

**CITY OF PELLA, IOWA**  
**TENTATIVE CITY COUNCIL MEETING AGENDA**  
**May 2, 2016–7:00 p.m. – Public Safety Complex**  
**Liberty Street Entrance**

**A. CALL TO ORDER BY MAYOR AND ROLL CALL**

**B. MAYOR'S COMMENTS**

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:
  - a. Ad Hoc Gateway Corridor Committee Recommendations.
2. Approval of tentative agenda.
3. Reappointment of Praveen Mohan to the Library Board of Trustees.
4. Reappointment of B. Jane Koogler to the Library Board of Trustees.
5. Reappointment of Jim Danks to the Planning and Zoning Commission.

**\*PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

(Public comments are limited to 3 minutes.)

**C. APPROVAL OF CONSENT AGENDA**

"Consent Agenda" means that all items listed below will be automatically approved with one Roll Call vote approving the "Consent Agenda". Any City Council member may ask to pull an item from the "Consent Agenda" for discussion and a separate vote. The purpose of a "Consent Agenda" is to expedite routine items and allow Council time to discuss more important matters."

1. Approval of Minutes
  - a. Official Council Minutes for April 19, 2016.
2. Report of Committees
  - a. Policy and Planning Minutes for April 19, 2016.
3. Petitions and Communications
  - a. None
4. Administration Reports
  - a. None

**D. \*PUBLIC HEARINGS**

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Construction of the West Substation Ring Bus Conversion Project.
1. b. Resolution No. 5685 entitled, "RESOLUTION ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, RECEIVING BIDS, AND MAKING AWARD OF CONTRACT FOR THE CONSTRUCTION OF THE WEST SUBSTATION RING BUS CONVERSION PROJECT."
  2. a. Public Hearing on the Materials for the West Central Underground Conversion Project.
  2. b. Resolution No. 5686 entitled, "RESOLUTION APPROVING PLANS, SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF CONTRACTS FOR MATERIAL FOR THE WEST CENTRAL UNDERGROUND CONVERSION PROJECT.

**E. PETITIONS & COMMUNICATIONS**

1. Temporary Outdoor Service Area Extension for Class C Liquor License for Billyjak's Saloon.
2. Special Event-Tour de Toren.
3. a. Special Event—Thursdays in Pella.
3. b. Resolution No. 5687 entitled, "A RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "THURSDAYS IN PELLA".

**F. PLANNING AND ZONING ITEMS**

NONE

**G. ADMINISTRATION REPORTS**

NONE

## **H. RESOLUTIONS**

1. Resolution No. 5679 entitled, "RESOLUTION PROPOSING AMENDMENTS TO THE 2014 PELLA COMPREHENSIVE PLAN". (Tabled 4-19-2016)

2. Resolution No. 5688 entitled, "RESOLUTION ACCEPTING CHANGE ORDER NO. 3 AND AUTHORIZING FINAL PAYMENT TO SCHOON CONSTRUCTION, INC. FOR WORK ASSOCIATED WITH THE PROJECT KNOWN AS THE EAST WASHINGTON UNDERGROUND CONVERSION PROJECT".

## **I. ORDINANCES**

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 908 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA, IOWA CHAPTER 171 SCHEDULE OF RATES AND FEES." (3rd Rdg)

## **J. CLAIMS**

1. Abstract of bills No. 1958.

## **K. OTHER BUSINESS/\*PUBLIC FORUM (any additional comments from the Public)**

(Public comments are limited to 3 minutes.)

## **L. CLOSED SESSION**

NONE

## **M. ADJOURNMENT**

**NOTICE:** Items to be presented to the City Council must be in the hands of the City Clerk no later than 4:00 p.m. on the Monday before the week of the Council meeting. A packet containing the agenda and documentation for each item listed on the agenda is then prepared on Friday and delivered to each Councilmember. The next regular Council meeting is scheduled for May 17, 2016. The deadline for items is May 9, 2016. *The CITY OF PELLA encourages all citizens of Pella to attend Council meetings. Our Council Chambers are handicapped accessible and City Staff are available to give assistance if needed. If you are hearing impaired or vision impaired or a person with Limited English Proficiency and require an interpreter or reader, please contact City Hall by NOON on the Monday prior to Council meetings to arrange for assistance. (641-628-4173). TTY telephone service available for the hearing impaired through Relay Iowa 1-800-735-2942.*



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: B-1-a

SUBJECT: Gateway Corridor Committee Recommendations

DATE: May 2, 2016

**BACKGROUND:**

In December of 2015, the City Council appointed the Gateway Corridor Ad Hoc Committee. The committee was charged with making a recommendation to the City Council whether there should be design standards for new single family and two family residential homes in the City's gateway corridors. In order to allow time to review the issