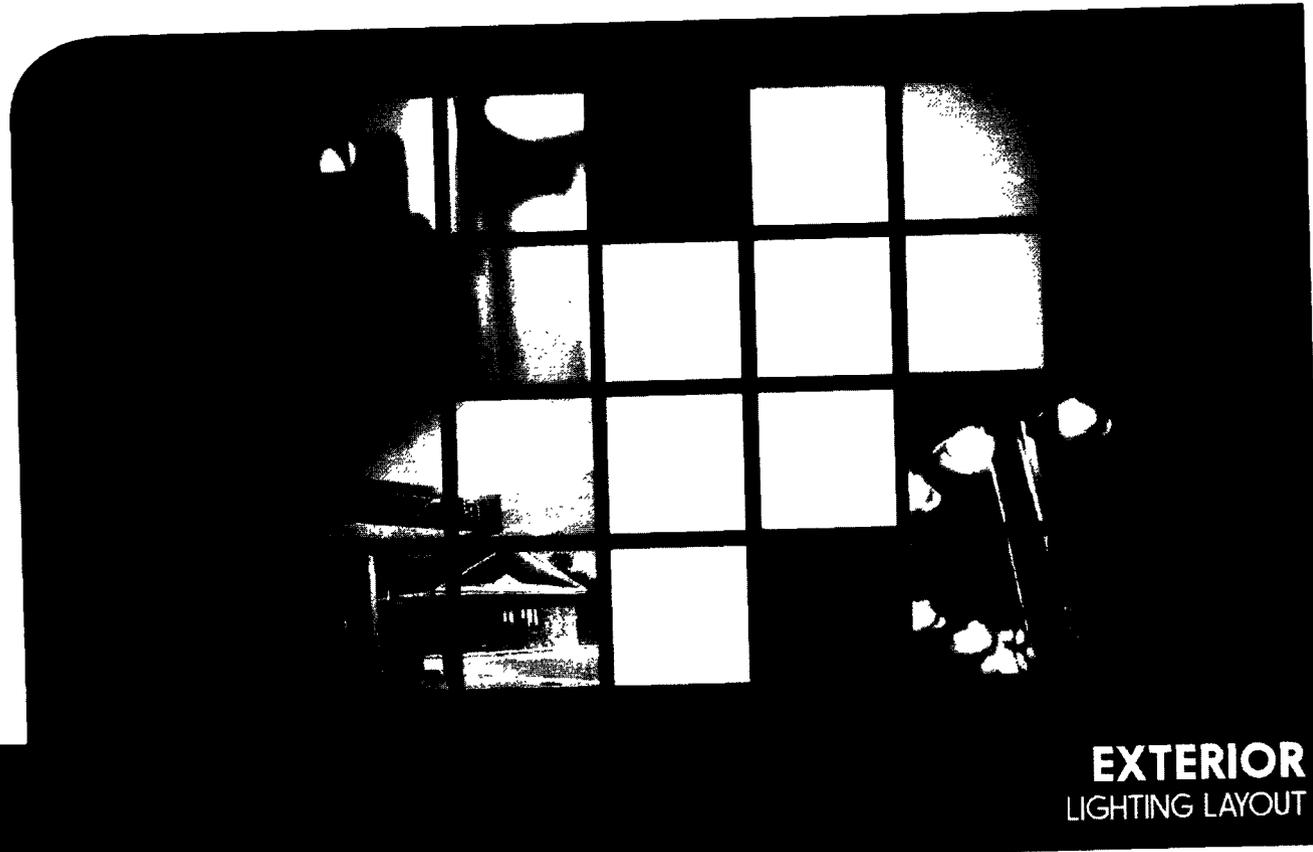
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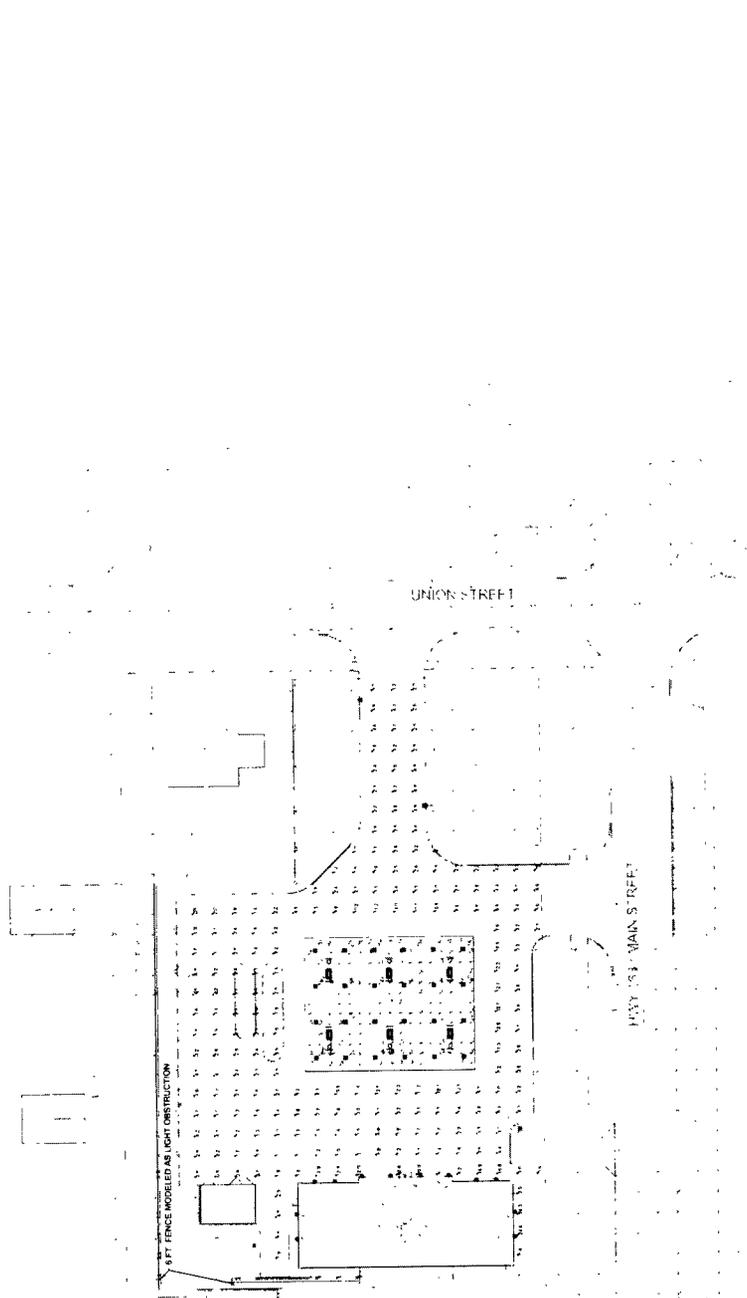


SCAN CODE FOR SITE LOCATION

Exterior Photometric Application
Fixture Detail
Fixture Specification



EXTERIOR LIGHTING LAYOUT



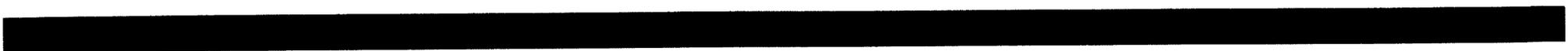
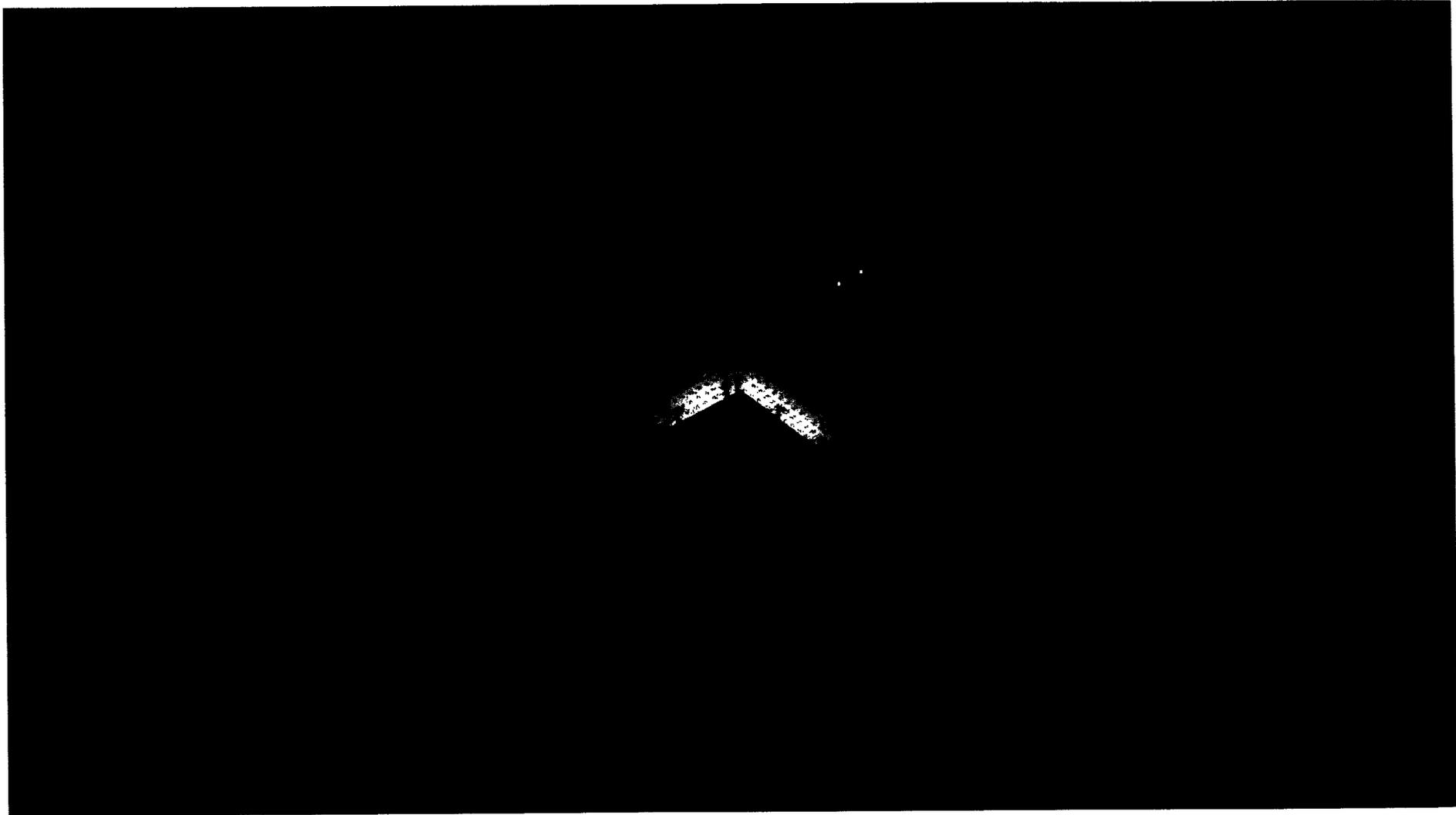
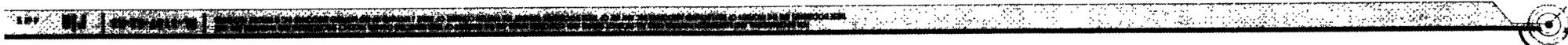
NOTE: ALL AREA LIGHTS ON 18 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

LABEL	AVD	MAX	MIN	AVG/WTG	MAX/WTG
PAVED	4.49	24.4	0.6	7.48	40.07
UNSEINFED	0.11	8.7	0.0	N/A	N/A
UNDER CANOPY	43.74	56	24	1.82	2.42

LUM. NO.	LABEL	MTG. HT.
1	A3	17'
2	A3B	17'
3	A3B	17'
4	A4B	17'
5	A4B	17'
6	A4B	17'
7	A4B	17'
8	C1	18.5
9	C1	18.5
10	C1	18.5
11	C1	18.5
12	C1	18.5
13	C1	18.5
14	C1	18.5
15	C1	18.5
16	C1	18.5
17	C1	18.5
18	C1	18.5
19	C1	18.5
20	C1	18.5
21	C1	18.5
22	C1	18.5
23	C1	18.5
24	C1	18.5
25	C1	18.5
26	C1	18.5
27	C1	18.5
28	C1	18.5
29	C1	18.5
30	C1	18.5
31	C1	18.5
32	C1	18.5
33	C1	18.5
34	E1	10
35	E1	10
36	E1	10
37	E1	10
38	E1	10
39	E1	10
40	E1	10
41	E1	10
42	E1	10
43	E1	10

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMEN/B	U/P	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	2	A3	SINGLE	1800	1.80	15	208	CREE, INC	ARE-EDS-180-DR-E-U-4-0/10
	2	A4	SINGLE	1800	1.80	15	210	CREE, INC	ARE-EDS-180-DR-E-U-4-0/10
	2	C1	SINGLE	1320	1.32	15	324	CREE, INC	ARE-EDS-132-DR-E-U-4-0/10





AREA

- ARE-EDG-3M-DA-06-E-UL-BZ-700
- ARE-EDG-3MB-DA-06-E-UL-BZ-700
- ARE-EDG-4MB-DA-06-E-UL-BZ-700

Cree Edge™ Series

LED Area Flood Luminaires

Product Specifications:
 The Cree Edge™ Series is a family of high performance, high quality LED area flood luminaires. The Cree Edge™ Series is designed to provide high quality, long life, and energy efficient lighting for a wide range of applications. The Cree Edge™ Series is available in three models: 3M, 3MB, and 4MB. The Cree Edge™ Series is available in three beam spreads: 10°, 15°, and 25°. The Cree Edge™ Series is available in three colors: white, silver, and black.

Performance Summary

Maximum Power Output: 100W
Maximum Power Factor: 0.95
Maximum Efficiency: 100lm/W
Maximum Life: 50,000 hours

Model	Power (W)	Beam Spread	Color
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	10°	White
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	15°	White
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	25°	White
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	10°	Silver
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	15°	Silver
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	25°	Silver
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	10°	Black
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	15°	Black
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	25°	Black

Model	Power (W)	Beam Spread	Color	Life (hours)	Efficiency (lm/W)	Power Factor
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	10°	White	50,000	100	0.95
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	15°	White	50,000	100	0.95
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	25°	White	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	10°	Silver	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	15°	Silver	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	25°	Silver	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	10°	Black	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	15°	Black	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	25°	Black	50,000	100	0.95



2500 Type LED Area Flood Luminaires

LED Area Flood Luminaires

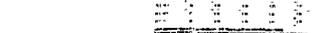
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Maximum Power Output: 100W
Maximum Power Factor: 0.95
Maximum Efficiency: 100lm/W
Maximum Life: 50,000 hours

Model	Power (W)	Beam Spread	Color
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	10°	White
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	15°	White
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	25°	White
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	10°	Silver
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	15°	Silver
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	25°	Silver
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	10°	Black
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	15°	Black
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	25°	Black

Model	Power (W)	Beam Spread	Color	Life (hours)	Efficiency (lm/W)	Power Factor
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	10°	White	50,000	100	0.95
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	15°	White	50,000	100	0.95
ARE-EDG-3M-DA-06-E-UL-BZ-700	100	25°	White	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	10°	Silver	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	15°	Silver	50,000	100	0.95
ARE-EDG-3MB-DA-06-E-UL-BZ-700	100	25°	Silver	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	10°	Black	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	15°	Black	50,000	100	0.95
ARE-EDG-4MB-DA-06-E-UL-BZ-700	100	25°	Black	50,000	100	0.95



CANOPY

CAN-304-SL-R5-06-E-UL-WH-700

304 Series™

LED Network Canopy Luminaires

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Performance Summary

Maximum Power Output: 100W
Maximum Power Factor: 0.95
Maximum Efficiency: 100lm/W
Maximum Life: 50,000 hours

Model	Power (W)	Beam Spread	Color
CAN-304-SL-R5-06-E-UL-WH-700	100	10°	White
CAN-304-SL-R5-06-E-UL-WH-700	100	15°	White
CAN-304-SL-R5-06-E-UL-WH-700	100	25°	White

Model	Power (W)	Beam Spread	Color	Life (hours)	Efficiency (lm/W)	Power Factor
CAN-304-SL-R5-06-E-UL-WH-700	100	10°	White	50,000	100	0.95
CAN-304-SL-R5-06-E-UL-WH-700	100	15°	White	50,000	100	0.95
CAN-304-SL-R5-06-E-UL-WH-700	100	25°	White	50,000	100	0.95



2500 Type LED Network Canopy Luminaires

LED Network Canopy Luminaires

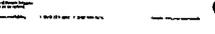
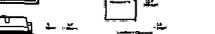
Product Specifications:
 The Cree Edge™ Series is a family of high performance, high quality LED area flood luminaires. The Cree Edge™ Series is designed to provide high quality, long life, and energy efficient lighting for a wide range of applications. The Cree Edge™ Series is available in three models: 3M, 3MB, and 4MB. The Cree Edge™ Series is available in three beam spreads: 10°, 15°, and 25°. The Cree Edge™ Series is available in three colors: white, silver, and black.

Performance Summary

Maximum Power Output: 100W
Maximum Power Factor: 0.95
Maximum Efficiency: 100lm/W
Maximum Life: 50,000 hours

Model	Power (W)	Beam Spread	Color
CAN-304-SL-R5-06-E-UL-WH-700	100	10°	White
CAN-304-SL-R5-06-E-UL-WH-700	100	15°	White
CAN-304-SL-R5-06-E-UL-WH-700	100	25°	White

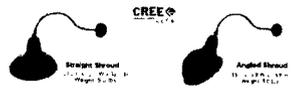
Model	Power (W)	Beam Spread	Color	Life (hours)	Efficiency (lm/W)	Power Factor
CAN-304-SL-R5-06-E-UL-WH-700	100	10°	White	50,000	100	0.95
CAN-304-SL-R5-06-E-UL-WH-700	100	15°	White	50,000	100	0.95
CAN-304-SL-R5-06-E-UL-WH-700	100	25°	White	50,000	100	0.95



GOOSENECK

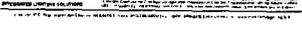
E-DG1L13USK

Product Specifications:
 The Cree Edge™ Series is a family of high performance, high quality LED area flood luminaires. The Cree Edge™ Series is designed to provide high quality, long life, and energy efficient lighting for a wide range of applications. The Cree Edge™ Series is available in three models: 3M, 3MB, and 4MB. The Cree Edge™ Series is available in three beam spreads: 10°, 15°, and 25°. The Cree Edge™ Series is available in three colors: white, silver, and black.



Model	Power (W)	Beam Spread	Color
E-DG1L13USK	100	10°	White
E-DG1L13USK	100	15°	White
E-DG1L13USK	100	25°	White

Model	Power (W)	Beam Spread	Color	Life (hours)	Efficiency (lm/W)	Power Factor
E-DG1L13USK	100	10°	White	50,000	100	0.95
E-DG1L13USK	100	15°	White	50,000	100	0.95
E-DG1L13USK	100	25°	White	50,000	100	0.95





CROWN-WELDED SQUARE STRAIGHT STEEL POLES

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RECOMMENDED CREE® OUTDOOR LUMINAIRE LUMEN MAINTENANCE FACTORS (LMF)

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CREE TRUEWHITE® TECHNOLOGY & CRI (COLOR RENDERING INDEX)

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NanoOptic® TECHNOLOGY

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WARRANTY INFORMATION

click or scan for information



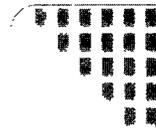
TENON AND POLE MOUNT LIMITED WARRANTY

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CREE LIGHTING SELECTION GUIDE

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DesignLight Consortium® (IDLC QUALIFIED PRODUCTS LIST)

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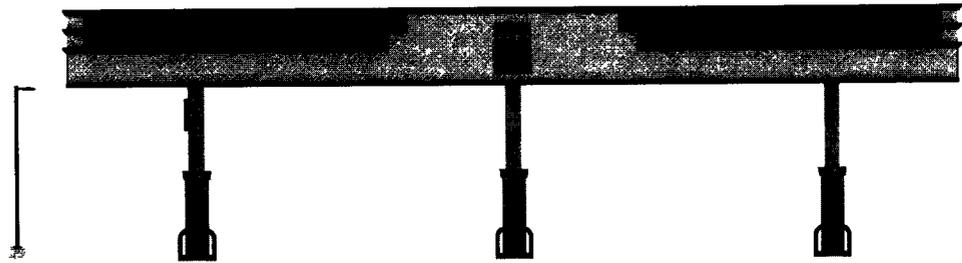
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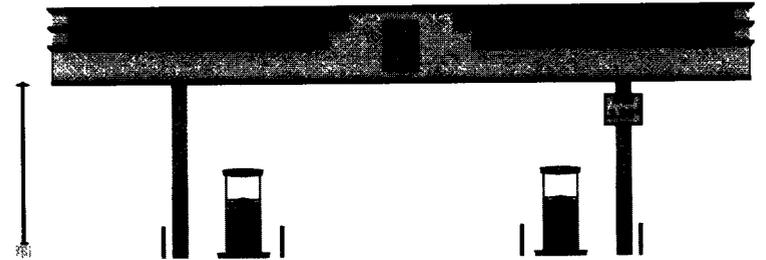
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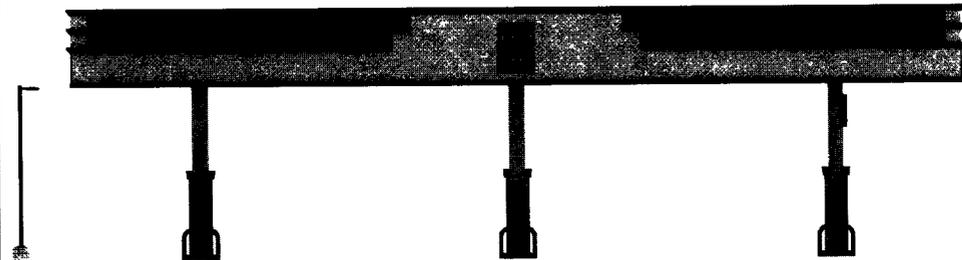




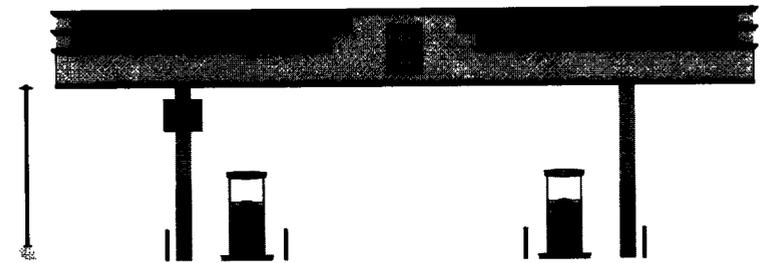
FRONT



RIGHT

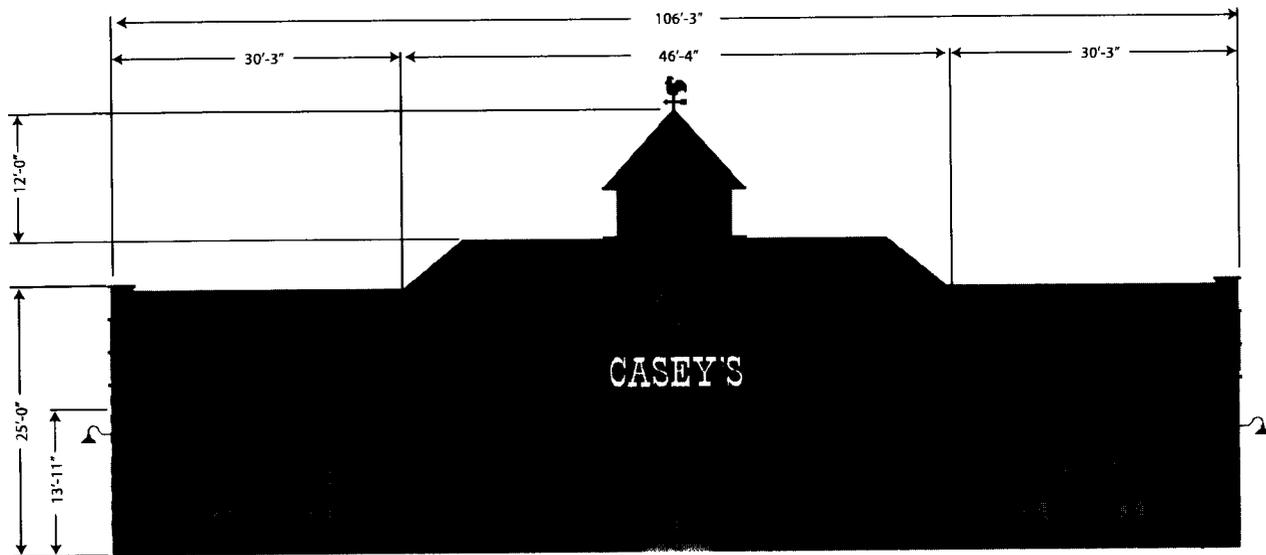


REAR

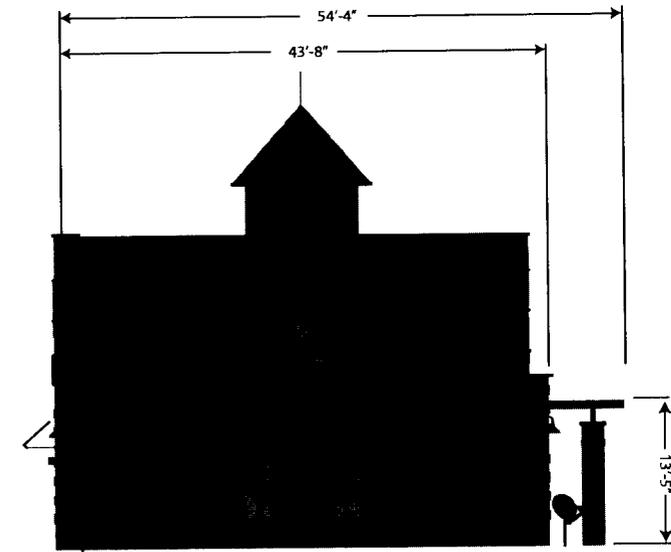


LEFT

 **PELLA, IA**
GASOLINE CANOPY (OPTION 1)
DRAWN BY: J. CLARK
DATE: 02-15-16

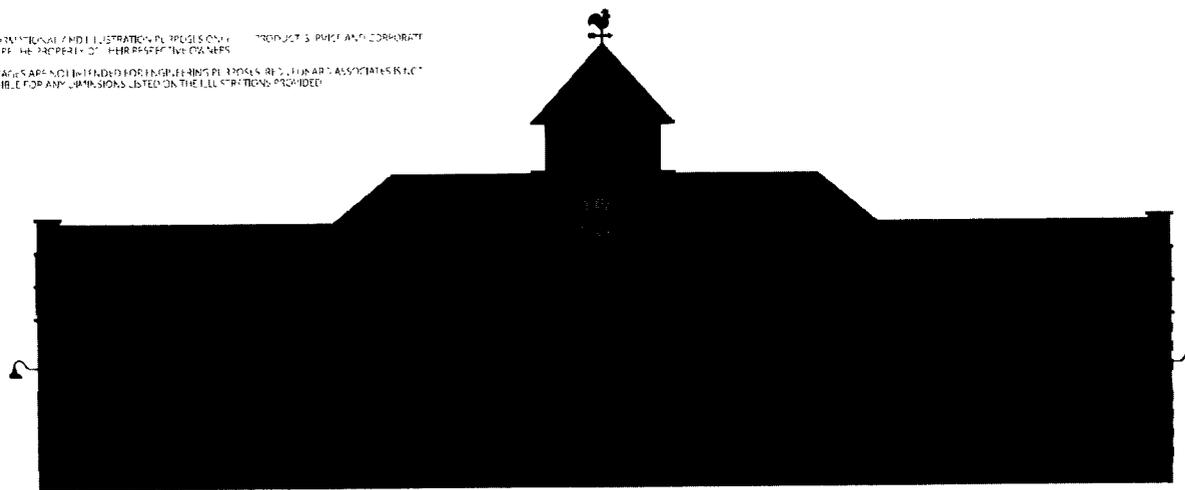


FRONT

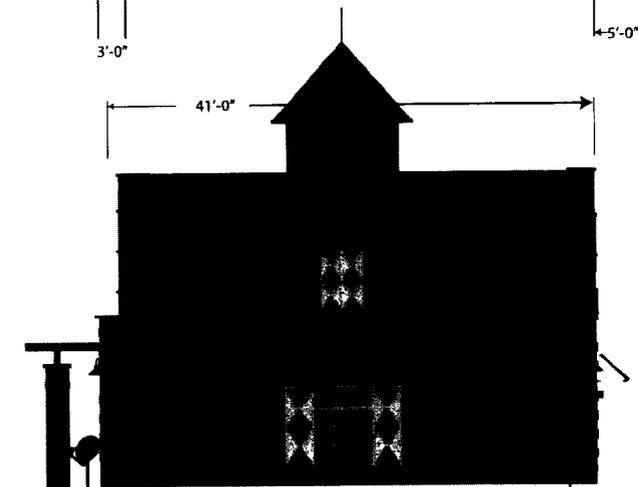


RIGHT

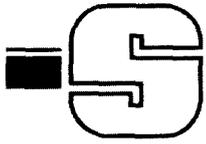
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REAR



LEFT



Memorandum

To: Denny Buyert, Pella Public Works Director

From: Justin Jackson, P.E.

Date: February 9, 2016

CC: Kathleen Conner

RE: Casey's Proposed Site - Union Street & Main Street
Traffic Impact Review of Proposed Development
City of Pella
S&A Project Number: 115.0932

Location: Proposed Casey's site is the southwest quadrant of Main Street & Union Street intersection, composed of vacant parcels west of Main Street.

Concern: Casey's has proposed to develop the vacant lots in the southwest quadrant of the Union Street & Main Street intersection. The proposed site will generate additional traffic on Main Street and Union and divert existing traffic on Main Street and Union Street to the site. The additional traffic along with changing traffic pattern is of concern due to the existing commercial development to the east and residential properties to the west of this proposed site.

*Existing
Conditions:*

Geometry: Main Street is a two-lane roadway with sidewalk on both sides. Parking is prohibited along Main Street. Union Street is a two-lane roadway with sidewalk on both sides. Parking is prohibited on the north side of Union Street.

Three commercial accesses exist along the east side of Main Street with the Pizza Ranch access closest to the proposed Casey's access on Main Street. This is a one-way entrance only access into Pizza Ranch, approximately 35 feet south of the proposed Casey's access.

*Speed
Limit:* 30 mph Main Street
25 mph (unposted) Union Street

*Traffic
Control:* STOP control for eastbound and westbound approaches on Union Street.

*Traffic
Volumes:* The Iowa DOT collected 24-hour tube counts along Main Street in 2014. Figure 1 below shows the annual average daily traffic volume at the DOT count locations. The highlighted traffic volumes are the closest traffic counts to the intersection of Main Street with Union Street. The proposed Casey's site is also identified in Figure 1 with text box.

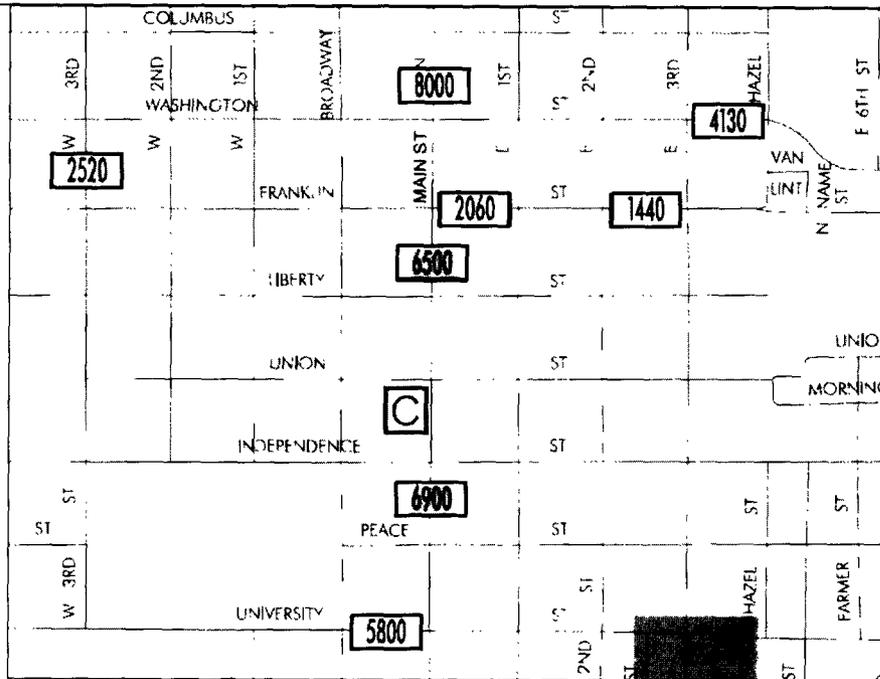


Figure 1: 2014 Daily Traffic Volumes

Crash History:

Iowa DOT 2011 – 2015 crash data was reviewed for the study intersection and adjacent roadways. A summary of the crash data is included in the appendix. The intersection crash rate for the study intersection is 0.57 crashes per million entering vehicles (MEV) assuming 1,000 vehicles entering the intersection on both east and west. The statewide average crash rate for similar intersection is 0.8 crashes/MEV. Table 1 is a summary of the crashes reported at the intersection of Union Street and Main Street. No crashes were reported from Union Street to Independence Street excluding crashes at the intersections of Main Street with Union Street and Independence Street from 2011 to 2015.

Year	Fatal	Major Injury	Minor Injury	Possible/Unknown	PDO	Total
2011	-	-	-	-	1	1 (0)
2012	-	-	-	-	1	1 (0)
2013	-	-	-	-	1	1 (0)
2014	-	-	-	1 (3)	3	4 (3)
2015	-	-	-	-	2	2 (0)
Total	0 (0)	0 (0)	0 (0)	1 (3)	8	9 (3)

Table 1: Union St & Main St Reported Crashes (Injuries) by Severity

Proposed Development:

The proposed Casey’s Store is 4,350 square feet building with 6 fueling pumps (12 fueling positions). Current site plan is attached in appendix. Total number of trips generated by the site including new trips and pass-by trips are listed below for the AM and PM peak hours. Pass-by trips are existing vehicles on the adjacent roadway diverted into the site. Trip generation rates, pass-by trip rates and trip generation procedures are from published trip generation data and methods listed in Institute of Transportation Engineers’ *Trip Generation Manual 9th Edition*

AM Peak Hour	PM Peak Hour
63% Pass-by	66% Pass-by
50%/50% Entering/Exiting	50%/50% Entering/Exiting
180 Total Trips	230 Total Trips
65 New trips	80 New trips
115 Pass-by Trips	150 Pass-by Trips

The proposed site has one access on Union Street and one access on Main Street. The estimated trip distribution is shown in Figure 2.

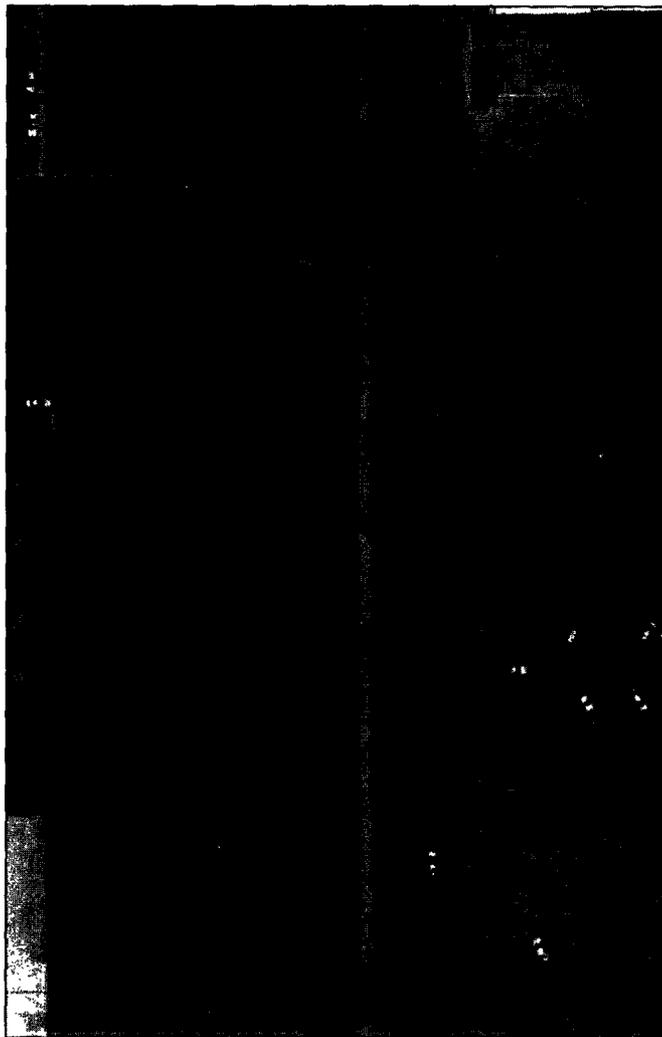


Figure 2: Trip Distribution

The number of new trips on Main Street and Union Street are listed in Table 2.

Table 2: New Trips per Location

Location	AM Peak Hour	PM Peak Hour	Daily
Union St (east of Casey's)	5	10	130
Union St (west of Casey's)	5	10	130

Main St (north of Casey's)	30	30	520
Main St (south of Casey's)	25	30	520

The AM and PM peak hour total trips entering and exiting the site are shown in Figure 3 and Figure 4. Figure 5 shows the daily number of new trips and pass-by trips.



Figure 3: AM Peak Hour Total Trips

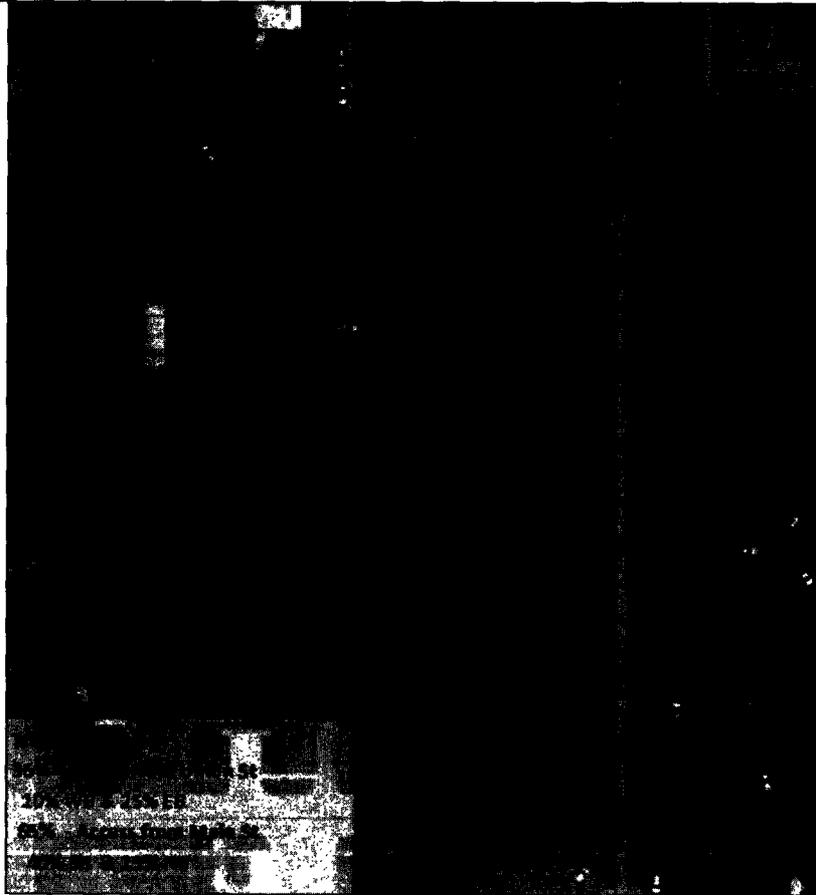


Figure 4: PM Peak Hour Total Trips

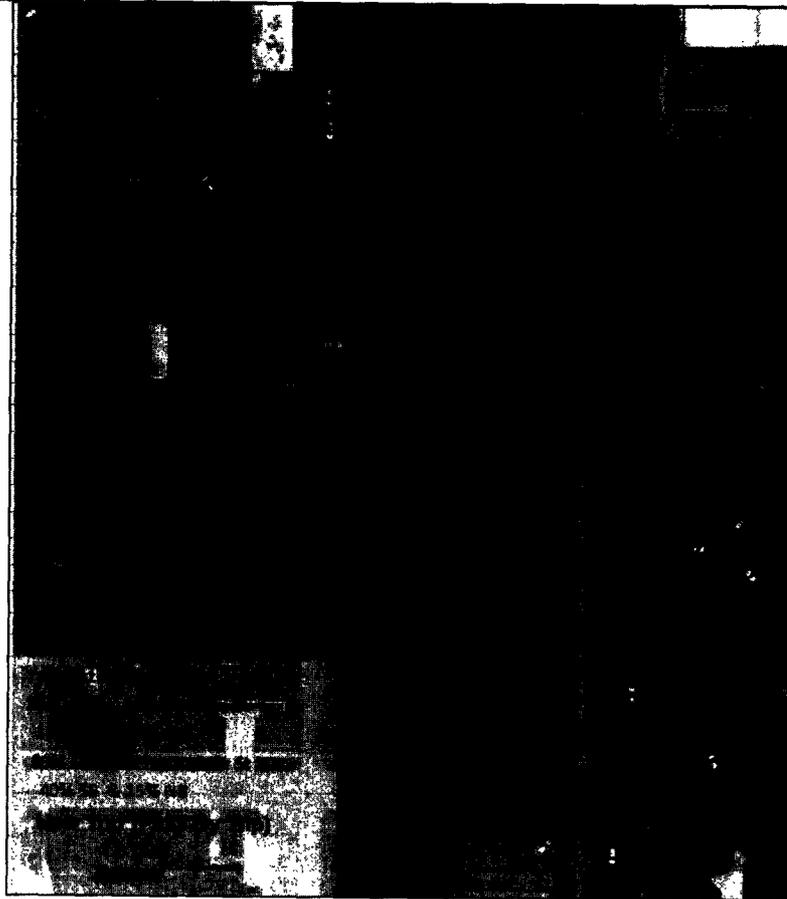


Figure 5: Daily New & Pass-by Trips

Summary: Based on the total number of drive-way trips during the most critical time periods (AM and PM peak hours), no improvements are recommended at either the intersection of Union Street and Main Street or to Union Street or Main Street at the Casey’s proposed accesses.

The current location of Casey’s Main Street access is not ideal due to the Pizza Ranch access on the east side of Main Street. The offset of these two accesses would create a conflict if each site had simultaneously left turning vehicles with traffic behind them entering from Main Street. To eliminate this conflict, the Casey’s Main Street access should be relocated to one of the following options: south to align with the Pizza Ranch Main Street access, further south to offset with Pizza Ranch access without left turn conflict, or north along Main Street approximately 70’ to line up with the existing utility access between Pizza Ranch and El Charro Mexican Grill.

To benefit internal site circulation of the current site plan and reduce number of conflicts between entering vehicles and vehicles accessing store front parking of the current site plan, the two most easterly parking spaces along the store front (labeled 1 and 2 on the site plan) should be eliminated. This increased *throat distance* will allow vehicles exiting off of Main Street greater distance into the site before the possibility of a conflict with parking vehicles helping to reduce the delay for through vehicle on Main Street due to vehicles turning into the site.

During construction of the proposed site, traffic control should be installed per current *Manual on Uniform Traffic Control Devices* based on the construction operation being performed. This includes adjacent roadways and sidewalks/trails.

Appendix

- 2011-2015 Crash Summary
- Casey's Site Plan (01/25/2016)



Major Cause Summary

Main St & Union St

Report Version 1.1 Jan 2005

Analysis Years: 2011 [1], 2012 [1], 2013 [1], 2014 [4], 2015 [2]

Crash Summary:

Fatal	-
Major Injury	-
Minor Injury	-
Possible/Unknown	3
PDO	6
Total Crashes	9

Injury Summary:

Fatal	-
Major Injury	-
Minor Injury	-
Possible	3
Unknown	-
Total Injuries	3

Surface Condition Summary:

Dry	8
Wet	-
Ice	-
Snow	1
Slush	-
Sand/Dirt/Oil/Gravel	-
Water	-
Other	-
Unknown	-
Not Reported	-
Total Crashes	9

TOT Property Damage: \$60,050

AVG Property Damage: \$6,672

Major Cause Summary:

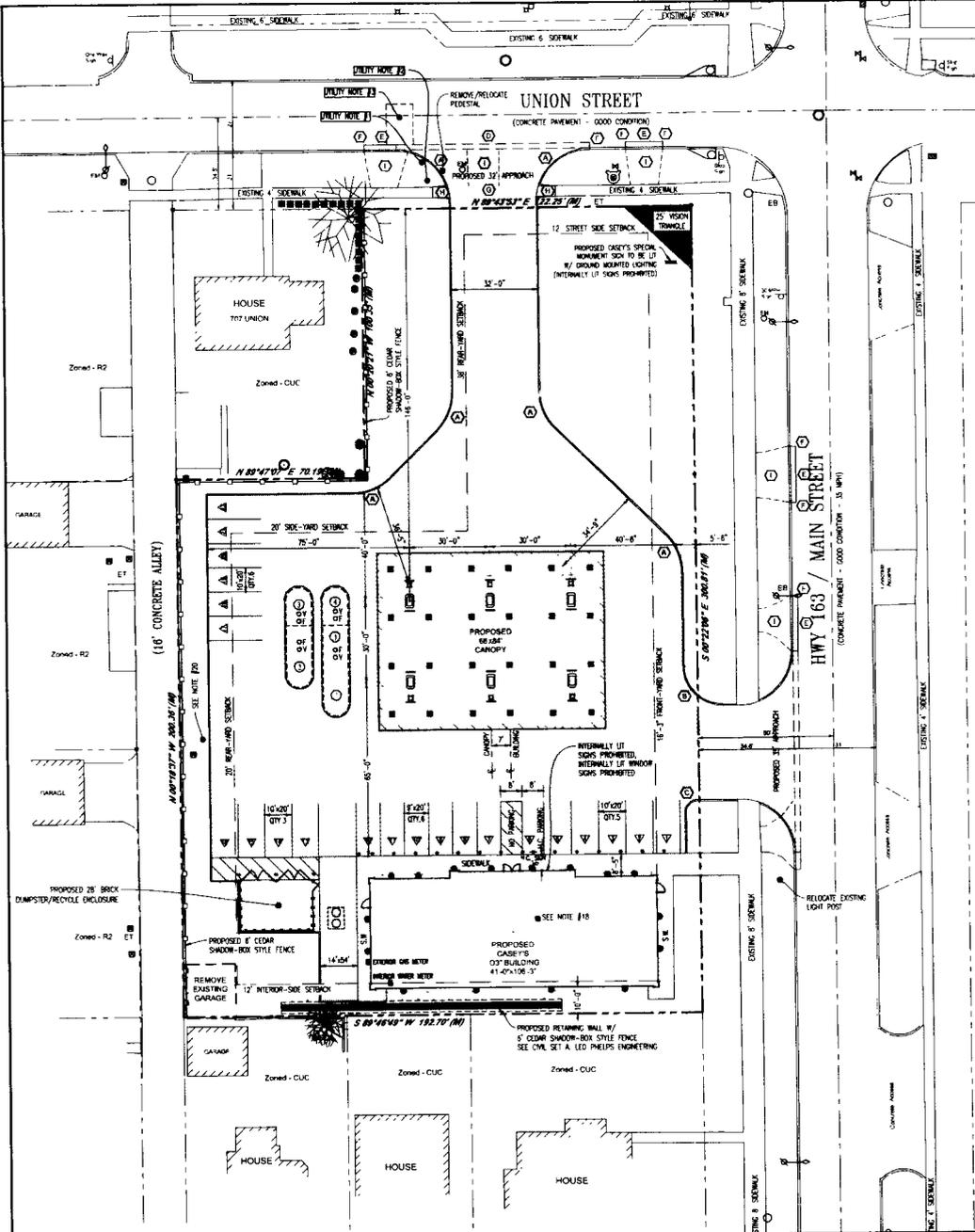
- | | |
|---|---|
| <ul style="list-style-type: none"> Animal Ran Traffic Signal 1 Ran Stop Sign Crossed Centerline FTYROW: At Uncontrolled Intersection FTYROW: Making Right Turn on Red Signal 4 FTYROW: From Stop Sign FTYROW: From Yield Sign FTYROW: Making Left Turn FTYROW: From Driveway FTYROW: From Parked Position FTYROW: To Pedestrian FTYROW: Other (explain in narrative) Traveling Wrong Way or on Wrong Side of Rd Driving Too Fast for Conditions Exceeded Authorized Speed Made Improper Turn Improper Lane Change Followed Too Close Disregarded Railroad Signal Disregarded Warning Sign Operating Vehicle in Reckless/Aggressive Manner | <ul style="list-style-type: none"> Improper Backing Illegally Parked/Unattended Swerving/Evasive Action Over-Correcting/Over-Steering Downhill Runaway Equipment Failure Separation of Units Ran Off Road - Right Ran Off Road - Straight Ran Off Road - Left 1 Lost Control Inattentive/Distracted By: Passenger 1 Inattentive/Distracted By: Use of Phone or Other Inattentive/Distracted By: Fallen Object Inattentive/Distracted By: Fatigued/Asleep Other: Vision Obstructed Oversized Load/ Oversized Vehicle Cargo/Equipment Loss or Shift 1 Other: Other Improper Action Unknown 1 Other: No Improper Action None Indicated |
|---|---|

Selection Filter:

((YEAR = 2011 or YEAR = 2012 or YEAR = 2013 or YEAR = 2014 or YEAR = 2015))

Analyst:

Notes: 2011-2015



Site Information

CASEY'S MARKETING COMPANY
ONE CONNEMENCE BLVD
ANNETT, IOWA 50021
CONTACT: MELANIE.WALKER@CASEYS.COM

Utility Notes

- M1 PROPOSED 1" WATER CONNECTION INTO EXISTING WATER MAIN - 1" 15' CTS HOPE SOME 15-200 PSI - VERIFY EXISTING WATER MAIN 1" 15'
 - M2 PROPOSED 1" NATURAL GAS CONNECTION INTO EXISTING NATURAL GAS MAIN - 1" 5" SCH 40 BLACK IRON PIPE - 800 MBH 7" W.C. HOUSE PRESSURE - VERIFY EXISTING NATURAL GAS MAIN 1" 15'
 - M3 PROPOSED 6" SANITARY SEWER CONNECTION INTO EXISTING SANITARY SEWER MAIN - 6" 30" 23' OR GREATER REQUIRED - VERIFY EXISTING MAIN 4" 8"
 - M4 PROPOSED SERVICE ENTRANCE - ELECTRICAL 3 PHASE 480 AMP - 120/208 VOLTS - 4 WIRE - TELEPHONE 8 PAIR - 4 LINES
- OLD UTILITY SERVICES TO BE CAPPED AND ABANDONED PER PUBLIC WORKS REQUIREMENTS IF NOT ALREADY COMPLETED

Zoned: CUC

(COMMERCIAL DISTRICT - GENERAL RETAIL COMMERCIAL)

- SETBACKS**
- FRONT (MAIN ST) 10 FEET 6 INCHES
 - STREET SIDE (UNION ST) 10 FEET
 - INTERIOR SIDE (SOUTH) 12 FEET
 - NEAR YARD (WEST) 20 FEET
- PARKING REQUIRED**
- SPACE / 200 FT² FLOOR AREA
 - 4 475 FT² / 200 = 22 SPACES
 - 22 SPACES REQUIRED
- PROVIDED**
- 22 MARKED SPACES
 - 12 UNMARKED SPACES
 - 1/4 PARKING SPACES PROVIDED

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(D) MEDACOM LLC
CONTACT NAME: CLYDE HODGINS
CONTACT PHONE: 515.689.3647
CONTACT EMAIL: CHODGINS@MEDACOM.CC.COM

Survey Legend

- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM SEWER MANHOLE
- ⊕ STORM SEWER INLET
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRICAL TRANSFORMER
- ⊕ ELECTRIC BOX
- ⊕ PEDESTAL
- ⊕ LIGHTED POWER POLE
- ⊕ TRAFFIC SIGNAL POST

Referenced Sheets

- CIVIL PLANS BY A LEO PHELPS ENGINEERING
- SHEET 1 COVER SHEET
 - SHEET 2 BOUNDARY & TOPO
 - SHEET 3 1/4" X 1/4" SITE PLAN (THIS SHEET)
 - SHEET 4 GRADING PLAN
 - SHEET 5 UTILITY PLAN
 - SHEET 6 LANDSCAPING PLAN

- LIGHTING PLANS BY RED LEONARD ASSOCIATES
- RLJ181-S142 EXTERIOR LIGHTING PLAN

General Construction Notes

1. 1 - 28,000 GALLON CONTAINMENT SOLUTION TANK (TANK 15 SPLT) TANK 1: 20,000 GALLONS (TYPE SUPER UNFACED) 10'-0" X 34'-8" X 7'-0"
2. 1 - 20,000 GALLON CONTAINMENT SOLUTION TANK (TANK 15 SPLT) TANK 2: 18,000 GALLONS (TYPE UNFACED) 10'-0" X 34'-8" X 7'-0"
3. 1 - 20,000 GALLON CONTAINMENT SOLUTION TANK (TANK 15 SPLT) TANK 3: 18,000 GALLONS (TYPE UNFACED) 10'-0" X 34'-8" X 7'-0"
4. 4 DISPENSERS: 20 LITER (5.6 GALS) EACH
5. 4 MINI 4 METERS & 2 NOZZLES EACH
6. 2 1/4" METERS & 2 NOZZLES EACH
7. TANK SETTING DETAILS SHEET OF 301
8. FILL PIPE AND MANHOLE SHEET OF 301
9. ISLAND SIZE: 7' X 9' MINIMUM GUARD PIPE
10. ISLAND DETAILS SHEET OF 101
11. SIGN BASE DETAILS SHEET AL-101
12. SIGN DETAILS SHEET AL-101
13. DRIVEWAY JOINTS TO BE PACKED & CALLED
14. CONCRETE DRIVE TROTTLE WITH LIGHT BROOM FINISH
15. CONTROL JOINTS: MIN. 100' @ 8" MAX. 120' @ 8" 25% DEEP
16. APPROACHES TO BE 17" NONREINFORCED OR AS PER STATISTICAL SPEC
17. SLOPE BANIS FOR BUILDING SIDEWALK 1/2" @ 2" CHAIRING 1/2" SLOPE DIRECTIONS ALL ACCESSIBLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4" SEPARATION
18. VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS
19. SLOPE RAMP FOR BUILDING SIDEWALK 1/2" @ 2" CHAIRING 1/2" SLOPE DIRECTIONS ALL ACCESSIBLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4" SEPARATION
20. CANOPY FOOTING: SIZE 5" LENGTH X 5" WIDTH X 3'-0" DEPTH. CONCRETE MINIMUM COMPRESSIVE STRENGTH OF F-3000 @ 28 DAYS. 150' @ 11.4' SLUAB (MAX) FOOTING DESIGN BASED ON 2400 PSI CONCRETE REINFORCING ASTM A-614 GRADE 60 REBAR. CASE 6" MIN. HORIZONTAL TIE LENGTH MAX. TOP AND BOTTOM 12" MAXIMUM SPACING
21. 4 FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED AT SALES COUNTER
22. ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCHES LOCATED ON THE BUILDING FRONTAGE
23. AIR COMPRESSOR BOX MOUNTED TO POLE. INSTALLED ON 3/4" CONCRETE PAD 30" FROM FRONT OF CURB. 110 VOLT 60 HZ 5 AMP. 8 GAUGE MINIMUM RECOMMENDED
24. BRIDG SYSTEM INSTALLATION REQUIRED FOR ALL SLOTTED WITHIN PROPERTY AND TO BE INSTALLED WITH RAIN SENSOR

Key Construction Notes

NOTICE: ALL WORK IN THE ROW AREA IS SUBJECT TO THE CITY OF PELLA AND IOWA DOT APPROVAL AND SPECIFICATIONS

- ⊕ PROPOSED 20' RADIUS
- ⊕ PROPOSED 12' RADIUS
- ⊕ PROPOSED 5' RADIUS
- ⊕ DEPRESSURE CURB AND GUTTER
- ⊕ VERTICAL CURB AND GUTTER
- ⊕ TIE INTO EXISTING VERTICAL CURB AND GUTTER
- ⊕ 2% MAX CROSS SLOPE - SIDEWALK AREA
- ⊕ TAMP CURB TO SIDEWALK - NO DETECTABLE WARNING MAT
- ⊕ REMOVE EXISTING APPROACH
- ⊕ MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- ⊕ GASOLINE PUMP PARKING SPACES (DO NOT PAINT LINES OR OTHERWISE MARK)
- ⊕ CONCRETE PAVING OR SIDEWALKS
- ⊕ AREA TO BE SOODED

- ⊕ PROPOSED 1000 GALLON GREASE INTERCEPTOR WITH TWO MANHOLES
- ⊕ PROPOSED AREA LIGHT (BRONZE) 1/4" Ø 3" SALINA LUMEN (24" Ø FROM CURB) REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- ⊕ PROPOSED CANOPY LIGHT (WHITE) MOUNTED UNDERneath GASOLINE CANOPY REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES
- ⊕ PROPOSED "DOOSE NOD" LIGHT (BRONZE) MOUNTED TO BUILDING FACADE REFER TO EXTERIOR LIGHTING PLAN BY RED LEONARD ASSOCIATES

Legal Description

LOT 1, EXCEPT THE WEST 70.00 FEET THEREOF AND ALL OF LOTS 4 AND 5 IN BLOCK #1 IN THE CITY OF PELLA, IOWA. 450.886 FT² ± 11 ACRES

U.G.S.T. Notes

- ⊕ FILL CATCH BASIN W/ OVERFILL PROTECTION (TYP)
- ⊕ TURNING ENCLOSURE TYP. CONTAINS SUB PLUMB W/ INE DETECTION. TANK PROBE FOR FUEL MONITORING INCLUDING THE INTERSTITIAL SENSOR AND TANK SLUMP SENSOR
- ⊕ VENT EXTRACTION WALL FLOAT FOR OVERFILL PROTECTION
- ⊕ SUMP SENSOR @ EACH DISPENSER

BRICK/EIFS FOUR SIDES - HIP ROOF

CASEY'S

CASEY'S CONSTRUCTION DIVISION
One Connemann Blvd. P.O. Box 3001 Annett, IA 50021 515.869.4100

PELLA, IA 68 (REPLACEMENT)	07-17-15	SITE PLAN
10" STYLE SIGN - GABLE ROOF	08-30-15	10-21-15
CONSTRUCTION DIVISION	11-14-15	01-14-18
ARCH. CLERK	01-23-18	AL-101

Legend

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE

F. Review and Evaluation. The Planning and Zoning Commission shall review and approve the site plan based on the criteria established in Table 165.36/37-1 and conformance with applicable regulations in this Zoning Ordinance. The Planning and Zoning Commission shall make the following findings before approval of the site plan:

- (1) The proposed development, together with any necessary modifications, is compatible with the criteria established in Table 165.36/37-1.
- (2) Any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable effects.
- (3) The site plan conforms to the Zoning Ordinance and the Comprehensive Plan.

TABLE 165.36/37-1: Criteria For Site Plan Review And Special Use Permits

CRITERION		APPLICATION TO:	
Land Use Compatibility	Site Plan Review	Special Use Permit	
Development Density	Site area per unit or floor area ratio should be similar to surrounding uses if not separated by major natural or artificial features.	X	
Height and Scale			
Height and Bulk	Development should minimize differences in height and building size from surrounding structures. Differences should be justified by urban design considerations.	XX	
Setbacks	Development should respect pre-existing setbacks in surrounding area. Variation should be justified by site or operating characteristics.	XX	
Building Coverage	Building coverage should be similar to that of surrounding development if possible. Higher coverage should be mitigated by landscaping or site amenities.	XX	
Site Development			

Frontage	Project frontage along a street should be similar to lot width.	XX	
Parking and Internal Circulation	Parking should serve all structures with minimal conflicts between pedestrians and vehicles. Structures must be accessible to public safety vehicles. Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points.	XX	XX
Landscaping	Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of site with sensitive environmental features or natural drainageways should be preserved.	XX	
Building Design	Architectural design and building materials should be compatible with surrounding areas or highly visible locations		X

Operating Characteristics

Traffic Capacity	Project should not reduce the existing level of traffic service on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations.	XX	
External Traffic Effects	Project design should direct non-residential traffic away from residential areas.	XX	
Operating Hours	Projects with long operating hours must minimize effects on surrounding residential areas.	XX	
Outside Storage	Outside storage areas should be screened from surrounding streets and less intensive land uses.	XX	

TABLE 165.36/37-1: Criteria For Site Plan Review And Special Use Permits (continued)

CRITERION	APPLICATION TO:
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Public Facilities	Site Plan Review	Special Use Permit
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Sanitary Waste Disposal	Developments within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare. Sanitary sewer must have adequate capacity to serve development.	XX	XX
Storm Water Management	Development should handle storm water adequately to prevent overloading of public storm water management system. Development should not inhibit development of other properties. Development should not increase probability of erosion, flooding, landslides, or other run-off related effects.	XX	XX
Utilities	Project must be served by utilities. Rural estate subdivisions should be located in designated areas which can accommodate utility and infrastructure installation consistent with the need to protect the environment and public health.	XX	XX

Comprehensive Plan

Projects should be consistent with the City of Pella's Comprehensive Development Plan.	XX
--	----



THE
CITY of PELLA
STAFF MEMO TO COUNCIL

ITEM NO: D-2a & D-2b

SUBJECT: Budget Amendment #1 for the FY 15-16 Budget

DATE: May 17, 2016

BACKGROUND:

This resolution approves Budget Amendment #1 for the Fiscal Year 2016. No increases in taxes or rates will ensue as a result of this amendment, as all items will either be covered by offsetting expenditure savings or reserves.

This amendment contains a net increase in fund balance of \$1,487,512 which is comprised as follows:

Funds Budgeted in FY 15 but Occurring in FY 16	\$ (472,867)
Funds Budgeted in FY 16 but Occurring in FY 17	731,473
Funds Budgeted in FY 17 but Occurring in FY 16	(536,084)
Other Revenue/Expenditure Adjustments	1,764,990
Net Increase in Fund Balance	<u>\$ 1,487,512</u>

TIMING DIFFERENCES NET EXPENDITURE INCREASE \$ 472,867

Timing differences total \$472,867 and represent funds budgeted in FY 14-15 but will be expended in FY 15-16.

TIMING DIFFERENCES NET EXPENDITURE DECREASE \$731,473

Timing differences total \$731,473 and represent funds budgeted in FY 15-16 but will be expended in FY 16-17.

TIMING DIFFERENCES NET EXPENDITURE INCREASE \$536,084

Timing differences total \$536,084 and represent funds budgeted in FY 16-17 but will be expended in FY 15-16.

OTHER REVENUE/EXPENDITURE ADJUSTMENTS \$1,764,990

Other expenditure/revenue adjustments total \$1,764,990 and are highlighted below:

Expenditure Increase of \$24,750 for additional water distribution improvements

The collection and distribution crews were able to make additional improvements with regard to the distribution system.

Expenditure Increase of \$14,865 for Hazel street water main improvements

The water utilities allocation of the Hazel Street reconstruction project was higher than the original engineer's estimate.

Revenue Increase of \$115,000 for an estimated increase in State Road Use Taxes

The state legislation approved a \$.10 per gallon increase in the gas tax following the publication of the FY 15-16 budget.

Expenditure Increase of \$12,000 for additional maintenance at the Pella Municipal Airport

The airport required additional repairs, including the repair of a mower, above and beyond the original budget amount.

Expenditure Increase of \$15,630 for the purchase of a new catalog system for the Pella Public Library

The Pella Public Library was required to purchase a new catalog system, following the determination by the Central College Library to end the shared agreement with their current vendor.

Revenue Increase of \$18,000 and Expense Increase of \$18,000 for additional private grants and donations received by the Pella Public Library

The Pella Public Library annually receives public and private donations to fund non-essential improvements to the library. This year the donations exceeded previously budgeted estimates.

Expenditure Increase of \$10,000 for the purchase of in-car computers for the Police Department

The Police Department utilized forfeiture funds to support the installation of in-car computers.

Revenue Increase of \$20,000 to reflect an increase in annual building and permit revenue fees

The Planning and Zoning Department is expected to collection funds above and beyond the current budget estimates.

Expenditure Increase of \$27,000 for premium increase in property and liability insurance expense

The City's annual property and liability insurance renewal occurs each April, following the approval of the City's annual budget. This increase reflects the previous year's annual increase.

Expenditure Increase of \$10,000 for the annual local option sales tax reconciliation

Each year, the City reconciles funds received in accordance with the local option sales tax redistribution agreement with Marion County. Funds received in FY 15, were slightly less than anticipated.

Revenue Increase of \$40,000 to reflect an increase in estimated Hotel/Motel tax

New estimates project an increase in the collection of hotel motel over original budget estimates.

Expenditure Increase of \$24,000 for payment to the CVB of the increased Hotel/Motel tax

Based on the new Hotel/Motel tax estimates, the City will make payments of 60% of the collection to the Pella Convention and Visitors Bureau.

Expenditure Increase of \$10,000 for costs associated with the last municipal election

This amount includes election expenses associated with the most recent municipal election paid to Marion County.

Expenditure Increase of \$17,500 for repairs to the Central Park Fountain

The surrounding wall of the Central Park fountain was in need of repair.

Expenditure Increase of \$35,000 for engineering expense associated with the Sports Park Trail

Following approval of the FY 15-16 budget, the City approved an agreement with Garden and Associates for the engineering associated with the Sports Park Trail.

Expenditure Increase of \$59,000 for enhancements to the City's Central Park sound system

The City received a grant for enhancements in the Central Park Sound System. This project was supported by a private grant.

Revenue Increase of \$59,000 for private donations for the City's Central Park Sound System

Private grant, received by the City in support of improvements to the Central Park Sound System.

Expenditure Increase of \$13,700 for maintenance and repair at the Pella Aquatic Center

Restoration of the maintenance budget to pre renovation levels.

Expenditure Increase of \$9,500 for repairs to the Molengracht parking garage

The Molengracht parking garage required maintenance and repair above and beyond the budgeted amount.

Expenditure Decrease of \$27,000 for lower than anticipated chemical expense for the wastewater utility

The implementation of the new lift station near Vermeer Road has resulted in the reduction of required odor control chemicals.

Expenditure Increase of \$1,887,907 for improvements to the City's west electric substation

The improvements to the west electric substation were initiated following the approval of the FY 15-16 budget.

Revenue Increase of \$4,025,625 resulting from electric bond revenues related to improvements of the west substation

The City issued bonds in support of the improvements to the City's west electric substation.

Expenditure Decrease of \$29,700 for projects related to structural repainting of the electric diesel plant

Structural painting of the City's electric substation is likely to take place in future fiscal years.

Expenditure Increase of \$74,483 related to the retainage payment for the decommissioning of the City's power plant

The approval and authorization of payment related to retainage associated with decommissioning of the City's power plant occurred in FY 15-16.

Expenditure Increase of \$151,000 for the electric underground conversion change order, adding the Oostport Alley and Franklin Street

The 2015 budget originally included the Washington Street underground conversion. Following direction received by Council, the Oost Poort Alleyway and the east section of Franklin was included in the project scope.

Expenditure Increase of \$155,000 for the purchase of materials associated with underground conversion projects

The FY 16-17 budget includes expenditures associated with materials and engineering associated with the west central underground conversion project. This project was bid prior to the commencement of the new fiscal year in an effort to meet project deadlines.

ATTACHMENTS: Resolution, Budget Notice, Budget Amendment Summary

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve resolution

RESOLUTION NO. 5691

A RESOLUTION AMENDING THE FY 15-16 ANNUAL BUDGET
BY ADOPTING BUDGET AMENDMENT #1

WHEREAS, the statutes of the State of Iowa provide that an annual budget shall be adopted by the Corporate Authorities of the City of Pella; and

WHEREAS, the City Council of the City of Pella has held the necessary hearing after having caused to be made the publication and notice required by law; and

WHEREAS, the City Council of the City of Pella has reviewed the amended budget for fiscal year 2015/2016 as presented by the City staff; and

WHEREAS, the City Council of the City of Pella believes the aforesaid amended budget proposed for fiscal year 2015/2016 to be in the best interests of the City of Pella;

NOW THEREFORE, BE IT RESOLVED, BY THE PELLA CITY COUNCIL, MARION COUNTY, IOWA:

SECTION ONE: That the Fiscal Year 2015/2016 budget for the City of Pella, Iowa, on file in the City Clerk's Office and the Pella Public Library is hereby amended and approved.

SECTION TWO: That this resolution shall be in full force and effect from and after its passage and approval in the manner provided by law, and the City Clerk is directed to make the filings required by law and to set up the books in accordance with the summary and details as adopted.

Passed and approved this 17th day of May, 2016, by the City Council of the City of Pella, Iowa.

Jim Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

**NOTICE OF PUBLIC HEARING
AMENDMENT OF CURRENT CITY BUDGET**

Form 653.C1

The City Council of Pella in MARION County, Iowa
will meet at the Public Safety Complex
at 7:00 p.m on 5/17/2016
(hour) (Date)

for the purpose of amending the current budget of the city for the fiscal year ending June 30, 2016
(year)

by changing estimates of revenue and expenditure appropriations in the following programs for the reasons given. Additional detail is available at the city clerk's office showing revenues and expenditures by fund type and by activity

	Total Budget as certified or last amended	Current Amendment	Total Budget after Current Amendment
Revenues & Other Financing Sources			
Taxes Levied on Property	1 4,538,718	0	4,538,718
Less: Uncollected Property Taxes-Levy Year	2 0	0	0
Net Current Property Taxes	3 4,538,718	0	4,538,718
Delinquent Property Taxes	4 0	0	0
TIF Revenues	5 700,003	0	700,003
Other City Taxes	6 1,453,306	40,000	1,493,306
Licenses & Permits	7 87,700	20,000	107,700
Use of Money and Property	8 108,570	0	108,570
Intergovernmental	9 3,978,102	-821,200	3,156,902
Charges for Services	10 25,577,493	0	25,577,493
Special Assessments	11 0	0	0
Miscellaneous	12 86,414	507,430	593,844
Other Financing Sources	13 6,836,000	4,755,625	11,591,625
Transfers In	14 6,708,709	2,920,713	9,629,422
Total Revenues and Other Sources	15 50,075,015	7,422,568	57,497,583
Expenditures & Other Financing Uses			
Public Safety	16 2,186,755	10,000	2,196,755
Public Works	17 1,216,449	12,000	1,228,449
Health and Social Services	18 0	0	0
Culture and Recreation	19 2,359,649	90,700	2,450,349
Community and Economic Development	20 557,667	24,000	581,667
General Government	21 553,489	47,000	600,489
Debt Service	22 1,067,403	0	1,067,403
Capital Projects	23 3,706,027	-554,736	3,151,291
Total Government Activities Expenditures	24 11,847,439	-371,036	11,276,403
Business Type / Enterprises	25 31,780,275	3,385,379	35,145,654
Total Gov Activities & Business Expenditures	26 43,407,714	3,014,343	46,422,057
Transfers Out	27 6,708,709	2,920,713	9,629,422
Total Expenditures/Transfers Out	28 50,116,423	5,935,056	56,051,479
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out for Fiscal Year	29 -41,408	1,487,512	1,446,104
Beginning Fund Balance July 1	30 12,382,843	1,713,852	14,096,695
Ending Fund Balance June 30	31 12,341,435	3,201,364	15,542,799

Explanation of increases or decreases in revenue estimates, appropriations, or available cash:

This amendment includes adjustments for timing differences between fiscal year 2015 and 2016, capital projects delayed to fiscal year 2017 and adjustments for unanticipated expenses and revenues. Also included in the budget amendment is a reconciliation of the beginning fund balance as of July 1, 2015

There will be no increase in tax levies to be paid in the current fiscal year named above. Any increase in expenditures set out above will be met from the increased non-property tax revenues and cash balances not budgeted or considered in this current budget. This will provide for a balanced budget

Corey Goodenow, Finance Director
City Clerk/Finance Officer

FY 15/16 Budget Amendment Summary

	<u>Revenue/Expense</u>	<u>Amount</u>	
Timing Differences-Budgeted in FY 14-15 but completed in FY 15-16		(472,867)	
Sanitary Sewer Lining Project	Expense	(275,200)	Carry over from previous year's budget
Bos Landen building improvements	Expense	(20,000)	Carry over from previous year's budget
Central Park lighting improvements	Expense	(7,000)	Carry over from previous year's budget
Pella Sports Park Expense	Expense	(601,097)	Carry over from previous year's budget
Pella Sports Park Private Contributions	Revenue	430,430	Carry over from previous year's budget
Timing Differences-Budgeted in FY 15-16 but moved to Future Years		731,473	
Methane Engine Repair	Expense	30,000	Project expected to take place in future fiscal year's budget
Residential wastewater maintenance	Expense	10,000	Project expected to take place in future fiscal year's budget
Collection system maintenance	Expense	93,500	Project expected to take place in future fiscal year's budget
Police management system	Expense	120,000	Project expected to take place in future fiscal year's budget
Oskaloosa Street	Expense	1,414,173	Project timing differences
CIRPTA Revenues	Revenue	(936,200)	Project timing differences
Timing Differences-Budgeted in FY 16-17 but started in FY 15-16		(536,084)	
Jefferson Street Reconstruction	Expense	(93,925)	Project moved ahead of budget schedule
Washington Street Reconstruction	Expense	(158,359)	Project moved ahead of budget schedule
City Hall improvements	Expense	(10,000)	Project moved ahead of budget schedule
Mower replacement	Expense	(23,800)	Project moved ahead of budget schedule
Long Term Water Supply Plan	Expense	(730,000)	Project moved ahead of budget schedule
SRF Funding for Long Term Water Supply Plan	Revenue	730,000	Project moved ahead of budget schedule
Vermeer water main replacement	Expense	(250,000)	Project moved ahead of budget schedule
Electric projects		1,786,935	
West Substation Improvements	Expense	(1,887,907)	Project initiated after FY 15-16 Budget approval
Electric Bond Revenue Proceeds	Revenue	4,025,625	Funding source for west substation improvements
Structural Paving	Expense	29,700	project expected to take place if future fiscal years
Power Plant Decommissioning	Expense	(74,483)	Project retainage paid FY 15-16
Underground Conversion	Expense	(151,000)	Addition of Franklin to the underground conversion project
W. Central Street Underground Conversion	Expense	(155,000)	Project moved ahead of budget schedule
Other		(21,945)	
Distribution improvements	Expense	(24,750)	Collection and distribution crews were able to make additional improvements
Hazel Street water main improvements	Expense	(14,865)	Water utility bids were higher than expected
State Road Use Tax adjustment	Revenue	115,000	Impact of state gas tax increase
Maintenance required for airport	Expense	(12,000)	Mower maintenance and additional equipment repair required for the airport
Library catalog system	Expense	(15,630)	The public library's partner choose to end it's current catalog services agreement
Private grants for Pella Public Library	Revenue	18,000	Unanticipated private and public grants
Grant Expense for Pella Public Library	Expense	(18,000)	Expense associated with grant expense
Police Department in car computers	Expense	(10,000)	Forfeiture funds used to support the purchase of in car computer purchases
Building and Construction Permits	Revenue	20,000	Building and construction permits were higher than expected
Insurance Expense	Expense	(27,000)	Change to reflect historical increase in property and liability insurance expense
Local Option sales tax annual reconciliation	Expense	(10,000)	Annual reconciliation of local option sales tax required payment to Marion County
Hotel Motel Tax	Revenue	40,000	Higher than anticipated Hotel/Motel Tax receipts
Payments of Hotel Motel Tax	Expense	(24,000)	Payment to the CVB for their share of the higher than anticipated Hotel/Motel tax receipts
Election expense	Expense	(10,000)	Election expense
Central park repairs	Expense	(17,500)	Unanticipated repairs to the central part fountain
Vermeer Trail engineering	Expense	(35,000)	Unbudgeted engineering expense for the Vermeer trail extension
Central Park sound system improvements	Expense	(59,000)	Expense for the Central Park Sound System
Central Park sound system private donations	Revenue	59,000	Private donations to support the Central Park Sound System improvements
Aquatic Center maintenance and repair	Expense	(13,700)	Restoration of maintenance and repair budgets to historical budget numbers
Molengracht Parking Garage repair	Expense	(9,500)	Repairs to the Molengracht parking garage
Chemical expense	Expense	27,000	Lower than anticipated chemical expense for the wastewater utility
Total Fund Balance Increase		1,487,512	

Note - Positive Amounts = Increase in Fund Balance
 Negative Amounts = Decrease in Fund Balance



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: H-1

SUBJECT: Resolution Approving Dental Policy with MetLife

DATE: May 17, 2016

BACKGROUND:

Annually, the City Council approves the insurance carrier and premiums for the City's Dental Care Plan. Currently, the City of Pella has a fully-insured indemnity plan with Lincoln Financial Group with monthly premiums of \$25.14 for single coverage and \$82.18 for family coverage.

As usual, our insurance broker, Cottingham and Butler, researched a variety of options for the City of Pella to consider during the renewal process. The renewal quote from Lincoln Financial Group, our existing dental insurance carrier, resulted in an 8% increase in premiums while the quote from MetLife presented the lowest cost option which resulted in a decrease in premiums of -12.4%. As an additional benefit, the MetLife proposal provides a 7% cap on the second year renewal. Under the proposed plan from MetLife, the single monthly rates would be \$21.77 and family monthly rates would be \$72.20, of which 100% of the premium is paid by the employees.

The proposed agreement with MetLife maintains a plan design similar to the current plan. The City of Pella Dental Plan would continue to operate as a fully-insured plan, providing both a network and indemnity benefit. Employees would be free to choose their dentist and would not be limited to any particular network of dentists, although they would receive additional discounts if they utilized dentists participating in the MetLife network. Fees are charged at a 99th usual and customary rate, which means that the fee charged for services is based on fees charged by 9.9 out of 10 dentists in a given area.

This resolution authorizes and directs the Finance Director to sign the dental insurance policy between MetLife and the City of Pella effective July 1, 2016, and also establishes the premiums for single dental coverage rate of \$21.77 per month and family dental coverage rate of \$72.20 per month.

ATTACHMENT: Resolution

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: City Administrator
City Clerk

RECOMMENDATION: Approve Resolution.

RESOLUTION NO. 5692

RESOLUTION APPROVING THE DENTAL INSURANCE POLICY BETWEEN METLIFE
AND THE CITY OF PELLA

WHEREAS, the City of Pella provides group Dental Insurance for full-time employees; and,

WHEREAS, MetLife is a provider of Dental Insurance; and,

WHEREAS, MetLife desires to sell, and City of Pella desires to purchase and receive dental insurance coverage as defined in the policy.

NOW THEREFORE, BE IT RESOLVED that Corey Goodenow, Finance Director, be, and hereby is authorized and directed to sign the insurance policy between MetLife and the City of Pella, Iowa, and by this reference incorporated herein; and,

BE IT FURTHER RESOLVED that said policy is effective July 1, 2016 and that the monthly premiums for the Dental Plan be as follows:

Dental Plan

Family - \$72.20 per month

Single - \$21.77 per month

PASSED and ADOPTED this 17th day of May, 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: H-2

SUBJECT: Resolution Approving Change Order #1 (Final Quantity Adjustment) and Accepting the Public Improvements for the Hazel Street Reconstruction

DATE: May 17, 2016

BACKGROUND: This resolution approves Change Order #1, which reflects final quantities used on the project and accepts the public improvements for the Hazel Street Reconstruction. This project included street reconstruction of Hazel Street from Maple Street to 40' north of Elm Street. Also included in the project was the replacement of the existing 6" water main with a new 8" water main and hydrants. Listed below is a summary:

Change Order #1 – Add \$10,491.25

Change Order #1 increases the City's contract with Blommers Construction by \$10,491.25 for final quantity adjustments in accordance with the unit based contract, consisting of increased street pavement, driveway and sidewalk removal and replacement limits as well as a minor changes in water main fittings required for the project.

Original Contract	\$138,909.75
Change Order #1	<u>\$10,491.25</u>
Revised Contract Amount	<u>\$149,401.00</u>

Acceptance of Project

Garden & Associates has provided documentation indicating the improvements have been completed and substantially comply with the terms, conditions and stipulations of the approved plans and specifications. This resolution accepts the public improvements constructed by Blommers Construction.

Finally, it is important to note, the City shall retain \$7,470.05 for 30 days in accordance with Chapter 573.14 of the Iowa Code.

ATTACHMENTS: Resolution, Change Order #1, Engineer's Acceptance Letter.

REPORT PREPARED BY: Public Works Department

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

RESOLUTION NO. 5693

RESOLUTION APPROVING CHANGE ORDER # 1 (FINAL QUANTITY
ADJUSTMENT) AND ACCEPTING THE PUBLIC IMPROVEMENTS FOR
THE HAZEL STREET RECONSTRUCTION

WHEREAS, on the 6th day of October 2015, the City of Pella, Iowa, entered into a construction contract with Blommers Construction of Pella, Iowa, for the construction of certain public improvements generally described as the Hazel Street Reconstruction; and,

WHEREAS, the contractor has fully completed the construction of the public improvements in accordance with the terms and conditions of the contract and plans and specifications, as shown by the certificate of the Engineer filed with the Clerk on May 2nd, 2016:

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That the report of the Engineer be and the same is hereby approved and adopted, and the public improvements are hereby approved and accepted as having been fully completed in accordance with the plans, specifications and form of contract.

Section 2. That the original contract sum of \$138,909.75 will be increased to \$149,401.00 as a result of Change Order #1 for \$10,491.00 in additional costs to the City incurred due to final quantity adjustments.

Section 3. That the total final construction cost thereof is hereby determined to be \$149,401.00,

Section 4. That the City shall retain \$7,470.05 for 30 days in pursuant to the requirements of Iowa Code § 573.14.

PASSED AND APPROVED this 17th day of May 2016.

James Mueller, Mayor

ATTEST:

Ronda Brown, City Clerk

CHANGE ORDER

No. 1

DATE OF ISSUANCE 28-Apr-16 EFFECTIVE DATE 28-Apr-16

JURISDICTION City of Pella

CONTRACTOR Blommers Construction

Contract: _____

Project: Hazel Street Reconstruction & Water Main Replacement

JURISDICTION's Contract No. _____ ENGINEER's Contract No. 5015042

ENGINEER Garden & Associates, LTD.

You are directed to make the following changes in the Contract Documents:

Description: **Final Quantities Change Order**

Reason for Change Order: **Field Conditions**

Attachments: (List documents supporting change) **Attachment No. 1**

CHANGE IN CONTRACT PRICE:
Original Contract Price: \$ <u>138,909.75</u>
Net Increase (Decrease) from previous Change Orders No. <u>--</u> to <u>--</u> : \$ <u>--</u>
Contract Price prior to this Change Order: \$ <u>138,909.75</u>
Net Increase (Decrease) of this Change Order: \$ <u>10,491.25</u>
Contract Price with all approved Change Orders: \$ <u>149,401.00</u>

CHANGE IN CONTRACT TIMES:
Original Contract Times: Substantial Completion: _____ Ready for final payment: _____ (days or dates)
Net change from previous Change Orders No. <u>---</u> to No. <u>---</u> : Substantial Completion: _____ Ready for final payment: _____ (days)
Contract Times prior to this Change Order: Substantial Completion: _____ Ready for final payment: _____ (days or dates)
Net Increase (Decrease) this Change Order: Substantial Completion: _____ Ready for final payment: _____ (days)
Contract Times with all approved Change Orders: Substantial Completion: _____ Ready for final payment: _____ (days or dates)

RECOMMENDED:

By: Jack Pope
ENGINEER(Authorized Signature)

Date: 4-29-2016

APPROVED:

By: [Signature]
JURISDICTION(Authorized Signature)

Date: 5/10/2016

ACCEPTED:

By: [Signature]
CONTRACTOR(Authorized Signature)

Date: 4-28-16

EJCDC 1910-8-B (1996 Edition)

Prepared by the Engineers Joint Contract Documents Committee and endorsed by The Associated General Contractor of America and the Construction Specifications Institute

**Attachment No. 1
to Change Order No. 1
Final Quantities Adjustment**

Bid Item No.	Bid Item	Unit	Unit Price	Bid Quantity	Actual Quantity	Price Adjustment
2	Excavation, Class 10	CY	\$10.50	245	270	\$262.50
3	Subgrade Preparation	SY	\$0.75	1,365	1,480	\$86.25
4	Granular Subbase, Class 'A' Crushed Stone	SY	\$7.00	1,365	1,480	\$805.00
7	Water Main, Trenched, PVC, 8"	LF	\$25.00	475	476	\$25.00
8	Water Service Stub, Type K Copper, 1"	EA	\$1,500.00	9	10	\$1,500.00
9	Gate Valve, 8"	EA	\$1,600.00	2	3	\$1,600.00
10	Tapping Valve Assembly, 8"	EA	\$2,000.00	1	0	(\$2,000.00)
15	Pavement, PCC, 8" Thick (with 'CD' baskets)	SY	\$42.00	1,195	1,310	\$4,830.00
17	Removal of Sidewalk	SY	\$7.50	18	45	\$202.50
18	Removal of Driveway	SY	\$7.50	131	136	\$37.50
19	Sidewalk, PCC, 4" Thick	SY	\$38.00	10	65	\$2,090.00
21	Detectable Warning	SF	\$35.00	16	24	\$280.00
22	Driveway, Paved, PCC, 6" Thick	SY	\$40.00	116	121	\$200.00
23	Pavement Removal	SY	\$5.50	1,150	1,265	\$632.50
25	Granular Surfacing for Temporary Access	TON	\$20.00	50	47	(\$60.00)
Total Adjustment CO #1						\$10,491.25
Contract Price Prior to CO #1						\$138,909.75
Final Contract Price						\$149,401.00

APPLICATION FOR PARTIAL PAYMENT NO. 2

Project: Hazel Street Reconstruction
Owner: City Of Pella
Contractor: Blommers Construction
Address: 1117 222nd Avenue
Pella, IA 50219
Date: April 28, 2016

G&A Project Number: 5015042

Payment Period: December 18, 2015 to April 28, 2016

1. Contract Summary

Original Contract Price:	\$138,909.75
Net Change by Change Order:	<u>\$10,491.25</u>
Contract Amount to Date:	\$149,401.00

Contract Working Day Report

Notice to Proceed: November 30, 2015

Original Contract Time:	30
Added by Change Order:	0
Contract time to Date:	<u>30</u>
Working Days to Date:	<u>26</u>
Working Days Remaining:	4

2. Work Summary

Total Work Performed to Date:	\$149,401.00
Retainage: 5%	\$7,470.05
Total Less Retainage:	\$141,930.95
Total Previous Payments:	<u>\$39,790.04</u>
TOTAL AMOUNT DUE THIS APPLICATION:	\$102,140.91

3. Contractor's Certification

The undersigned CONTRACTOR certifies that:

All previous progress payments received from Owner on account of Work under the Contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for title to all material and equipment incorporated in said Work or otherwise listed in or covered by this application for Payment are free and clear of all liens, claims, security interests and encumbrances.

Blommers Construction

CONTRACTOR

By: 

Date: 4-28-16

4. Engineers Approval

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Garden & Associates, LTD

ENGINEER

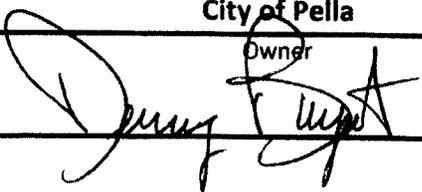
By: 

Date: 4-29-2016

5. Owner's Approval

City of Pella

Owner

By: 

Date: 5/10/2016

**Pay Application 2
Hazel Street Reconstruction
& Water Main Replacement
Pella, Iowa**

G&A 5015042

No.	Item	Unit	Estimated Quantity	Unit Price	Quantity This Period	Total Quantity	Extended Price
Base Bid							
1.	Mobilization	LS	1	\$10,921.00	0.75	1.00	\$10,921.00
2.	Excavation, Class 10	CY	245	\$10.50	270.00	270.00	\$2,835.00
3.	Subgrade Preparation	SY	1,365	\$0.75	1480.00	1480.00	\$1,110.00
4.	Granular Subbase, Class 'A' Crushed Stone	SY	1,365	\$7.00	1480.00	1480.00	\$10,360.00
5.	Compaction Testing	LS	1	\$2,000.00	1.00	1.00	\$2,000.00
6.	Trench Compaction Testing - Water Main	LS	1	\$2,000.00	1.00	1.00	\$2,000.00
7.	Water Main, Trenched, PVC, 8"	LF	475	\$25.00	0.00	476.00	\$11,900.00
8.	Water Service Stub, Type K Copper, 1"	EA	9	\$1,500.00	0.00	10.00	\$15,000.00
9.	Gate Valve, 8"	EA	2	\$1,600.00	0.00	3.00	\$4,800.00
10.	Tapping Valve Assembly, 8"	EA	1	\$2,000.00	0.00	0.00	\$0.00
11.	Fire Hydrant Assembly	EA	1	\$4,500.00	0.00	1.00	\$4,500.00
12.	Removal of Existing Fire Hydrant Assembly	EA	1	\$500.00	0.00	1.00	\$500.00
13.	Connection to Existing Water Main	EA	3	\$750.00	0.00	3.00	\$2,250.00
14.	Manhole Adjustment, Minor	EA	1	\$500.00	1.00	1.00	\$500.00
15.	Pavement, PCC, 8" Thick (with 'CD' baskets)	SY	1,195	\$42.00	1310.00	1310.00	\$55,020.00
16.	PCC Pavement Samples and Testing	LS	1	\$2,000.00	1.00	1.00	\$2,000.00
17.	Removal of Sidewalk	SY	18	\$7.50	33.00	45.00	\$337.50
18.	Removal of Driveway	SY	131	\$7.50	136.00	136.00	\$1,020.00
19.	Sidewalk, PCC, 4" Thick	SY	10	\$38.00	62.00	65.00	\$2,470.00
20.	Sidewalk, PCC, 6" Thick	SY	6	\$50.00	6.00	6.00	\$300.00
21.	Detectable Warning	SF	16	\$35.00	24.00	24.00	\$840.00
22.	Driveway, Paved, PCC, 6" Thick	SY	116	\$40.00	121.00	121.00	\$4,840.00
23.	Pavement Removal	SY	1,150	\$5.50	1265.00	1265.00	\$6,957.50
24.	Conventional Seeding, Fertilizing, and Mulching	AC	0.15	\$10,000.00	0.15	0.15	\$1,500.00
25.	Granular Surfacing for Temporary Access	TON	50	\$20.00	47.00	47.00	\$940.00
26.	Traffic Control	LS	1	\$4,500.00	1.00	1.00	\$4,500.00
						TOTAL	\$149,401.00



GARDEN & ASSOCIATES, LTD.

1701 3rd Avenue East, Suite 1 • P.O. Box 451 • Oskaloosa, IA 52577

Phone: 641.672.2526 • Fax: 641.672.2091

May 2, 2016

Denny Buyert, Public Works Director
City of Pella
100 Truman Road
Pella, IA 50219

Re: Hazel Street Reconstruction
Pella, Iowa
G&A 5015042

Honorable Mayor and Council:

I hereby state that the work of the Hazel Street Reconstruction & Water Main Replacement in Pella, Iowa under contract bearing the date of October 6, 2015 by and between City of Pella, Iowa (Owner) and Blommers Construction Inc. (Contractor) has been completed and substantially complies with the terms, conditions and stipulations of the plans and specifications for said improvements.

Respectfully submitted this 2nd day of May, 2016.

Sincerely,
GARDEN & ASSOCIATES, LTD.

Jack Pope, P.E.

Cc: Blommers Construction Inc.

JP/js



THE
CITY of PELLA

STAFF MEMO TO COUNCIL

ITEM NO: H-3

SUBJECT: Resolution Approving Change Order #2 with Eriksen Construction Co., Inc.
Water Systems Improvements, Division 1: RO Water Treatment Plant

DATE: May 17, 2016

BACKGROUND:

This resolution approves Change Order #2 in the amount of \$55,205.85 to the construction contract with Eriksen Construction Co, Inc for improvements to the City's water treatment plant and structural improvements to the City's clearwell.

As background, as part of the review process for the City's long-term water supply plan, the City of Pella requested a waiver from the Iowa Department of Natural Resources (IDNR) requirement for onsite electrical generation at the water treatment plant. Specifically, the City requested to use our diesel generation plant as a backup power source for the Water Treatment Plant as opposed to installing an additional diesel generating unit, which was estimated to cost approximately \$400,000. The IDNR approved this request; however, they also require an automatic switch gear on-site in the event power is lost at the Water Treatment Plant and there is a need to switch to a backup power feed.

Unfortunately, listed in the specifications during the bidding process was a manual switch instead of an automatic. The difference in cost between the manual switch and automatic switch is \$55,000. It is also important to realize the benefits of an automatic switch. In the event power is lost at the Water Treatment Plant, an automatic switch will change to a back-up feeder is less than a second. In comparison, a manual switch would require an employee to manually switch to a backup feeder, which depending of the time of day may take several minutes. The issue at hand is in the event of a power outage over several minutes, the water treatment plant could be out of service for an extended period of time. This requires staff to go through protocol procedures before bringing the plant back on line. As a result, staff is recommending the automatic switch as required by IDNR.

The cost of the manual switch as specified was \$31,600 versus \$83,400 for the automatic switch. This is a difference of \$51,800 plus the mark-up in accordance with the contract for a total increase of \$55,205.85.

It should be noted, this change order will not extend the project's final completion date of July 28, 2017.

Contract Summary

If Council approves Change Order #2 as recommended by staff, listed below is a contract summary:

Original Construction Contract	\$8,655,000.00
Change Order #1	86,598.81
Change Order #2	<u>55,205.85</u>
Total Revised Construction Contract	<u>\$8,796,804.66</u>

ATTACHMENTS: Resolution, Change Order #2

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR
CITY CLERK

RECOMMENDED ACTION: Approve resolution.

RESOLUTION NO. 5694

RESOLUTION APPROVING CHANGE ORDER #2 WITH ERIKSEN CONSTRUCTION CO., INC. FOR CONSTRUCTION OF A NEW RO WATER TREATMENT PLANT

WHEREAS, on November 17, 2015, the City Council awarded a contract with Eriksen Construction Co., Inc. of Blair Nebraska for the new RO Water Treatment Plant; and,

WHEREAS, Change Order #2 in the amount of \$55,205.85 is for upgrading from a manual switch to an automatic high voltage switch; and,

WHEREAS, Change Order #2 does not extend the project completion date of July 28, 2017;

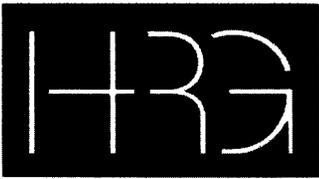
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA that Change Order #2 to the City's contract with Eriksen Construction Co., Inc. for the New RO Water Treatment Plant is approved in the amount of \$55,205.85, thereby increasing the total contraction contract to \$8,796,804.66.

PASSED AND APPROVED this 17th day of May, 2016.

James Mueller, Mayor

Attest:

Ronda Brown, City Clerk



HRGreen

5525 Merle Hay Road, Suite 200
Johnston, IA 50131
(515) 278-2913 Fax (515) 278-1846

CO No. 2

Change Order

Distribution:			
Contractor	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Owner	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Engineer	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
		Field	<input checked="" type="checkbox"/>

PROJECT: Water System Improvements Division 1: RO Water Treatment Plant	Date Issued	May 17, 2016
	Project No.	40130026.01
To Contractor: Eriksen Construction Co., Inc. 2546 S Highway 30 Blair, NE 68008	Contract Date	November 17, 2015
	Notice to Proceed Date	November 17, 2015

The contract is changed as summarized below and specifically identified in the attached PCO documentation:

- PCO No. 3: High Voltage Primary Switch.** The original design drawings included a two-feed manual primary switch to replace the functionality of an on-site generator. As part of the shop drawing review, it was determined that an additional primary feed is desirable from the new hydroelectric dam facilities. In addition, the functionality of an automatic vs. manual switch is desired to minimize operational interference during a power outage as well as match what was approved by the Iowa DNR during the preliminary planning stage. Revisions include upgrading the primary switch to accommodate three primary feeds and provide the automatic operation of the primary switch.

This item will be an additional cost in the amount of \$55,205.85 with no impact to the project's schedule.

	Contract Price	Milestone Completion	Substantial Completion	Final Completion
Original Contractual Limit	\$8,655,000.00	July 15, 2016	April 14, 2017	July 28, 2017
Net Change by previously-authorized Change Order(s)	\$86,598.81	0	0	0
The Contractual limit prior to this Change Order	\$8,741,598.81	July 15, 2016	April 14, 2017	July 28, 2017
The Contract will be adjusted by this Change Order in the amount	\$55,205.85	0	0	0
The new Contractual limit including this Change Order will be	\$8,796,804.66	July 15, 2016	April 14, 2017	July 28, 2017

NOT VALID UNTIL SIGNED BY THE CONTRACTOR, OWNER'S REPRESENTATIVE, if applicable, AND OWNER

Contractor Eriksen Construction Co., Inc.	Owner's Representative HR Green, Inc.	Owner City of Pella
By	By	By
Date:	Date:	Date:

Eriksen Construction Company, Inc.

2546 South Hwy. 30 • PO Box 610 • Blair, Nebraska 68008-0610 • 402-426-3119 • Fax 402-426-3150

April 22, 2016

HR Green
5525 Merle Hay Rd., Suite 200
Johnston, IA 50131
Attn: Heath Picken

Re: Water System Improvements
Division 1: RO Water Treatment Plant
Pella, Iowa
HRG Project No. 40130026

Heath,

Enclosed you will find my change order request for additional cost from Baker Electric associated with the change of the specified high voltage switch.

The original specified switch was an S&C PME-9 model high voltage switch, the requested switch was changed to a S&C PME-11 model high voltage switch.

Please forward your change order in the amount of \$55,206.00 to cover my costs and mark up.

If you have questions or require additional information, please contact me at our office (phone: 402-426-3119 or by email: tims@eriksenconst.com).

Sincerely,



Tim Shaw
President

Enclosure

Eriksen Construction Co., Inc.

2546 South Hwy. 30 - P.O. Box 610 - Blair, Nebraska 68008-0610 - 402 / 426-3119 - Fax 402 / 426-3150

CONTRACT MODIFICATION COST SUMMARY

 Change Of Scope
 X Additional Work

Project: Pell Water Treatment Date: 04/22/16

Request Made By: Baker Job No.: 643

Material & Equipment:

	Factor	Percentage	
Material Work Sheet			\$ -
Equipment Work Sheet			\$ -
Expendables (% of materials)	0	4.90%	\$ -
Sales Tax	0	6.50%	\$ -
Freight (% of Materials & Equipment)	0	7.50%	\$ -
Sub-Total Material & Equipment			\$ -

Equipment Rental

	Hours	Rate	
Track Crane per hour	0	175.00	\$ -
Hydraulic Crane per hour	0	175.00	\$ -
Rubber Tire Loader per hour	0	120.00	\$ -
Track Loader per hour	0	120.00	\$ -
Dozer per hour	0	120.00	\$ -
Excavator per hour	0	165.00	\$ -
Backhoe / Small Trackhoe per hour	0	85.00	\$ -
Scissor Lift (equipment only) per hour	0	40.00	\$ -
Skidsteer per hour	0	75.00	\$ -
Air Compressor / Hammer per hour	0	40.00	\$ -
Dump Truck per hour	0	80.00	\$ -
Pick-up per day	0	55.00	\$ -
Semi / Lowboy per hour	0	175.00	\$ -
Welder per hour	0	30.00	\$ -
Dewatering Pumps	0	250.00	\$ -
Small Tools	0	200.00	\$ -
Box for Lift Station Installation	0	1500.00	\$ -
Sub-Total Equipment Rental			\$ -

Labor & Burden

	Hours	Rate	
Project Manager	0	125.00	\$ -
Superintendent	0	85.00	\$ -
Operator	0	65.00	\$ -
Carpenter	0	55.00	\$ -
Ironworker	0	55.00	\$ -
Cement Finisher	0	55.00	\$ -
Pipefitter	0	55.00	\$ -
Laborer	0	45.00	\$ -
Sub-Total Direct Labor			\$ -

Sub-Total Page 1 Of 3

\$ -

Eriksen Construction Co., Inc.

2546 South Hwy. 30 - P.O. Box 610 - Blair, Nebraska 68008-0610 - 402 / 426-3119 - Fax 402 / 426-3150

CONTRACT MODIFICATION COST SUMMARY

Sub-Total Brought Forward From Page 1 1 Of 3 \$ -

Change Of Scope
 Additional Work

Project: Pell Water Treatment Date: 04/22/16

Request Made By: Baker Job No.: 643

Labor Adjustments:

	Factor	Percentage		
Estimating	0	0.4%	\$	-
OSHA	0	0.6%	\$	-
Material Handling	0	0.43%	\$	-
Testing	0	0.35%	\$	-
Safety Program	0	0.35%	\$	-
Start-up	0	0.3%	\$	-
Punch List	0	0.3%	\$	-
Clean Up	0	0.31%	\$	-
Coordination	0	0.31%	\$	-
Schedule Revisions	0	0.63%	\$	-
Quality Control	0	0.04%	\$	-
Expediting	0	0.83%	\$	-
Sub-Total Labor Adjustments			\$	-

Subcontractors

Baker Electric	\$ 51,800.00
	-
	-
	-
	-
	-
	-
	-
Sub-Total Subcontractors	\$ 51,800.00

Project Expense:

	Factor	Percentage		
Administration Travel & Subsistence			\$	-
Motel			\$	-
Permit & Inspection Cost			\$	-
Postage Cost			\$	-
Project Administration (% of cost)	0	2.00%	\$	-
Storage Facilities			\$	-
Telephone Expense			\$	-
Temporary Utilities			\$	-
Sub-Total Project Expense			\$	-

Sub-Total page 2 Of 3 \$ 51,800.00

Eriksen Construction Co., Inc.

2546 South Hwy. 30 - P.O. Box 610 - Blair, Nebraska 68008-0610 - 402 / 426-3119 - Fax 402 / 426-3150

CONTRACT MODIFICATION COST SUMMARY

Sub-Total Brought Forward From Page 2 2 Of 3 \$ 51,800.00

Change Of Scope
 Additional Work

Project: Pell Water Treatment Date: 04/22/16

Request Made By: Baker Job No.: 643

Modification Of Sub-Total Costs

Warranty	0.00%	\$ -
Interest On Delayed Rention	0.00%	\$ -
Extended Overhead (Project Extension)	0.00%	\$ -
Sub-Total Modifications		\$ -

Sub-Total Of Direct Project costs \$ -

Overhead \$ -

Sub-Total Of Total Costs \$ 51,800.00

Profit \$ 2,590.00

Sub-Total \$ 54,390.00

Credits (Description) \$ -

<Deduct>

Sub-Total \$ 54,390.00

Bond \$ 815.85

Total Amount This Modification \$ 55,205.85

This proposal may be withdrawn or modified if not accepted in (30) calendar days

Time extension required to base bid calendar days

Submitted by _____
Eriksen Construction Co. Inc Date

Approved by _____
Date



Change Order Request

C.O.R. # 001

G.C. #

Date: April 22, 2016

Project Name:

Project #:

To Eriksen Construction
Attn:

From: Baker Electric

Phone:

Fax:

Phone:

Fax:

We hereby propose to make the following changes:

As directed by rejected and resubmit of High voltage switch submittal.

Original switch-as per addendum#2

-Provide and install S&C PME-9 model high voltage switch
Cost \$31,600.00

Alternate Switch

-Provide and install S&C PME-11 model high voltage switch
Cost \$83,400.00

Total: \$83,400.00-\$31,600.00=\$51,800.00

Change Order Price \$ 51,800.00

This price is good for 30 days. If conditions change, this price is void.

We are requesting a time extension of 0 days in conjunction with this change.

Steve Landgrebe

4/22/2016

Author

Date Sent

Accepted

The above prices and specifications of this Change Order request are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in original contract unless otherwise specified.

Authorized Signature

Date of Acceptance

J-1

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
ALLIANT-IES (GAS) (1060)						
042516LIB	GAS-LIB	04/25/2016	05/17/2016	146.86	05/16	100.5.03.4000.6371
042616COLL/DIST	NATURAL GAS SERVICE	04/26/2016	05/17/2016	9.92	05/16	350.5.05.8330.6371
042616COLL/DIST	NATURAL GAS SERVICE	04/26/2016	05/17/2016	9.91	05/16	300.5.05.8130.6371
042616PWO	GAS BILL-PWO	04/26/2016	05/17/2016	93.52	05/16	100.5.05.6500.6371
042616PWS	GAS BILL-PWS	04/26/2016	05/17/2016	152.48	05/16	100.5.05.6500.6371
042616WTP	NATURAL GAS-WTP	04/26/2016	05/17/2016	430.87	05/16	300.5.05.8120.6371
04262016-222	UTILITIES - 222 TRUMAN - EL	04/26/2016	05/17/2016	72.61	05/16	400.5.06.8588.9920
042716HOWELL	NATURAL GAS-HOWEEL	04/27/2016	05/17/2016	30.66	05/16	350.5.05.8320.6371
042816LIFT	NATURAL GAS-WWTP	04/28/2016	05/17/2016	58.94	05/16	350.5.05.8320.6371
042816PD	UTILITY - GAS EXPENSE - PD	04/28/2016	05/17/2016	540.01	05/16	100.5.01.1000.6371
042916AIR	GAS BILL-AIRPORT	04/29/2016	05/17/2016	49.14	05/16	100.5.05.2200.6371
042916AIROFF	GAS BILL-AIROFF	04/29/2016	05/17/2016	28.10	05/16	100.5.05.2200.6371
05162016 - CC	NATURAL GAS - CC	04/25/2016	05/17/2016	79.77	05/16	100.5.04.4100.6371
05162016 - CC A	NATURAL GAS - CC	04/25/2016	05/17/2016	787.78	05/16	100.5.04.4100.6371
05192016 - PK	NATURAL GAS - PK	04/29/2016	05/17/2016	22.65	05/16	100.5.09.4200.6371
Total ALLIANT-IES (GAS) (1060):				2,513.22		
AMAZON (1070)						
041016LIB	ADULT DVDS-LIB	04/10/2016	05/17/2016	280.08	05/16	151.5.03.4000.6516
041016LIB	JUVENILE DVDS-LIB	04/10/2016	05/17/2016	229.09	05/16	151.5.03.4000.6517
041016LIB	MUSIC CDS-LIB	04/10/2016	05/17/2016	15.36	05/16	100.5.03.4000.6523
041016LIB	ADULT BOOKS-LIB	04/10/2016	05/17/2016	416.73	05/16	151.5.03.4000.6529
041016LIB	JUVENILE BOOKS-LIB	04/10/2016	05/17/2016	222.76	05/16	100.5.03.4000.6534
041016LIB	SUPPLIES-LIB	04/10/2016	05/17/2016	96.56	05/16	100.5.03.4000.6543
041016LIB	QUIET ROOM-LIB	04/10/2016	05/17/2016	55.44	05/16	201.5.03.7055.6750
Total AMAZON (1070):				1,316.02		
ANDREAS, REUBEN PETER (5828)						
1611580013	EE REBATE	05/10/2016	05/17/2016	525.00	05/16	400.2215
Total ANDREAS, REUBEN PETER (5828):				525.00		
ARNOLD MOTOR SUPPLY (1126)						
37-503450	SUPPLIES-LIB	03/29/2016	04/19/2016	9.23	05/16	100.5.03.4000.6310
37-505173	FILTERS	04/26/2016	05/17/2016	18.83	05/16	300.5.05.8140.6330
37-505394	EQUIPMENT SUPPLIES	04/28/2016	05/17/2016	7.53	05/16	115.5.05.2100.6350
37-505414	ST-18	04/29/2016	05/17/2016	43.23	05/16	115.5.05.2100.6350
Total ARNOLD MOTOR SUPPLY (1126):				78.82		
ARTHUR, PHILLIP V (5820)						
71-10101-14	DEPOSIT REFUND	05/06/2016	05/17/2016	58.86	05/16	400.2210
Total ARTHUR, PHILLIP V (5820):				58.86		
AUTHNET GATEWAY BILLING (5770)						
050216	APR 2016 CREDIT CARD FEES	05/02/2016	05/03/2016	44.55	05/16	100.5.04.4100.6416
Total AUTHNET GATEWAY BILLING (5770):				44.55		
AW DIRECT INC (1141)						
S102473541	LED FLASHERS - PICKUP - EL	04/29/2016	05/17/2016	227.80	05/16	400.5.06.8588.9660
Total AW DIRECT INC (1141):				227.80		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
BAILEY, JUSTIN (1156)						
1620580011	EE REBATE - EL	04/26/2016	05/17/2016	48.00	05/16	400.2215
Total BAILEY, JUSTIN (1156):				48.00		
BAKER & TAYLOR INC-BOOKS (1158)						
2031880719	JUVENILE BOOK-LIB	04/04/2016	05/17/2016	37.54	05/16	151.5.03.4000.6534
2031892312	ADULT BOOKS-LIB	04/08/2016	05/17/2016	193.16	05/16	151.5.03.4000.6529
2031909525	ADULT BOOKS-LIB	04/16/2016	05/17/2016	204.78	05/16	151.5.03.4000.6529
2031914735	JUVENILE BOOK-LIB	04/14/2016	05/17/2016	184.58	05/16	151.5.03.4000.6534
2031914816	JUVENILE BOOK-LIB	04/15/2016	05/17/2016	122.69	05/16	151.5.03.4000.6534
2031914832	YP BOOKS-LIB	04/14/2016	05/17/2016	5.99	05/16	100.5.03.4000.6535
2031923296	ADULT BOOKS-LIB	04/18/2016	05/17/2016	93.70	05/16	151.5.03.4000.6529
2031936669	ADULT BOOKS-LIB	04/20/2016	05/17/2016	102.04	05/16	151.5.03.4000.6529
2031938937	ADULT BOOKS-LIB	04/21/2016	05/17/2016	215.05	05/16	151.5.03.4000.6529
2031939240	ADULT BOOKS-LIB	04/21/2016	05/17/2016	268.93	05/16	151.5.03.4000.6529
2031951477	YA BOOKS-LIB	04/25/2016	05/17/2016	18.46	05/16	100.5.03.4000.6535
5014085862	ADULT BOOKS-LIB	04/22/2016	05/17/2016	82.21	05/16	151.5.03.4000.6529
Total BAKER & TAYLOR INC-BOOKS (1158):				1,529.13		
BARCO MUNICIPAL PRODUCTS INC (1175)						
IN-220052	PAINT	05/06/2016	05/17/2016	229.99	05/16	115.5.05.2100.6545
Total BARCO MUNICIPAL PRODUCTS INC (1175):				229.99		
BEACON ATHLETICS (1194)						
0457402-IN	DRAG MAT - SPS	04/22/2016	05/17/2016	295.00	05/16	203.5.08.7226.6799
Total BEACON ATHLETICS (1194):				295.00		
BINNS & STEVENS SPRAYERS (1236)						
18457	DUST CONTROL-PW	04/26/2016	05/17/2016	6,321.00	05/16	115.5.05.2100.6549
18458	ROAD DUST CONTROL-WWTP	04/26/2016	05/17/2016	8,870.90	05/16	350.5.05.8300.6320
Total BINNS & STEVENS SPRAYERS (1236):				15,191.90		
BITUMINOUS MATERIALS AND SUPPLY LP (5169)						
2213122162	SPRAY PATCHER	04/22/2016	05/17/2016	1,462.36	05/16	115.5.05.2100.6549
Total BITUMINOUS MATERIALS AND SUPPLY LP (5169):				1,462.36		
BLICK ART MATERIALS (1251)						
5989158	REFUND PAINT - ART CENTER	04/26/2016	05/17/2016	4.46	05/16	100.5.04.4110.6544
5993025	PAINT - ART CENTER	04/27/2016	05/17/2016	4.46	05/16	100.5.04.4110.6544
Total BLICK ART MATERIALS (1251):				.00		
BLOMMERS CONSTRUCTION (1256)						
HAZEL STREET PP	HAZEL ST RECONSTRUCTION PP2	04/28/2016	05/17/2016	102,140.91	05/16	215.5.05.2161.6761
Total BLOMMERS CONSTRUCTION (1256):				102,140.91		
BONE, JOHN (5821)						
050216PWS	BOOT REIMBURSEMENT	05/02/2016	05/17/2016	100.00	05/16	115.5.05.2100.6545
Total BONE, JOHN (5821):				100.00		

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BROWN SUPPLY CO INC (1354)						
66981	SIGNAGE PARTS	04/29/2016	05/17/2016	478.00	05/16	115.5.05.2100.6532
Total BROWN SUPPLY CO INC (1354):				478.00		
BURBANK VILLAGE APTS (1379)						
69-16005-26	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	11.08	05/16	001.1199
Total BURBANK VILLAGE APTS (1379):				11.08		
C L CARROLL CO INC (1407)						
JORDANWELLPP1	JORDAN WELL PP13	04/26/2016	05/17/2016	10,925.00	05/16	310.5.05.8152.6780
Total C L CARROLL CO INC (1407):				10,925.00		
CDW GOVERNMENT INC (1446)						
CQR7126	HARDWARE FOR 4G-LIB	04/07/2016	05/17/2016	615.12	05/16	151.5.03.4000.6422
Total CDW GOVERNMENT INC (1446)				615.12		
CENTER POINT LARGE PRINT (1450)						
1364188	LP BOOKS-LIB	04/01/2016	05/17/2016	83.88	05/16	100.5.03.4000.6536
Total CENTER POINT LARGE PRINT (1450):				83.88		
CENTRAL COLLEGE FOOD SERVICE (1453)						
2648	VOLUNTEER APPRECIATION DINNER	04/26/2016	05/17/2016	1,800.00	05/16	100.5.08.6400.6500
Total CENTRAL COLLEGE FOOD SERVICE (1453):				1,800.00		
CENTRAL IA CHAPTER APA (1457)						
05092016	MAY 2016 MEETING ON WAGE & HOU	05/09/2016	05/17/2016	17.00	05/16	100.5.00.6320.6240
Total CENTRAL IA CHAPTER APA (1457):				17.00		
CENTRAL IA WATER ASSOC (1462)						
03102016-0411201	CENTRAL IOWA WATER BILLS -ANNE	04/28/2016	05/17/2016	1,043.70	05/16	300.5.05.8100.6416
Total CENTRAL IA WATER ASSOC (1462):				1,043.70		
CENTRAL TIRE & AUTO (1466)						
19766	TIRES	05/03/2016	05/17/2016	588.00	05/16	300.5.05.8140.6330
Total CENTRAL TIRE & AUTO (1466):				588.00		
CENTURION TECHNOLOGIES (1467)						
171036	SMART SHIELD LICENSES-LIB	04/15/2016	05/17/2016	176.00	05/16	100.5.03.4000.6422
Total CENTURION TECHNOLOGIES (1467):				176.00		
CHILD'S WORLD (1486)						
NA132433	JUVENILE BOOKS - LIBRARY	04/26/2016	05/17/2016	842.75	05/16	151.5.03.4000.6534
Total CHILD'S WORLD (1486):				842.75		
CITY OF PELLA (1503)						
040816COLL/DIST	ELECTRIC SERVICE	04/08/2016	05/17/2016	114.15	05/16	300.5.05.8130.6370
040816COLL/DIST	ELECTRIC SERVICE	04/08/2016	05/17/2016	114.14	05/16	350.5.05.8330.6370

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040816WTP	ELECTRICITY	04/08/2016	05/17/2016	74.10	05/16	300.5.05.8120.6370
041116LIFT1	ELECTRIC SERVICE	04/11/2016	05/17/2016	990.90	05/16	350.5.05.8320.6370
041116LIFT1	WATER SERVICE	04/11/2016	05/17/2016	15.52	05/16	350.5.05.8320.6374
041416HOWELL	ELECTRICITY	04/14/2016	05/17/2016	30.90	05/16	300.5.05.8110.6370
041416HOWELLIF	ELECTRIC SERVICE	04/14/2016	05/17/2016	222.90	05/16	350.5.05.8320.6370
041416JORDAN	ELECTRICITY	04/14/2016	05/17/2016	5,750.90	05/16	300.5.05.8110.6370
041416LIFT3	ELECTRIC SERVICE	04/14/2016	05/17/2016	510.90	05/16	350.5.05.8320.6370
041416NWT	ELECTRICITY	04/14/2016	05/17/2016	49.10	05/16	300.5.05.8130.6370
041416SENTS	ELECTRIC SERVICE	04/14/2016	05/17/2016	7,130.90	05/16	350.5.05.8300.6370
041416SENTS	WATER SERVICE	04/14/2016	05/17/2016	195.52	05/16	350.5.05.8300.6374
041416WELL2	ELECTRICITY	04/14/2016	05/17/2016	46.80	05/16	300.5.05.8110.6370
041416WELL4	ELECTRICITY	04/14/2016	05/17/2016	40.10	05/16	300.5.05.8110.6370
041416WELL6	ELECTRICITY	04/14/2016	05/17/2016	37.80	05/16	300.5.05.8110.6370
041516FIELD4	ELECTRICITY	04/15/2016	05/17/2016	2,744.33	05/16	300.5.05.8110.6370
042016LIFT2	ELECTRIC SERVICE	04/20/2016	05/17/2016	1,918.90	05/16	350.5.05.8320.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	2,451.55	05/16	100.5.08.2500.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	300.90	05/16	100.5.04.4301.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	10.11	05/16	100.5.04.4301.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	6.80	05/16	100.5.04.4301.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	522.90	05/16	100.5.05.6500.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	45.52	05/16	100.5.05.6500.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	51.00	05/16	100.5.05.6500.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	3,622.90	05/16	100.5.04.4300.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	195.52	05/16	100.5.04.4300.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	1,142.90	05/16	100.5.04.4100.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	15.52	05/16	100.5.04.4100.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	17.00	05/16	100.5.04.4100.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	762.90	05/16	100.5.00.6100.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	23.02	05/16	100.5.00.6100.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	25.50	05/16	100.5.00.6100.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	2,399.15	05/16	100.5.03.4000.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	53.02	05/16	100.5.03.4000.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	59.50	05/16	100.5.03.4000.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	868.80	05/16	100.5.09.4200.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	121.56	05/16	100.5.09.4200.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	119.00	05/16	100.5.09.4200.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	1,822.20	05/16	100.5.01.1000.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	31.64	05/16	100.5.01.1000.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	29.75	05/16	100.5.01.1000.6375
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	897.50	05/16	100.5.02.1100.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	38.02	05/16	100.5.05.2200.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	731.50	05/16	100.5.09.4250.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	46.56	05/16	100.5.09.4250.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	8.28	05/16	179.5.09.4200.6564
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	1,600.07	05/16	100.5.09.4245.6370
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	12.37	05/16	100.5.09.4245.6374
04292016	PUBLIC AUTHORITY BILLS	04/29/2016	05/17/2016	4.87	05/16	100.5.09.4245.6374
04302016-101	UTILITIES - 101 CLARK SUB	04/30/2016	05/17/2016	210.58	05/16	400.5.06.8588.9950
04302016-1011	UTILITIES - 1011 W 10TH SUB	04/30/2016	05/17/2016	782.17	05/16	400.5.06.8588.9950
04302016-1015	UTILITIES - 1015 ROOSEVELT SUB	04/30/2016	05/17/2016	359.63	05/16	400.5.06.8588.9950
04302016-1108	UTILITIES - 1108 VERMEER SUB	04/30/2016	05/17/2016	389.06	05/16	400.5.06.8588.9950
04302016-1875	WATER & ELECTRIC - 1875 WASH	04/30/2016	05/17/2016	4,743.94	05/16	400.5.06.8549.9020
04302016-1875A	WATER - 1875 WASH. A	04/30/2016	05/17/2016	116.77	05/16	400.5.06.8548.9030
04302016-222	UTILITIES -222 TRUMAN	04/30/2016	05/17/2016	574.17	05/16	400.5.06.8588.9920
04302016-222A	UTILITIES - 222 TRUMAN A	04/30/2016	05/17/2016	34.80	05/16	400.5.06.8588.9920
04302016-515	UTILITIES - 515 HUBER SUB	04/30/2016	05/17/2016	412.81	05/16	400.5.06.8588.9950

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Total CITY OF PELLA (1503):				45,649.62		
CIVIC PLUS (1507)						
158898	WEBSITE HOSTING	05/06/2016	05/17/2016	3,829.19	05/16	100.5.00.6200.6403
Total CIVIC PLUS (1507):				3,829.19		
CONTINENTAL RESEARCH CORPORATI (1556)						
435013-CRC-1	BOLT EXTRACTOR	05/06/2016	05/17/2016	185.30	05/16	300.5.05.8120.6510
Total CONTINENTAL RESEARCH CORPORATI (1556):				185.30		
CUSTOMIZED ENERGY SOLUTIONSLTD (1622)						
1040450	TRANSMISSION - FTR'S	05/05/2016	05/17/2016	1,000.00	05/16	400.5.06.8565.9520
Total CUSTOMIZED ENERGY SOLUTIONSLTD (1622):				1,000.00		
D & K PRODUCTS (1625)						
0442817-IN	GRASS SEED & FERTILIZER - PK	04/27/2016	05/17/2016	293.21	05/16	100.5.09.4245.6513
Total D & K PRODUCTS (1625):				293.21		
DE BLOEMEN HOF LTD (1662)						
57053	PEAT MOSS - FD	04/16/2016	05/17/2016	173.70	05/16	100.5.02.1100.6510
Total DE BLOEMEN HOF LTD (1662):				173.70		
DE JONG DOOR SERVICE (1668)						
16049	GARAGE DOOR REPAIR	04/15/2016	05/17/2016	310.00	05/16	300.5.05.8120.6310
Total DE JONG DOOR SERVICE (1668):				310.00		
DE LAGE LANDEN PUBLIC FINANCE LLC (4658)						
49810250	COLOR COPIER LEASE-LIB	04/16/2016	05/17/2016	99.50	05/16	100.5.03.4000.6418
49956214	COPIER LEASE - EL	05/02/2016	05/17/2016	95.71	05/16	400.5.06.8588.9920
49968365	COPIER LEASE	05/04/2016	05/17/2016	160.99	05/16	100.5.00.6100.6550
49968365	COPIER LEASE	05/04/2016	05/17/2016	32.18	05/16	100.5.00.6100.6550
49968365	COPIER LEASE	05/04/2016	05/17/2016	27.90	05/16	100.5.04.4100.6543
49968365	COPIER LEASE	05/04/2016	05/17/2016	62.48	05/16	100.5.05.6500.6418
49968365	COPIER LEASE	05/04/2016	05/17/2016	50.47	05/16	400.5.06.8549.9020
49968365	COPIER LEASE	05/04/2016	05/17/2016	46.90	05/16	100.5.01.1010.6550
49968365	COPIER LEASE	05/04/2016	05/17/2016	46.90	05/16	100.5.01.1030.6550
49968365	COPIER LEASE	05/04/2016	05/17/2016	32.18	05/16	300.5.05.8120.6543
Total DE LAGE LANDEN PUBLIC FINANCE LLC (4658):				655.21		
DE PENNING, KATHRYN R (5810)						
33-16003-19	DEPOSIT REFUND	04/29/2016	05/17/2016	61.80	05/16	400.2210
Total DE PENNING, KATHRYN R (5810):				61.80		
DE RUITER EQUIPMENT (1685)						
31901	OIL FOR MOWERS	04/29/2016	05/17/2016	7.48	05/16	100.5.05.2200.6590
Total DE RUITER EQUIPMENT (1685):				7.48		

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DE VRIES ELECTRIC INC (4485)						
000682	STREET SUPPLIES	04/26/2016	05/17/2016	174.40	05/16	115.5.05.2100.6549
Total DE VRIES ELECTRIC INC (4485):				174.40		
DE WAARD, DON (5814)						
72-11810-02	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	70.54	05/16	001.1199
Total DE WAARD, DON (5814):				70.54		
DIAMOND VOGEL PAINTS (1747)						
277166284	ST PAINT	04/19/2016	05/17/2016	1,185.60	05/16	115.5.05.2100.6545
277166429	TRAFFIC PAINT	04/26/2016	05/17/2016	175.30	05/16	115.5.05.2100.6545
Total DIAMOND VOGEL PAINTS (1747):				1,360.90		
DOUBLE B BLASTING (1795)						
859241	WASHINGTON ST SANDBLASTING	04/20/2016	05/17/2016	1,150.00	05/16	215.5.05.2190.6761
Total DOUBLE B BLASTING (1795):				1,150.00		
DOWIE PEST CONTROL (1801)						
19062	RODENT CONTROL-AIRPORT	04/25/2016	05/17/2016	100.00	05/16	100.5.05.2200.6310
19138	PEST CONTROL - MAY - PD	05/03/2016	05/17/2016	30.00	05/16	100.5.01.1000.6310
Total DOWIE PEST CONTROL (1801):				130.00		
DREYER, KATIE (1810)						
041216LIB	PRIZES FOR 1000 BOOKS B4 KDG-LI	04/12/2016	05/17/2016	172.95	05/16	151.5.03.4000.6564
Total DREYER, KATIE (1810):				172.95		
DUTCH MEADOWS LANDSCAPING INC (1832)						
1503	SEEDING-WATER MAIN PROJECTS	04/25/2016	05/17/2016	2,700.00	05/16	310.5.05.8183.6790
1504	W 4TH STORM	04/26/2016	05/17/2016	150.00	05/16	115.5.05.2120.6548
1504	JEFFERSON STREET RECON	04/26/2016	05/17/2016	250.00	05/16	215.5.05.2184.6761
Total DUTCH MEADOWS LANDSCAPING INC (1832):				3,100.00		
ELECTRICAL ENGINEERING (1876)						
205481-00	VFD REPAIR	04/29/2016	05/17/2016	392.40	05/16	300.5.05.8120.6350
Total ELECTRICAL ENGINEERING (1876):				392.40		
ELECTRONIC ENGINEERING (1878)						
1569970	PAGERS - EL	04/25/2016	05/17/2016	83.65	05/16	400.5.06.8588.9950
Total ELECTRONIC ENGINEERING (1878):				83.65		
ERIKSEN CONSTRUCTION CO INC (5709)						
RO/WTP PP5	RO/WTP PP5	04/28/2016	05/17/2016	253,396.28	05/16	310.5.05.8152.6780
Total ERIKSEN CONSTRUCTION CO INC (5709):				253,396.28		
FAEGRE BAKER DANIELS (4736)						
24013381	SCRAA LEGAL FEES	04/18/2016	05/17/2016	2,003.50	05/16	141.5.05.2200.6414

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Total FAEGRE BAKER DANIELS (4736):				2,003.50		
FAREWAY STORES INC #995 (1924)						
00031120	MEALS - TULIP TIME - PD	04/26/2016	05/17/2016	96.04	05/16	100.5.01.1030.6240
00126898	MEALS - TULIP TIME - PD	05/02/2016	05/17/2016	167.20	05/16	100.5.01.1030.6240
00128107	MEALS - TULIP TIME - PD	05/07/2016	05/17/2016	11.68	05/16	100.5.01.1030.6240
Total FAREWAY STORES INC #995 (1924):				274.92		
FARRELL PROPERTIES INC (5815)						
36-13900-02	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	31.40	05/16	001.1199
Total FARRELL PROPERTIES INC (5815):				31.40		
FASTENAL COMPANY (1929)						
IAPEA93584	SAFETY GLASSES & EAR PLUGS	04/11/2016	05/17/2016	28.79	05/16	300.5.05.8100.6546
IAPEA93584	SAFETY GLASSES & EAR PLUGS	04/11/2016	05/17/2016	28.78	05/16	350.5.05.8330.6546
IAPEA93588	SAFETY MUDDER BOOTS	04/11/2016	05/17/2016	87.50	05/16	350.5.05.8330.6546
IAPEA93588	SAFETY RUBBER BOOTS	04/11/2016	05/17/2016	87.50	05/16	300.5.05.8100.6546
IAPEA93606	LOCATE PAINT	04/12/2016	05/17/2016	44.46	05/16	300.5.05.8130.6544
IAPEA93606	LOCATE PAINT	04/12/2016	05/17/2016	14.82	05/16	350.5.05.8330.6544
IAPEA93777	HAND TOWELS	04/21/2016	05/17/2016	28.92	05/16	350.5.05.8330.6544
IAPEA93777	HAND TOWELS	04/21/2016	05/17/2016	28.91	05/16	300.5.05.8130.6544
IAPEA93778	HARDWARE & CABLE TIES	04/21/2016	05/17/2016	18.69	05/16	300.5.05.8120.6590
IAPEA93788	AIR HANDLING UNIT REPAIR - PD	04/21/2016	05/17/2016	2.50	05/16	100.5.01.1000.6310
IAPEA93794	HARDWARE - EL	04/22/2016	05/17/2016	45.02	05/16	400.5.06.8588.9950
IAPEA93794	MARKING PAINT - EL	04/22/2016	05/17/2016	99.26	05/16	400.5.06.8584.9030
IAPEA93826	NUTS & BOLTS FOR FISH PAD - OUT	04/25/2016	05/17/2016	6.00	05/16	100.5.04.4301.6310
IAPEA93842	SAFETY BOOTS	04/26/2016	05/17/2016	749.96	05/16	115.5.05.2100.6546
IAPEA93894	SAW BLADES - EL	04/28/2016	05/17/2016	53.69	05/16	400.5.06.8588.9950
Total FASTENAL COMPANY (1929):				1,324.80		
FIRE SERVICE TRAINING BUREAU (1954)						
002005	TRAINING - FD	05/02/2016	05/17/2016	160.00	05/16	100.5.02.1100.6230
Total FIRE SERVICE TRAINING BUREAU (1954):				160.00		
FOUR SEASONS YARD CARE (1980)						
9503	MOW LIONS PARK - PK	04/11/2016	05/17/2016	240.00	05/16	100.5.09.4200.6403
Total FOUR SEASONS YARD CARE (1980):				240.00		
FPL ENERGY HANCOCK CTY WIND (1982)						
315212	PURCHASED POWER - RESALE (WIN	05/09/2016	05/09/2016	32,341.27	05/16	400.5.06.8555.9501
Total FPL ENERGY HANCOCK CTY WIND (1982):				32,341.27		
GALE/CENGAGE LEARNING INC (2017)						
57941231	ADULT BOOK-LIB	04/21/2016	05/17/2016	19.46	05/16	151.5.03.4000.6529
Total GALE/CENGAGE LEARNING INC (2017):				19.46		
GALLS LLC (2022)						
005306596	UNIFORM EXPENSE - PD	04/29/2016	05/17/2016	102.17	05/16	100.5.01.1030.6510

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Total GALLS LLC (2022):				102.17		
GAMETIME (2024)						
6099008	ROTARY PARK REPLACEMENT SPRIN	04/08/2016	05/17/2016	188.88	05/16	100 5.09.4200.6320
Total GAMETIME (2024):				188.88		
GENERAL FIRE & SAFETY (2050)						
21778	FIRST AID SUPPLIES- WTP	04/20/2016	05/17/2016	16.30	05/16	300.5.05.8100.6546
21779	FIRST AID SUPPLIES- PWS	04/20/2016	05/17/2016	13.25	05/16	115.5.05.2100.6546
Total GENERAL FIRE & SAFETY (2050):				29.55		
GLOBAL PAYMENTS GLOBAL STL (5771)						
050216	APR 2016 CREDIT CARD FEES	05/02/2016	05/03/2016	127.04	05/16	100.5.04.4100.6416
Total GLOBAL PAYMENTS GLOBAL STL (5771):				127.04		
GONOKOBRA ENTERPRISES INC (2072)						
4646	VEHICLE EXPENSE - PD	04/30/2016	05/17/2016	53.00	05/16	100.5.01.1030.6330
Total GONOKOBRA ENTERPRISES INC (2072):				53.00		
GRAINGER INC, W W (2086)						
9089342175	JOINT SEALANT	04/21/2016	05/17/2016	87.50	05/16	350.5.05.8300.6350
Total GRAINGER INC, W W (2086):				87.50		
GRAYMONT WESTERN LIME INC. (2093)						
71497 RI	CHEMICALS	05/03/2016	05/17/2016	4,066.30	05/16	300.5.05.8120.6503
Total GRAYMONT WESTERN LIME INC. (2093):				4,066.30		
GRIMES ASPHALT AND PAVING CORP (2101)						
10434	COLD MIX	05/05/2016	05/17/2016	365.00	05/16	115.5.05.2100.6549
Total GRIMES ASPHALT AND PAVING CORP (2101):				365.00		
GRITTERS ELECTRIC (2104)						
202216	POWER WASHER REPAIR - IN POOL	05/02/2016	05/17/2016	62.00	05/16	100.5.04.4300.6310
202223	PHOTO CELL - SPORTS PARK CONCE	05/03/2016	05/17/2016	196.91	05/16	100.5.09.4245.6590
202237	SUNKEN GARDENS FOUNTAIN HOOK	05/04/2016	05/17/2016	60.00	05/16	100.5.09.4200.6320
202238	RECEPTACLE CHANGE OUT - IN POO	05/04/2016	05/17/2016	65.67	05/16	100.5.04.4300.6310
Total GRITTERS ELECTRIC (2104):				384.58		
HACH COMPANY (2136)						
9916757	LABORATORY EQUIPMENT	05/04/2016	05/17/2016	7,621.04	05/16	310.5.05.8159.6723
Total HACH COMPANY (2136):				7,621.04		
HAGENS TREE SVC (2141)						
04232016	TREE REMOVAL - PK	04/23/2016	05/17/2016	225.00	05/16	100.5.09.4200.6560
Total HAGENS TREE SVC (2141):				225.00		

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HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798)						
60286	LEGAL FEES	05/03/2016	05/17/2016	4,142.50	05/16	100.5.00.6100.6430
Total HARRISON, MORELAND, WEBBER & SIMPLOT PC (5798):				4,142.50		
HAUG, KATHY (5822)						
1620580008	EE REBATE - EL	04/26/2016	05/17/2016	33.00	05/16	400.2215
1620580009	EE REBATE - EL	04/26/2016	05/17/2016	10.00	05/16	400.2215
Total HAUG, KATHY (5822):				43.00		
HAWKEYE PAVING CORPORATION (5795)						
OSKALOOSAST-P	OSKALOOSA PROJECT-PP2	05/06/2016	05/17/2016	454,194.55	05/16	215.5.05.2191.6761
Total HAWKEYE PAVING CORPORATION (5795):				454,194.55		
HAWKINS INC (2198)						
3870377RI	CHEMICALS	04/19/2016	05/17/2016	1,017.13	05/16	300.5.05.8120.6503
Total HAWKINS INC (2198):				1,017.13		
HEIMAN FIRE EQUIPMENT (2223)						
0842690-IN	BUNKER GEAR - FD	01/27/2016	05/17/2016	47,160.00	05/16	201.5.02.7046.6727
0842695-IN	BUNKER GEAR - FD	01/27/2016	05/17/2016	1,745.00	05/16	201.5.02.7046.6727
Total HEIMAN FIRE EQUIPMENT (2223):				48,905.00		
HEYVELD, DUANE (5827)						
1611580011	EE REBATE	05/10/2016	05/17/2016	400.00	05/16	400.2215
Total HEYVELD, DUANE (5827):				400.00		
HIEMSTRA, RICHARD (5826)						
1611580010	EE REBATE	05/10/2016	05/17/2016	400.00	05/16	400.2215
Total HIEMSTRA, RICHARD (5826):				400.00		
HON, MICHAEL OR CARLEEN (5812)						
30-07400-12	CREDIT BALANCE REFUND	05/02/2016	05/17/2016	43.57	05/16	001.1199
Total HON, MICHAEL OR CARLEEN (5812):				43.57		
HOWARD R GREEN COMPANY (2290)						
104607	RO WTP/JORDAN WELL	05/02/2016	05/17/2016	51,776.21	05/16	310.5.05.8182.6727
Total HOWARD R GREEN COMPANY (2290):				51,776.21		
HRDLICKA, FRED (5824)						
1611580009	EE REBATE - EL	04/26/2016	05/17/2016	25.00	05/16	400.2215
Total HRDLICKA, FRED (5824):				25.00		
HUMMERT INTERNATIONAL INC (4677)						
20428	WATER SHUT OFF, WATER WAND, S	05/02/2016	05/17/2016	177.64	05/16	100.5.09.4200.6590
Total HUMMERT INTERNATIONAL INC (4677):				177.64		

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HY-VEE (2328)						
5702401296	TACO SEASONING	05/10/2016	05/17/2016	20.00	05/16	100.5.09.4245.6530
573526010	CONCESSIONS FOOD - SPORTS PAR	04/26/2016	05/17/2016	20.00	05/16	100.5.09.4245.6530
577813750	GRAND OPENING ICE	05/03/2016	05/17/2016	31.84	05/16	100.5.09.4245.6530
578969934	SPORTS PARK GRAND OPENING	05/05/2016	05/17/2016	1,260.00	05/16	203.5.08.7226.6799
Total HY-VEE (2328):				1,331.84		
IA ASSN MUNICIPAL UTILIT (2335)						
13360	SAFETY - RESPIRATOR FIT TESTING	04/28/2016	05/17/2016	198.00	05/16	100.5.00.6320.6546
13361	SAFETY TRAININGS	04/28/2016	05/17/2016	3,226.57	05/16	100.5.00.6320.6546
YM200001147	TRENCHING & SHORING WORKSHOP	02/04/2016	05/17/2016	240.00	05/16	400.5.06.8588.9720
Total IA ASSN MUNICIPAL UTILIT (2335):				3,664.57		
IA PRISON INDUSTRIES (2392)						
939701	SIGNS	04/22/2016	05/17/2016	91.30	05/16	115.5.05.2100.6532
939727	SIGNS	04/22/2016	05/17/2016	1,322.00	05/16	115.5.05.2100.6532
Total IA PRISON INDUSTRIES (2392):				1,413.30		
IDEAL READY MIX COMPANY (2429)						
476006	UNION STREET PATCH	04/23/2016	05/17/2016	486.00	05/16	115.5.05.2100.6549
476007	OSKALOOSA STREET RECON	04/23/2016	05/17/2016	287.63	05/16	215.5.05.2191.6761
476531	TULIP TIME	04/30/2016	05/17/2016	20.00	05/16	100.5.08.5200.6599
476532	CONCRETE	04/30/2016	05/17/2016	1,393.75	05/16	215.5.05.2191.6761
476533	CONCRETE	04/30/2016	05/17/2016	364.50	05/16	300.5.05.8130.6398
Total IDEAL READY MIX COMPANY (2429):				2,551.88		
IMG INC (5783)						
3035	POTHOLE FILLER	04/19/2016	05/17/2016	890.00	05/16	115.5.05.2100.6549
Total IMG INC (5783):				890.00		
IRBY (2483)						
S009499020.002	SECONDARY SPLICE WRAPS - EL	04/29/2016	05/17/2016	750.00	05/16	400.5.06.8584.9030
Total IRBY (2483):				750.00		
JAARSMA BAKERY (2499)						
120667	GRAND OPENING - SPORTS PARK	05/03/2016	05/17/2016	236.00	05/16	203.5.08.7226.6799
Total JAARSMA BAKERY (2499):				236.00		
JOHN DEERE FINANCIAL (2528)						
2603202	WIRING SUPPLIES/FILTER	04/19/2016	05/17/2016	22.73	05/16	350.5.05.8330.6350
2603202	WIRING SUPPLIES/FILTER	04/19/2016	05/17/2016	22.72	05/16	300.5.05.8130.6350
2603957	STRAPS	04/20/2016	05/17/2016	.70	05/16	350.5.05.8330.6510
2603957	STRAPS	04/20/2016	05/17/2016	.69	05/16	300.5.05.8130.6510
2604514	SPRAYER/SCREWDRIVERS	04/21/2016	05/17/2016	20.98	05/16	350.5.05.8330.6510
2604514	SPRAYER/SCREWDRIVERS	04/21/2016	05/17/2016	20.98	05/16	300.5.05.8130.6510
2604565	TULIP TIME	04/21/2016	05/17/2016	41.98	05/16	100.5.08.5200.6599
2605165	CAR WASH BRUSH/MITT	04/22/2016	05/17/2016	7.48	05/16	350.5.05.8330.6330
2607909	TULIP TIME SUPPLIES	04/25/2016	05/17/2016	42.95	05/16	100.5.08.5200.6599
2609244	SCREWS - OUT POOL	04/24/2016	05/17/2016	4.74	05/16	100.5.04.4301.6310
2609261	HEX KEY SET - EL	04/27/2016	05/17/2016	7.98	05/16	400.5.06.8588.9950
2609501	TULIP TIME	04/27/2016	05/17/2016	18.68	05/16	100.5.08.5200.6599

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2610646	RECEPTICAL - PP	04/29/2016	05/17/2016	9.62	05/16	400.5.06.8552.9020
2612338	T.T.	05/02/2016	05/17/2016	16.47	05/16	100.5.08.5200.6599
2612405	SEA FOAM - PK	05/02/2016	05/17/2016	13.98	05/16	100.5.09.4200.6590
2613301	TULIP TIME	05/03/2016	05/17/2016	2.19	05/16	100.5.08.5200.6599
2613355	PAINT, SANDPAPER, ROLLER - POOL	05/03/2016	05/17/2016	37.84	05/16	100.5.04.4301.6310
2613756	HARDWARE - EL	05/04/2016	05/17/2016	9.86	05/16	400.5.06.8588.9950
2613792	CLEANING SUPPLIES - POOL	05/04/2016	05/17/2016	27.35	05/16	100.5.04.4301.6590
2613899	TOWELS, GLOVES, TAPE - PK	05/04/2016	05/17/2016	116.74	05/16	100.5.09.4200.6590
2614699	SEA FOAM, RATCHETS, HOSE - PK	05/05/2016	05/17/2016	40.16	05/16	100.5.09.4200.6590
2615321	TULIP TIME	05/06/2016	05/17/2016	22.99	05/16	100.5.08.5200.6599
2615673	PPE	05/06/2016	05/17/2016	16.99	05/16	115.5.05.2100.6546
Total JOHN DEERE FINANCIAL (2528):				526.80		
JOSHUA 19 LLC (5819)						
48-04813-01	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	15.26	05/16	001.1199
Total JOSHUA 19 LLC (5819):				15.26		
KELLY SUPPLY CO (2579)						
8161158-0	LIGHT FIXTURES - FD	05/04/2016	05/17/2016	1,005.40	05/16	201.5.02.7040.6750
8161572-0	REPLACEMENT GLOBES - CENTRAL	04/29/2016	05/17/2016	1,636.95	05/16	201.5.09.7214.6790
8161678-0	STRAP	04/20/2016	05/17/2016	1.17	05/16	300.5.05.8130.6330
8161789-0	SEALANT & TAPE - POOL	04/26/2016	05/17/2016	21.53	05/16	100.5.04.4301.6310
8161897-0	AIR CONDITIONER PLUG - PP	04/29/2016	05/17/2016	23.48	05/16	400.5.06.8549.9020
8161900-0	GFCI OUTLETS, COVERS - EL	04/29/2016	05/17/2016	209.71	05/16	400.5.06.8585.9030
Total KELLY SUPPLY CO (2579):				2,898.24		
KNIA KRLS (2630)						
16040276	RADIO EXPENSE	04/24/2016	05/17/2016	199.55	05/16	100.5.00.6350.6402
Total KNIA KRLS (2630):				199.55		
KONE INC (2643)						
949263097	DUMBWAITER MAINT-LIB	04/01/2016	05/17/2016	119.46	05/16	100.5.03.4000.6310
Total KONE INC (2643):				119.46		
KREYKES, FRED (5816)						
51-07501-09	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	59.91	05/16	001.1199
Total KREYKES, FRED (5816):				59.91		
KUCALA, THOMAS (5134)						
050116PD	TRAVEL - PD	05/01/2016	05/17/2016	67.63	05/16	100.5.01.1030.6260
Total KUCALA, THOMAS (5134):				67.63		
LAKESIDE EQUIPMENT CORP (2695)						
16-1323	EQUIPMENT MAINTENANCE	05/03/2016	05/17/2016	1,362.00	05/16	350.5.05.8300.6350
Total LAKESIDE EQUIPMENT CORP (2695):				1,362.00		
LAMPERT LUMBER (2653)						
9108684	TAR	04/18/2016	05/17/2016	19.75	05/16	350.5.05.8330.6499
9108684	TAR	04/18/2016	05/17/2016	19.74	05/16	300.5.05.8130.6499
9108909	OSKY STRET JOB	04/21/2016	05/17/2016	107.25	05/16	215.5.05.2191.6761

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9109148	SHOP TOOL/ STREET	04/25/2016	05/17/2016	20.97	05/16	115.5.05.2100.6545
9109307	DRILL BIT & SCREWS	04/27/2016	05/17/2016	19.58	05/16	300.5.05.8120.6544
9109536	TULIP TIME SUPPLIES	05/02/2016	05/17/2016	4.69	05/16	100.5.08.5200.6599
Total LAMPERT LUMBER (2653):				191.98		
LANSER & SONS LTD,JOHN W (2713)						
1610580002	EE REBATE - QUALITY INSTALL (VEE	04/26/2016	05/17/2016	100.00	05/16	400.2215
Total LANSER & SONS LTD,JOHN W (2713):				100.00		
LASER RESOURCES LLC (4705)						
AR373751	COPIER USE - EL	05/01/2016	05/17/2016	41.85	05/16	400.5.06.8588.9920
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	68.64	05/16	100.5.00.6100.6550
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	56.15	05/16	100.5.00.6100.6550
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	55.73	05/16	100.5.04.4100.6543
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	13.16	05/16	100.5.05.6500.6418
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	.32	05/16	400.5.06.8549.9020
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	45.99	05/16	100.5.01.1010.6550
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	46.04	05/16	100.5.01.1030.6550
AR373752	101596 COPIER LEASE	05/01/2016	05/17/2016	13.29	05/16	300.5.05.8120.6543
AR373805	COLOR COPIER MAINT-LIB	05/01/2016	05/17/2016	42.46	05/16	100.5.03.4000.6418
Total LASER RESOURCES LLC (4705):				383.63		
LELY NORTH AMERICA INC (5381)						
10292015	LELY ECONOMIC DEVELOPMENT PA	10/29/2015	05/17/2016	40,754.20	05/16	132.5.08.5500.6499
Total LELY NORTH AMERICA INC (5381):				40,754.20		
LEPPERT SERVICE & CONTROLS (2740)						
2326	FLOW METER CALIBRATION	04/19/2016	05/17/2016	165.00	05/16	350.5.05.8300.6350
2326	FLOW METER CALIBRATION	04/19/2016	05/17/2016	150.00	05/16	350.5.05.8320.6350
Total LEPPERT SERVICE & CONTROLS (2740):				315.00		
LEXISNEXIS RISK SOLUTIONS (5606)						
1536252-20160430	LEXIS NEXIS ACCURINT SYSTEM - PD	04/30/2016	05/17/2016	260.00	05/16	100.5.01.1040.6403
Total LEXISNEXIS RISK SOLUTIONS (5606):				260.00		
LIFEGUARD STORE INC., THE (2748)						
INV410249	GUARD SUITS - POOL	05/10/2016	05/17/2016	1,706.20	05/16	100.5.04.4300.6425
Total LIFEGUARD STORE INC., THE (2748):				1,706.20		
LINDHOME APTS (2756)						
48-06208-16	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	46.56	05/16	001.1199
Total LINDHOME APTS (2756):				46.56		
LISCO (2761)						
1630518	INTERNET-LIB	04/07/2016	05/17/2016	82.27	05/16	100.5.03.4000.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.88	05/16	400.5.06.8549.9020
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	100.5.05.6500.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	400.5.06.8588.9920
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	100.5.00.6200.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	350.5.05.8310.6373

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1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	300.5.05.8100.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	100.5.01.1010.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	100.5.04.4100.6373
1635958	INTERNET ACCESS	05/05/2016	05/17/2016	55.89	05/16	100.5.04.4300.6373
1636170	RDSL - POLICE	05/05/2016	05/17/2016	51.00	05/16	100.5.01.1040.6373
Total LISCO (2761):				636.27		
M&M SALES COMPANY (2794)						
268360	6284173-PRINTER MAINT	04/28/2016	05/17/2016	32.72	05/16	100.5.00.6100.6403
Total M&M SALES COMPANY (2794):				32.72		
MAHASKA BOTTLING/PEPSI-COLA (2803)						
11805135	GRAND OPENING - SPORTS PARK	05/02/2016	05/17/2016	71.00	05/16	203.5.08.7226.6799
11809580	CONCESSIONS POP - SPORTS PARK	04/27/2016	05/17/2016	131.30	05/16	100.5.09.4245.6530
11809725	CONCESSIONS POP - SPORTS PARK	05/04/2016	05/17/2016	165.00	05/16	100.5.09.4245.6530
Total MAHASKA BOTTLING/PEPSI-COLA (2803):				367.30		
MARCO INC (4674)						
INV3245724	COPIER MAINENANCE-LIB	04/06/2016	05/17/2016	20.26	05/16	100.5.03.4000.6418
Total MARCO INC (4674):				20.26		
MARION CTY BANK (2826)						
04292016	ELECTRONIC BANKING SERVICE	04/29/2016	05/17/2016	125.91	05/16	100.5.00.6310.6499
Total MARION CTY BANK (2826):				125.91		
MARTIN MARIETTA MATERIALS (2842)						
17452316	ROCK BILL	04/14/2016	05/17/2016	503.50	05/16	115.5.05.2100.6549
17452318	SPRAY PATCHER	04/14/2016	05/17/2016	350.14	05/16	115.5.05.2100.6549
17476128	SPRAY PATCHER	04/18/2016	05/17/2016	113.32	05/16	115.5.05.2100.6549
17519813	ROCK BILL- AIRPORT	04/25/2016	05/17/2016	717.47	05/16	115.5.05.2100.6549
17534930	OSKALOOSA ST PROJECT	04/28/2016	05/17/2016	290.25	05/16	215.5.05.2191.6761
Total MARTIN MARIETTA MATERIALS (2842):				1,974.68		
MC MASTER-CARR SUPPLY CO (2886)						
55054539	PULL HANDLES	04/19/2016	05/17/2016	23.15	05/16	350.5.05.8300.6350
Total MC MASTER-CARR SUPPLY CO (2886):				23.15		
MEDIACOM (5331)						
041416PW	INTERNET-PW	04/14/2016	05/17/2016	136.30	05/16	100.5.05.6500.6373
042816PD	INTERNET EXP-PD	04/28/2016	05/17/2016	135.90	05/16	100.5.01.1010.6373
Total MEDIACOM (5331):				272.20		
MENNING, MOLLY (5823)						
1620580010	EE REBATE - EL	04/26/2016	05/17/2016	50.00	05/16	400.2215
Total MENNING, MOLLY (5823):				50.00		
MENNINGA PEST CONTROL (2913)						
46439	MONTHLY SERVICE-LIB	04/22/2016	05/17/2016	42.00	05/16	100.5.03.4000.6310
46750	PEST CONTROL - PK	05/02/2016	05/17/2016	30.50	05/16	100.5.09.4200.6403

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
46757	PEST CONTROL - EL	05/02/2016	05/17/2016	44.94	05/16	400.5.06.8588.9300
46806	PEST CONTROL - PK	05/02/2016	05/17/2016	40.00	05/16	100.5.09.4200.6403
46806 - A	PEST CONTROL - SPORTS PARK	05/02/2016	05/17/2016	30.00	05/16	100.5.09.4245.6403
Total MENNINGA PEST CONTROL (2913):				187.44		
METERING & TECHNOLOGY SOLUTIONS (4934)						
6203	WATER METERS	04/22/2016	05/17/2016	2,368.19	05/16	310.5.05.8145.6727
Total METERING & TECHNOLOGY SOLUTIONS (4934):				2,368.19		
MICROMARKETING LLC (2949)						
616915	JUVENILE AUDIO BOOK-LIB	04/05/2016	05/17/2016	14.99	05/16	151.5.03.4000.6519
618197	ADULT AUDIO BOOK-LIB	04/14/2016	05/17/2016	189.96	05/16	100.5.03.4000.6518
Total MICROMARKETING LLC (2949):				204.95		
MIDTOWN TIRE COMPANY (2961)						
159669	ST-18	05/03/2016	05/17/2016	32.69	05/16	115.5.05.2100.6350
Total MIDTOWN TIRE COMPANY (2961):				32.69		
MIDWEST SANITATION (2981)						
05032016	GARBAGE HAULING	05/03/2016	05/17/2016	37,544.88	05/16	195.5.05.8400.6403
36187	YARD WASTE BAGS	04/30/2016	05/17/2016	475.00	05/16	195.5.05.8400.6544
36239	PORT-O-LET - CALDWELL - PK	04/30/2016	05/17/2016	290.00	05/16	100.5.09.4200.6403
36239	PORT-O-LET - KIWANIS - PK	04/30/2016	05/17/2016	130.00	05/16	100.5.09.4200.6403
Total MIDWEST SANITATION (2981):				38,439.88		
MIDWEST TAPE LLC (5330)						
93924972	HOOLA-LIB	04/30/2016	05/17/2016	500.44	05/16	151.5.03.4000.6527
Total MIDWEST TAPE LLC (5330):				500.44		
MIDWESTONE INSURANCE SERVICES (1562)						
05022016	SCRAA INSURANCE RENEWAL	05/02/2016	05/17/2016	3,693.00	05/16	141.5.05.2200.6410
05022016	SCRAA INSURANCE RENEWAL	05/02/2016	05/17/2016	3,693.00	05/16	141.5.05.2200.6410
34399	SCRAA INSURANCE	04/07/2016	05/17/2016	3,693.00	05/16	141.5.05.2200.6410
34399	SCRAA INSURANCE	04/07/2016	05/17/2016	3,693.00	05/16	141.5.05.2200.6410
34399	SCRAA INSURANCE	04/07/2016	05/17/2016	3,693.00	05/16	141.5.05.2200.6410
Total MIDWESTONE INSURANCE SERVICES (1562):				3,693.00		
MISSOURI RIVER ENERGY SERVICES (3001)						
050416	PURCHASED POWER	05/04/2016	05/04/2016	809,323.62	05/16	400.5.06.8555.9500
050416	TRANSMISSION	05/04/2016	05/04/2016	102,500.99	05/16	400.5.06.8565.9520
Total MISSOURI RIVER ENERGY SERVICES (3001):				911,824.61		
MTI DISTRIBUTION INC (3042)						
1047676-00	TORO 400 MAINTENANCE - PARKS	04/28/2016	05/17/2016	1,898.62	05/16	100.5.09.4200.6350
1052363-00	TORO 4500 SOCCER MAINTENANCE -	04/28/2016	05/17/2016	892.61	05/16	100.5.09.4200.6350
Total MTI DISTRIBUTION INC (3042):				2,791.23		
MUNICIPAL SUPPLY INC (3052)						
0620827-IN	METER COUPLING	04/29/2016	05/17/2016	275.00	05/16	300.5.05.8140.6510

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total MUNICIPAL SUPPLY INC (3052):				275.00		
N C L OF WISCONSIN INC (3063)						
371790	LABORATORY SUPPLIES	04/25/2016	05/17/2016	262.20	05/16	350.5.05.8300.6547
371790	SHIPPING	04/25/2016	05/17/2016	63.35	05/16	350.5.05.8300.6531
Total N C L OF WISCONSIN INC (3063):				325.55		
OATI (OPEN ACCESS TECH INTER) (3170)						
120179	TAGGING - EL	05/01/2016	05/17/2016	481.70	05/16	400.5.06.8565.9520
Total OATI (OPEN ACCESS TECH INTER) (3170):				481.70		
OCLC (3172)						
0000461288	MONTHLY SERVICE-LIB	04/30/2016	05/17/2016	382.73	05/16	100.5.03.4000.6422
Total OCLC (3172):				382.73		
O'REILLY AUTO PARTS (3193)						
0339-353553	SWITCH/FUSE/HOLDER	04/19/2016	05/17/2016	7.99	05/16	350.5.05.8330.6330
0339-353553	SWITCH/FUSE/HOLDER	04/19/2016	05/17/2016	7.98	05/16	300.5.05.8130.6330
Total O'REILLY AUTO PARTS (3193)				15.97		
OSKALOOSA HERALD (3200)						
107 - 2016	LEGAL PUBLICATIONS	04/30/2016	05/17/2016	754.06	05/16	100.5.00.6000.6414
107 - 2016 REV	LEGAL PUBLICATIONS	04/30/2016	05/17/2016	754.06	05/16	100.5.00.6000.6414
107-2016	LEGAL PUBLICATIONS	04/30/2016	05/17/2016	518.60	05/16	100.5.00.6000.6414
4/1-4/30/16-EL1	AD-NOTICE-STORM DISCHARGE - EL	04/30/2016	05/17/2016	10.84	05/16	410.5.06.8955.3900
4/1-4/30/16-EL2	NOTICE-W SUB RECONSTRUCTION -	04/30/2016	05/17/2016	74.68	05/16	410.5.06.8955.3900
4/1-4/30/16-EL2	NOTICE- BIDS - W CENTRAL CONVER	04/30/2016	05/17/2016	40.76	05/16	410.5.06.8952.3670
Total OSKALOOSA HERALD (3200):				644.88		
OVERDRIVE INC (3210)						
9497-000236830	EBOOKS-LIB	04/06/2016	05/17/2016	19.57	05/16	151.5.03.4000.6526
Total OVERDRIVE INC (3210):				19.57		
PEACE LUTHERAN CHURCH (3249)						
050816PWS	TULIP TIME	05/08/2016	05/17/2016	1,261.50	05/16	100.5.08.5200.6599
Total PEACE LUTHERAN CHURCH (3249):				1,261.50		
PELLA CAR CARE (3257)						
0219471	WATER TRUCK REPAIR - PK	04/13/2016	05/17/2016	451.68	05/16	100.5.09.4200.6330
0219478	OIL CHANGE #112 - PK	04/14/2016	05/17/2016	37.95	05/16	100.5.09.4200.6330
Total PELLA CAR CARE (3257):				489.63		
PELLA COOP ELECTRIC ASSN (3268)						
043016AIR	ELECTRIC BILL - AIRPORT	04/30/2016	05/17/2016	1,098.62	05/16	100.5.05.2200.6370
Total PELLA COOP ELECTRIC ASSN (3268):				1,098.62		
PELLA ENGRAVING CO (3272)						
137260	DONOR PLAQUES FOR BLEACHERS	05/04/2016	05/17/2016	2,035.84	05/16	203.5.08.7226.6799

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total PELLA ENGRAVING CO (3272):				2,035.84		
PELLA GLASS/HOME IMP (3275)						
88114	GASKET REPLACEMENT - POOL	02/25/2016	05/17/2016	73.00	05/16	100.5.04.4300.6310
88670	PAINT OLD FIRE STATION - FD	04/05/2016	05/17/2016	96.24	05/16	201.5.02.7040.6750
Total PELLA GLASS/HOME IMP (3275):				169.24		
PELLA PRINTING CO (3292)						
49456	NEWSLETTER - MAY 2016	04/26/2016	05/17/2016	340.00	05/16	100.5.00.6350.6417
Total PELLA PRINTING CO (3292):				340.00		
PELLA PUBLIC LIBRARY (3294)						
042816LIB	POSTAGE-LIBRARY	04/28/2016	05/17/2016	300.00	05/16	100.5.03.4000.6531
Total PELLA PUBLIC LIBRARY (3294):				300.00		
PELLA REGIONAL HEALTH CENTER (3295)						
043016PD	DETAINEE MEALS - PD	04/30/2016	05/17/2016	64.00	05/16	100.5.01.1020.6425
Total PELLA REGIONAL HEALTH CENTER (3295):				64.00		
PELLA REGIONAL HEALTH CT (3296)						
05042016	PREWORK SCREEN & HEP B VAC - P	05/04/2016	05/17/2016	801.00	05/16	100.5.04.4300.6546
05042016 - FD	PHYSICAL - FD	05/04/2016	05/17/2016	545.00	05/16	100.5.02.1100.6546
05042016 - PK	PRE WORK SCREEN & HEP B VAC - P	05/04/2016	05/17/2016	243.00	05/16	100.5.09.4200.6546
Total PELLA REGIONAL HEALTH CT (3296):				1,589.00		
PELLA RENTAL & SALES INC (3297)						
1-514787	SOD CUTTER RENTAL - PK	05/05/2016	05/17/2016	46.18	05/16	100.5.09.4245.6418
Total PELLA RENTAL & SALES INC (3297):				46.18		
PELLA TREE SERVICE INC (3302)						
4888	CENTRAL PARK MULCH - PK	04/22/2016	05/17/2016	320.00	05/16	100.5.09.4200.6560
Total PELLA TREE SERVICE INC (3302):				320.00		
PENGUIN RANDOM HOUSE LLC (3438)						
1086991402	ADULT ADUDIOBOOKS-LIB	04/01/2016	05/17/2016	30.00	05/16	100.5.03.4000.6518
1087063838	ADULT ADUDIOBOOKS-LIB	04/08/2016	05/17/2016	24.00	05/16	100.5.03.4000.6518
1087126379	ADULT ADUDIOBOOKS-LIB	04/15/2016	05/17/2016	30.00	05/16	100.5.03.4000.6518
Total PENGUIN RANDOM HOUSE LLC (3438):				84.00		
PERFECTION LEARNING CORP (3309)						
782716	JUVENILE BOOK-LIB	04/12/2016	05/17/2016	397.76	05/16	151.5.03.4000.6534
Total PERFECTION LEARNING CORP (3309):				397.76		
POTHOVEN, PAM (5612)						
1611580012	EE REBATE - EL	05/10/2016	05/17/2016	425.00	05/16	400.2215
Total POTHOVEN, PAM (5612):				425.00		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
PRAIRIE VILLAGE COOP (5628)						
39-10701-10	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	8.76	05/16	001.1199
39-10702-19	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	30.83	05/16	001.1199
Total PRAIRIE VILLAGE COOP (5628):				<u>39.59</u>		
PRAXAIR DISTRIBUTION INC (3385)						
73092519	CYLINDER RENTAL - EL	04/30/2016	05/17/2016	48.14	05/16	400.5.06.8588.9950
Total PRAXAIR DISTRIBUTION INC (3385):				<u>48.14</u>		
QUILL CORPORATION (3420)						
469901	SUPPLIES-LIB	04/04/2016	05/17/2016	99.99	05/16	100.5.03.4000.6543
5170586	SUPPLIES-LIB	04/20/2016	05/17/2016	14.99	05/16	100.5.03.4000.6544
5185887	SUPPLIES-LIB	04/20/2016	05/17/2016	35.57	05/16	100.5.03.4000.6543
5237081	SUPPLIES-LIB	04/22/2016	05/17/2016	5.24	05/16	100.5.03.4000.6543
5415577	GIS SUPPLIES	04/28/2016	05/17/2016	58.95	05/16	100.5.05.6500.6540
5415577	OFFICE SUPPLIES- PW	04/28/2016	05/17/2016	53.67	05/16	100.5.05.6500.6543
5488626	INK CARTRIDGES - POOL	05/02/2016	05/17/2016	413.96	05/16	100.5.04.4100.6543
Total QUILL CORPORATION (3420):				<u>682.37</u>		
RACOM CORPORATION (3429)						
5B116796	RADIO REPAIR - PD	04/29/2016	05/17/2016	95.00	05/16	100.5.01.1010.6373
Total RACOM CORPORATION (3429):				<u>95.00</u>		
RDG PLANNING & DESIGN (3444)						
30214	CONSULTING SERVICES	03/31/2016	05/17/2016	1,625.00	05/16	100.5.05.5000.6405
Total RDG PLANNING & DESIGN (3444):				<u>1,625.00</u>		
REGENT BOOK CO (3458)						
53055	ADULT BOOKS - LIBRARY	04/05/2016	05/17/2016	28.53	05/16	151.5.03.4000.6529
Total REGENT BOOK CO (3458):				<u>28.53</u>		
RICOH USA INC.-DALLAS (3493)						
96736711	P&Z COPIER LEASE	04/25/2016	05/17/2016	52.53	05/16	100.5.05.5000.6403
Total RICOH USA INC.-DALLAS (3493):				<u>52.53</u>		
ROORDA ELECTRIC (3522)						
050616AIR	BUILDING MAINTENANCE-AIRPORT	05/06/2016	05/17/2016	337.32	05/16	100.5.05.2200.6310
Total ROORDA ELECTRIC (3522):				<u>337.32</u>		
ROORDA, DANIEL (4923)						
39-00800-01	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	72.62	05/16	001.1199
Total ROORDA, DANIEL (4923):				<u>72.62</u>		
ROSS, BRENDA (3550)						
4021695701334	6 PICKLEBALL PADDLES & 6 BALLS -	05/10/2016	05/17/2016	75.69	05/16	100.5.04.4100.6590
Total ROSS, BRENDA (3550):				<u>75.69</u>		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
RSM US LLP (5657)						
M-4818586-019	IT SERVICES	04/23/2016	05/17/2016	6,348.00	05/16	100.5.00.6200.6405
Total RSM US LLP (5657)				6,348.00		
RYKEN CONCRETE LIFTING (3580)						
2315	STREET REPAIRS	04/22/2016	05/17/2016	1,100.00	05/16	115.5.05.2100.6549
Total RYKEN CONCRETE LIFTING (3580):				1,100.00		
RYKEN SEPTIC SERVICES (5059)						
050116AIR	JET SEPTIC SYSTEM SERVICE	05/01/2016	05/17/2016	230.00	05/16	100.5.05.2200.6405
Total RYKEN SEPTIC SERVICES (5059):				230.00		
SADLER SIGN/DESIGN (3584)						
14764	CBD SIGNAGE	04/26/2016	05/17/2016	443.00	05/16	232.5.08.7157.6799
14767	CBD PARK SIGNAGE	04/27/2016	05/17/2016	874.00	05/16	232.5.08.7157.6799
14781	TRUCK REPAIR	04/29/2016	05/17/2016	69.00	05/16	100.5.02.1100.6330
14793	NO CLEATS SIGNS - SPORTS PARK	05/03/2016	05/17/2016	118.00	05/16	203.5.08.7226.6799
14794	DIRECTORY SIGN - SPORTS PARK	05/03/2016	05/17/2016	2,264.00	05/16	203.5.08.7226.6799
14796	ENTRANCE SIGN - SPORTS PARK	05/03/2016	05/17/2016	2,247.00	05/16	203.5.08.7226.6799
14803	TEMPORARY DONOR BANNER - SPO	05/03/2016	05/17/2016	261.00	05/16	203.5.08.7226.6799
Total SADLER SIGN/DESIGN (3584):				6,276.00		
SAFE BUILDING COMPLIANCE & TEC (3587)						
1888	BACK UP ELECTRICAL INSPECTION	04/30/2016	05/17/2016	262.30	05/16	100.5.05.5000.6405
Total SAFE BUILDING COMPLIANCE & TEC (3587):				262.30		
SCHRODER, JASON (3625)						
05092016	LUNCH FOR 10 FIREFIGHTERS	05/09/2016	05/17/2016	237.53	05/16	100.5.02.1100.6260
Total SCHRODER, JASON (3625):				237.53		
SCHUMACHER ELEVATOR COMPANY (3633)						
90385102	ELEVATOR REPAIR - CC	04/22/2016	05/17/2016	373.80	05/16	100.5.04.4100.6310
Total SCHUMACHER ELEVATOR COMPANY (3633)				373.80		
SENECA COMPANIES INC (3657)						
1173303	REPLACE PRINTER ON FUEL TANK M	04/20/2016	05/17/2016	673.35	05/16	100.5.05.2200.6510
Total SENECA COMPANIES INC (3657):				673.35		
SERVERNS, VIRGINIA L (5813)						
39-1070516	DEPOSIT REFUND	05/02/2016	05/17/2016	4.14	05/16	400.2210
Total SERVERNS, VIRGINIA L (5813):				4.14		
SHALON, DEANNA (5335)						
57-05031-17	CREDIT BALNCE REFUND	04/28/2016	05/17/2016	28.53	05/16	001.1199
Total SHALON, DEANNA (5335)				28.53		
SHA-RAN WINDOW SERVICES (3668)						
04262016	WINDOW CLEANING - CH	04/26/2016	05/17/2016	18.00	05/16	100.5.00.6100.6310

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total SHA-RAN WINDOW SERVICES (3668):				18.00		
SISCO (3718)						
2213-050316-F	FLEX SPENDING CLAIMS	05/03/2016	05/03/2016	2,223.03	05/16	191.5.08.9200.6157
2213-050316-M	MEDICAL CLAIMS	05/03/2016	05/03/2016	6,768.35	05/16	191.5.08.9200.6153
2213-051016-F	FLEX SPENDING CLAIMS	05/10/2016	05/10/2016	2,352.38	05/16	191.5.08.9200.6157
2213-051016-M	MEDICAL CLAIMS	05/10/2016	05/10/2016	13,351.21	05/16	191.5.08.9200.6153
Total SISCO (3718):				24,694.97		
SNACK EXPRESS (5397)						
1172	CONCESSION FOOD - SPORTS PARK	04/28/2016	05/17/2016	1,507.40	05/16	100.5.09.4245.6530
1173	CONCESSION FOOD - SOCCER	04/28/2016	05/17/2016	224.00	05/16	100.5.09.4245.6530
1177	CONCESSION FOOD - SOCCER	05/05/2016	05/17/2016	130.00	05/16	100.5.09.4245.6530
1178	CONCESSION ITEMS - SPORTS PARK	05/05/2016	05/17/2016	848.80	05/16	100.5.09.4245.6530
27186	CONCESSION ITEMS - SOCCER	04/08/2016	05/17/2016	54.00	05/16	100.5.09.4245.6530
27187	CONCESSION ITEMS - SPORTS PARK	04/08/2016	05/17/2016	54.00	05/16	100.5.09.4245.6530
27304	CONCESSION FOOD - SPORTS PARK	05/02/2016	05/17/2016	238.00	05/16	100.5.09.4245.6530
Total SNACK EXPRESS (5397):				3,056.20		
SNYDER & ASSOCIATES INC (3748)						
36	FAA PLANNING STUDY	04/28/2016	05/17/2016	32,773.56	05/16	241.5.05.7240.6750
Total SNYDER & ASSOCIATES INC (3748):				32,773.56		
STOREY-KENWORTHY CO (3834)						
PINV384557	TOILET PAPER - PK	04/13/2016	05/17/2016	45.90	05/16	100.5.09.4200.6553
PINV385000	FILES, MISC - CH	04/14/2016	05/17/2016	141.03	05/16	100.5.00.6100.6543
PINV385665	PAPER, ENVELOPES - CH	04/18/2016	05/17/2016	129.16	05/16	100.5.00.6100.6543
PINV386808	KEY TAGS - CH	04/21/2016	05/17/2016	3.54	05/16	100.5.00.6100.6543
PINV387811	TOWELS, BATH TISSUE - CH	04/26/2016	05/17/2016	134.48	05/16	100.5.00.6100.6543
Total STOREY-KENWORTHY CO (3834):				454.11		
STRAVERS TRUE VALUE (3838)						
A227327	BATTERIES & HOSE PARTS	04/11/2016	05/17/2016	36.74	05/16	300.5.05.8120.6544
A227631	SUPPLIES - FD	04/16/2016	05/17/2016	7.98	05/16	100.5.02.1100.6310
A227705	BUILDING & GROUNDS- AIRPORT	04/18/2016	05/17/2016	141.95	05/16	100.5.05.2200.6590
A227898	SUPPLIES - FD	04/21/2016	05/17/2016	2.94	05/16	100.5.02.1100.6310
A228400	KEY - PK	04/29/2016	05/17/2016	5.00	05/16	100.5.09.4200.6590
A228513	SNAP BELT - PK	05/02/2016	05/17/2016	3.29	05/16	100.5.09.4200.6590
A228680	FOUNTAIN CHLORINE SHOCK - PK	05/04/2016	05/17/2016	5.99	05/16	100.5.09.4200.6590
A228681	COUPLER - PK	05/04/2016	05/17/2016	2.49	05/16	100.5.09.4200.6590
A228817	FLUORESCENT BULBS - FD	05/06/2016	05/17/2016	21.98	05/16	100.5.00.6100.6310
E55909	TOWELS, TOILET TISSUE - CH	05/03/2016	05/17/2016	125.22	05/16	100.5.00.6100.6543
E55910	TOILET PAPER - SPORTS PARK	05/03/2016	05/17/2016	39.26	05/16	100.5.09.4245.6553
Total STRAVERS TRUE VALUE (3838):				392.84		
STREET, WENDY K (3841)						
04252016	IA SMALL LIBRARIES MEETING MILAG	04/25/2016	05/17/2016	25.66	05/16	100.5.03.4000.6260
Total STREET, WENDY K (3841):				25.66		
STUYVESANT & BENTON (3860)						
12010-S	LEGAL FEES	05/06/2016	05/17/2016	1,053.94	05/16	100.5.00.6100.6430

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total STUYVESANT & BENTON (3860):				1,053.94		
THEUNE, TYLER OR ASHLEY (5817)						
15-09801-15	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	65.47	05/16	001.1199
Total THEUNE, TYLER OR ASHLEY (5817):				65.47		
TITAN MACHINERY (3959)						
621765 CL	SERVICE ON TRUCK	04/25/2016	05/17/2016	1,364.92	05/16	100.5.02.1100.6330
632603-CL	REPAIR OF MOWER PTO SHAFT	04/29/2016	05/17/2016	95.48	05/16	100.5.05.2200.6350
92495	SERVICE ON TRUCK	04/25/2016	05/17/2016	1,067.55	05/16	100.5.02.1100.6330
Total TITAN MACHINERY (3959):				2,527.95		
TOMCZYK, SEBASTIAN & IWONA (5811)						
66-08200-06	DEPOSIT REFUND	04/29/2016	05/17/2016	119.71	05/16	400.2210
Total TOMCZYK, SEBASTIAN & IWONA (5811):				119.71		
TONY'S AUTO PARTS (3968)						
5797-214742	ALTERNATOR BELT - EL	04/11/2016	05/17/2016	18.56	05/16	400.5.06.8588.9660
5797-215322	WIRE BRUSHES/ELECTRICAL TAPE	04/19/2016	05/17/2016	10.97	05/16	350.5.05.8330.6510
5797-215322	WIRE BRUSHES/ELECTRICAL TAPE	04/19/2016	05/17/2016	10.96	05/16	300.5.05.8130.6510
5797-215434	TRUCK BATTERIES - EL	04/20/2016	05/17/2016	250.64	05/16	400.5.06.8588.9660
5797-215493	DIELECTRIC HYDRAULIC FLUID - EL	04/21/2016	05/17/2016	347.58	05/16	400.5.06.8588.9660
5797-215538	TRAILER BALL, MOUNT, PIN - PK	04/21/2016	05/17/2016	42.37	05/16	100.5.09.4200.6590
5797-215564	STREET SIGNS	04/21/2016	05/17/2016	135.00	05/16	115.5.05.2100.6532
5797-215870	OIL SEAL	04/26/2016	05/17/2016	29.40	05/16	350.5.05.8300.6350
5797-215954	BRAKE PARTS	04/27/2016	05/17/2016	115.21	05/16	300.5.05.8130.6330
5797-215954	BRAKE PARTS	04/27/2016	05/17/2016	115.20	05/16	350.5.05.8330.6330
5797-215977	BRAKE PARTS	04/27/2016	05/17/2016	75.17	05/16	300.5.05.8130.6330
5797-215977	BRAKE PARTS	04/27/2016	05/17/2016	75.17	05/16	350.5.05.8330.6330
5797-216053	AIR FILTER	04/28/2016	05/17/2016	33.61	05/16	350.5.05.8300.6350
5797-216069	CORE RETURN	04/28/2016	05/17/2016	39.50	05/16	300.5.05.8130.6330
5797-216069	CORE RETURN	04/28/2016	05/17/2016	39.50	05/16	350.5.05.8330.6330
5797-216070	SHOP SUPPLIES	04/28/2016	05/17/2016	19.66	05/16	115.5.05.2100.6330
5797-216136	BATTERY - PP	04/29/2016	05/17/2016	100.79	05/16	400.5.06.8549.9020
5797-216137	PRIMER FOR TULIP TIME STANDS - E	04/29/2016	05/17/2016	6.98	05/16	400.5.06.8938.9971
5797-216214	PENETRANT OIL - PP	05/02/2016	05/17/2016	19.29	05/16	400.5.06.8549.9020
5797-216239	FLOAT SPARK PLUGS - PK	05/02/2016	05/17/2016	5.02	05/16	100.5.09.4200.6350
5797-216248	FLOAT BATTERY - PK	05/02/2016	05/17/2016	89.99	05/16	100.5.09.4200.6350
5797-216422	GENERATOR BATTERY - PK	05/04/2016	05/17/2016	46.11	05/16	100.5.09.4200.6590
5797-216510	SCOUT BULB # 410 - PK	05/05/2016	05/17/2016	.65	05/16	100.5.09.4205.6350
5797-216522	SCOUT BULBS #410 - PK	05/05/2016	05/17/2016	.65	05/16	100.5.09.4205.6350
5797-216608	TULIP TIME	05/06/2016	05/17/2016	34.95	05/16	100.5.08.5200.6599
Total TONY'S AUTO PARTS (3968):				1,504.93		
TREASURER STATE OF IOWA (3992)						
050616-1	SIATE SALES TAX 1ST HALF OF MAY	05/06/2016	05/06/2016	16,000.00	05/16	400.2140
050616-2	STATE SALES TAX 2ND HALF OF AP	05/06/2016	05/06/2016	17,183.56	05/16	400.2140
050616-2	STATE SALES TAX 2ND HALF OF AP	05/06/2016	05/06/2016	8,258.72	05/16	400.2141
050616-2	STATE SALES TAX 2ND HALF OF AP	05/06/2016	05/06/2016	1,610.01	05/16	400.2140
050616-2	STATE SALES TAX 2ND HALF OF AP	05/06/2016	05/06/2016	273.87	05/16	400.2141
050616-2	STATE SALES TAX 2ND HALF OF AP	05/06/2016	05/06/2016	.16	05/16	400.5.06.8930.9940

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total TREASURER STATE OF IOWA (3992):				43,326.00		
TRI-COUNTY VET CLINIC PC (4000)						
252173	ANIMAL CONTROL - PD	04/30/2016	05/17/2016	200.00	05/16	100.5.01.1060.6490
Total TRI-COUNTY VET CLINIC PC (4000):				200.00		
TWO RIVERS COOPERATIVE (4019)						
043016AIR	FUEL - AIRPORT	04/30/2016	05/17/2016	2.07	05/16	100.5.05.2200.6514
043016P&Z	P&Z TRUCK FUEL	04/30/2016	05/17/2016	33.29	05/16	100.5.05.5000.6514
043016PD	FUEL -PD	04/30/2016	05/17/2016	1,573.00	05/16	100.5.01.1030.6514
043016PD	FUEL -PD	04/30/2016	05/17/2016	52.22	05/16	100.5.01.1070.6514
043016PWS	FUEL - PWS	04/30/2016	05/17/2016	1,617.19	05/16	115.5.05.2100.6514
043016WTP	FUEL - WTP	04/30/2016	05/17/2016	220.27	05/16	300.5.05.8100.6514
043016WWTP	FUEL -WWTP	04/30/2016	05/17/2016	80.81	05/16	350.5.05.8310.6514
043016WWTP	FUEL -WWTP	04/30/2016	05/17/2016	29.98	05/16	350.5.05.8330.6514
04302016	FUEL - FD	04/30/2016	05/17/2016	106.84	05/16	100.5.02.1100.6514
04302016 - A	FUEL - PK	04/30/2016	05/17/2016	753.04	05/16	100.5.09.4200.6514
04302016 - A	SEED OATS - SPORTS PARK	04/30/2016	05/17/2016	138.00	05/16	203.5.08.7226.6799
STMT04/30/16-EL	FUEL - EL	04/30/2016	05/17/2016	926.14	05/16	400.5.06.8588.9660
Total TWO RIVERS COOPERATIVE (4019):				5,532.85		
UNITED RENTALS (NORTH AMERICA) (4037)						
136614178-001	PAINT REMOVAL/WASHINGTON STRE	04/15/2016	05/17/2016	131.15	05/16	215.5.05.2190.6761
Total UNITED RENTALS (NORTH AMERICA) (4037):				131.15		
UPBEAT INC (5289)						
576812	BENCHES SHIPPING	05/02/2016	05/17/2016	99.57	05/16	100.5.04.4301.6590
Total UPBEAT INC (5289):				99.57		
USPS-HASLER 0008014227 (5414)						
05022016	REFILL POSTAGE METER	05/02/2016	05/17/2016	200.00	05/16	300.5.05.8100.6531
05022016	REFILL POSTAGE METER	05/02/2016	05/17/2016	180.00	05/16	195.5.05.8400.6531
05022016	REFILL POSTAGE METER	05/02/2016	05/17/2016	180.00	05/16	350.5.05.8310.6531
05022016	REFILL POSTAGE METER	05/02/2016	05/17/2016	240.00	05/16	400.5.06.8921.9020
Total USPS-HASLER 0008014227 (5414):				800.00		
VALLEY ENVIRONMENTAL SERVICES (4056)						
272972	PARTS WASHER RENT	04/30/2016	05/17/2016	24.83	05/16	115.5.05.2100.6330
Total VALLEY ENVIRONMENTAL SERVICES (4056):				24.83		
VALUE ENGINEERED LIGHTING LLC (5829)						
032116COP	BULBS-LIB	04/15/2016	05/17/2016	6,042.00	05/16	201.5.03.7053.6721
Total VALUE ENGINEERED LIGHTING LLC (5829):				6,042.00		
VAN HALL, DARRELL (5557)						
65-03511-00	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	61.37	05/16	001.1199
Total VAN HALL, DARRELL (5557):				61.37		

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
VAN WERT INC (4151)						
207628	PC 3000 TOUCHSCREEN REPLACEM	05/02/2016	05/17/2016	26.54	05/16	300.5.05.8100.6510
207628	PC 3000 TOUCHSCREEN REPLACEM	05/02/2016	05/17/2016	26.54	05/16	350.5.05.8300.6510
207628	PC 3000 TOUCHSCREEN REPLACEM	05/02/2016	05/17/2016	26.55	05/16	400.5.06.8586.9030
Total VAN WERT INC (4151):				79.63		
VANDER BEEK TRUCK ACCESSORIES (4190)						
21012	TRUCK TOOL BOX	04/20/2016	05/17/2016	387.50	05/16	350.5.05.8330.6330
21012	TRUCK TOOL BOX	04/20/2016	05/17/2016	387.50	05/16	300.5.05.8130.6330
Total VANDER BEEK TRUCK ACCESSORIES (4190):				775.00		
VANDER PLOEG BAKERY (4209)						
46777	BIRTHDAY CAKE - POOL	04/30/2016	05/17/2016	17.00	05/16	100.5.04.4300.6590
46793	TULIP TIME - MEALS - PD	05/03/2016	05/17/2016	18.10	05/16	100.5.01.1030.6240
46839	TULIP TIME - MEALS - PD	05/06/2016	05/17/2016	6.30	05/16	100.5.01.1030.6240
Total VANDER PLOEG BAKERY (4209):				41.40		
VEENSTRA, GRETTA (5825)						
1610580002	EE REBATE - EL	04/26/2016	05/17/2016	525.00	05/16	400.2215
Total VEENSTRA, GRETTA (5825)				525.00		
VERIZON WIRELESS (4957)						
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.05.5000.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.09.4200.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.05.6500.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.00.6100.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.09.4245.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.04.4100.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	54.73	05/16	100.5.02.1100.6373
9764272296	CELL PHONES	04/23/2016	05/17/2016	34.32	05/16	100.5.05.5000.6373
9764272297	INTERNET - SPORTS PARK	04/23/2016	05/17/2016	224.99	05/16	100.5.09.4200.6373
9764335611	MOBILE VIRTUAL PRIVATE NETWORK	04/23/2016	05/17/2016	200.05	05/16	100.5.01.1010.6373
9764335611	CELLULAR TELEPHONE SERVICE - P	04/23/2016	05/17/2016	54.73	05/16	100.5.01.1040.6373
Total VERIZON WIRELESS (4957):				897.20		
VERMEER SALES & SERVICE (4252)						
01140528	ORANGE CONES-T.T.	04/28/2016	05/17/2016	720.00	05/16	100.5.08.5200.6599
Total VERMEER SALES & SERVICE (4252):				720.00		
VILLAGE INDUSTRIAL LAUNDRY (4263)						
97001	MAT RENTAL - CH	04/28/2016	05/17/2016	15.00	05/16	100.5.00.6100.6310
97002	TOWEL SERVICE - EL	04/28/2016	05/17/2016	15.00	05/16	400.5.06.8588.9300
97003	TOWELS - FD	04/28/2016	05/17/2016	15.00	05/16	100.5.02.1100.6413
97004	ROLL TOWELS	04/28/2016	05/17/2016	18.50	05/16	115.5.05.2100.6403
97004	UNIFORM CLEANING	04/28/2016	05/17/2016	74.06	05/16	115.5.05.2100.6413
97005	LAUNDRY EXPENSE WWTP	04/28/2016	05/17/2016	125.50	05/16	350.5.05.8310.6413
Total VILLAGE INDUSTRIAL LAUNDRY (4263):				263.06		
VISSER, JOSHUA OR WENDY (5818)						
30-12700-03	CREDIT BALANCE REFUND	05/03/2016	05/17/2016	80.88	05/16	001.1199

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
Total VISSER, JOSHUA OR WENDY (5818):				80.88		
VOGEL TRAFFIC SERVICES (4276)						
059879	PAVEMENT MARKINGS 2016	04/26/2016	05/17/2016	9,366.14	05/16	215.5.05.2190.6761
Total VOGEL TRAFFIC SERVICES (4276):				9,366.14		
WALMART COMMUNITY (4312)						
041616LIB	SUPPLIES-LIB	04/16/2016	05/17/2016	11.86	05/16	100.5.03.4000.6543
Total WALMART COMMUNITY (4312):				11.86		
WARRIOR GOLF VENTURE LLC (5237)						
05042016	BOS LANDEN REIMBURSEMENT	05/01/2016	05/17/2016	11,542.81	05/16	100.5.04.4460.6403
Total WARRIOR GOLF VENTURE LLC (5237):				11,542.81		
WESCO DISTRIBUTION INC (4357)						
354963	SHOP LIGHT REFLECTORS - EL	04/28/2016	05/17/2016	1,056.54	05/16	400.5.06.8930.9320
Total WESCO DISTRIBUTION INC (4357):				1,056.54		
WINDSTREAM IOWA COMMUNICATIONS (4413)						
041916CD	TELEPHONE SERVIES- COLL/DIST	04/19/2016	05/17/2016	45.85	05/16	350.5.05.8330.6373
041916CD	TELEPHONE SERVIES- COLL/DIST	04/19/2016	05/17/2016	45.85	05/16	300.5.05.8130.6373
042516AIR	PHONE BILL- AIRPORT	04/25/2016	05/17/2016	126.34	05/16	100.5.05.2200.6373
042516PD	TELEPHONE BILL - PD	04/25/2016	05/17/2016	297.13	05/16	100.5.01.1010.6373
042516PW	PHONE BILL- PW	04/25/2016	05/17/2016	241.81	05/16	100.5.05.6500.6373
042516WTP	TELEPHONE-WTP	04/25/2016	05/17/2016	160.49	05/16	300.5.05.8100.6373
042516WWTP	TELEPHONE SERVICES-WWTP	04/25/2016	05/17/2016	35.55	05/16	350.5.05.8310.6373
04252016	PHONE - 1414 - FD	04/25/2016	05/17/2016	85.07	05/16	100.5.02.1100.6373
04252016 - CC	PHONE 6830- CC	04/25/2016	05/17/2016	99.81	05/16	100.5.04.4100.6373
04252016 - CH	PHONE 9584 - CH	04/25/2016	05/17/2016	263.25	05/16	100.5.00.6100.6373
04252016 - PK	PHONE - 4299 - PK	04/25/2016	05/17/2016	1.84	05/16	100.5.09.4200.6373
04252016 - POOL	PHONE - 0-9212 - POOL	04/25/2016	05/17/2016	68.94	05/16	100.5.04.4300.6373
04252016 - REC	PHONE 4571 - REC	04/25/2016	05/17/2016	29.65	05/16	100.5.04.4100.6373
04252016-1108	PHONE 1108 - EL	04/25/2016	05/17/2016	63.64	05/16	400.5.06.8562.9030
04252016-2300	PHONE 2300 - EL	04/25/2016	05/17/2016	60.06	05/16	400.5.06.8588.9920
04252016-4128	PHONE 4128 - EL	04/25/2016	05/17/2016	310.27	05/16	400.5.06.8588.9920
04252016-9096	PHONE 9096 -EL	04/25/2016	05/17/2016	69.74	05/16	400.5.06.8592.9030
04252016-9221	PHONE 9221 - EL	04/25/2016	05/17/2016	20.03	05/16	400.5.06.8592.9030
04252016-9221	PHONE 9221 - EL	04/25/2016	05/17/2016	20.04	05/16	400.5.06.8562.9030
050416LIB	TELEPHONE-LIB	05/04/2016	05/17/2016	68.64	05/16	100.5.03.4000.6373
05042016 - FAX	PHONE 0-0011 - FAX	05/04/2016	05/17/2016	33.41	05/16	100.5.04.4100.6373
05042016-9901	PHONE 9901 - EL	05/04/2016	05/17/2016	28.05	05/16	400.5.06.8592.9030
05042016-9901	PHONE 9901 - EL	05/04/2016	05/17/2016	12.02	05/16	400.5.06.8562.9030
Total WINDSTREAM IOWA COMMUNICATIONS (4413):				2,183.80		
WOLFF, NATHAN (5197)						
051016PD	MEALS - PD	05/10/2016	05/17/2016	44.47	05/16	100.5.01.1030.6260
Total WOLFF, NATHAN (5197):				44.47		
ZIMCO SUPPLY CO (4469)						
96798	GRASS SEED - SPORTS PARK	04/18/2016	05/17/2016	440.00	05/16	100.5.09.4245.6560
96800	FERTILIZER - PK	04/18/2016	05/17/2016	1,448.00	05/16	100.5.09.4200.6513

Invoice	Description	Invoice Date	Due Date	Total Cost	Period	GL Account
96800	FERTILIZER - SPORTS PARK	04/18/2016	05/17/2016	918.75	05/16	100.5.09.4245.6513
Total ZIMCO SUPPLY CO (4469):				2,806.75		
Grand Totals:				2,271,353.92		

Report GL Period Summary

GL Period	Amount
05/16	2,271,353.92

Vendor number hash: 0
Vendor number hash - split: 0
Total number of invoices: 0
Total number of transactions: 0

Report Criteria

Invoice Detail.Input date = 05/03/2016-05/17/2016

Report Criteria:

Paid transmittals included
Unpaid transmittals included

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
1							
1	EFTPS	160513129	05/07/2016	74-00	SOCIAL SECURITY Pay Period: 5/7/20	100.2165	10,769.49
1	EFTPS	160513129	05/07/2016	74-00	SOCIAL SECURITY Pay Period: 5/7/20	100.2165	10,769.49
1	EFTPS	160513129	05/07/2016	75-00	MEDICARE Pay Period: 5/7/2016	100.2165	3,019.54
1	EFTPS	160513129	05/07/2016	75-00	MEDICARE Pay Period: 5/7/2016	100.2165	3,019.54
1	EFTPS	160513129	05/07/2016	76-00	FEDERAL WITHHOLDING TAX Pay Pe	100.2165	21,207.31
Total 1:							48,785.37
2							
2	IOWA DEPARTMENT OF	160513130	05/07/2016	77-00	STATE WITHHOLDING TAX Pay Period	100.2166	9,143.27
2	IOWA DEPARTMENT OF	160513130	05/07/2016	77-00	STATE WITHHOLDING TAX	100.5.00.6100.6502	.27-
Total 2:							9,143.00
3							
3	IPERS	0	05/07/2016	50-01	IPERS-REGULAR Pay Period: 5/7/2016	100.2160	10,243.30
3	IPERS	0	05/07/2016	50-01	IPERS-REGULAR Pay Period: 5/7/2016	100.2160	15,373.43
3	IPERS	0	05/07/2016	50-02	IPERS-ELECTED Pay Period: 5/7/2016	100.2160	27.46
3	IPERS	0	05/07/2016	50-02	IPERS-ELECTED Pay Period: 5/7/2016	100.2160	41.21
Total 3:							25,685.40
4							
4	MUNICIPAL FIRE & POLI	0	05/07/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	3,283.15
4	MUNICIPAL FIRE & POLI	0	05/07/2016	51-01	MFPRSI-POLICE PENSION Pay Period:	100.2161	9,699.32
Total 4:							12,982.47
5							
5	ICMA-457	160513126	05/07/2016	52-01	ICMA RETIREMENT 457 Pay Period: 5/	100.2169	3,620.00
5	ICMA-457	160513126	05/07/2016	52-02	ICMA RETIREMENT 457%(GROSS) Pa	100.2169	2,210.85
Total 5:							5,830.85
6							
6	ICMA-401	160513125	05/07/2016	53-00	401A Pay Period: 5/7/2016	100.2167	787.38
Total 6:							787.38
7							
7	ICMA-ROTH	160513127	05/07/2016	52-05	ICMA ROTH IRA Pay Period: 5/7/2016	100.2171	1,207.30
Total 7:							1,207.30
8							
8	AFLAC	0	05/07/2016	42-00	AFLAC SHORT TERM DISABILITY Pay	100.2152	170.50
8	AFLAC	0	05/07/2016	45-01	AFLAC ACCIDENT-SICK Pay Period: 5/	100.2152	397.48
8	AFLAC	0	05/07/2016	45-02	AFLAC CANCER Pay Period: 5/7/2016	100.2152	282.65
Total 8:							850.63

Transmittal Number	Name	Check Number	Pay Per Date	Pay Code	Description	GL Account	Amount
9	9 TRANSAMERICA LIFE IN	0	05/07/2016	43-00	SUPPLIEMENTAL LIFE INSURANCE P	100.2152	165.66
Total 9:							165.66
10	10 LINCOLN NATIONAL	0	05/07/2016	41-01	DENTAL-SINGLE Pay Period: 5/7/2016	191.4.08.9200.4795	251.40
	10 LINCOLN NATIONAL	0	05/07/2016	41-02	DENTAL-FAMILY Pay Period: 5/7/2016	191.4.08.9200.4795	1,150.52
Total 10:							1,401.92
11	11 CHILD SUPPORT RECOV	160513128	05/07/2016	56-01	CHILD SUPPORT-FLAT AMT Pay Perio	100.2158	556.14
Total 11:							556.14
12	12 TEAMSTERS LOCAL UNI	1790	05/07/2016	55-01	UNION DUES-PUBLIC WORKS Pay Pe	100.2154	967.00
	12 TEAMSTERS LOCAL UNI	1790	05/07/2016	55-02	UNION DUES-ELECTRIC Pay Period: 5	100.2153	55.00
Total 12:							1,022.00
Grand Totals:							108,418.12

Report Criteria:

Paid transmittals included

Unpaid transmittals included

<u>Name</u>	<u>Pay Per Date</u>	<u>Description</u>	<u>GL Account</u>	<u>Amount</u>
ACH	5/13/2016	DIRECT DEPOSITS	100.2010	134,464.66
CHECK RUN	5/13/2016	PAYCHECKS	100.2010	7,128.82

Grand Totals:

141,593.48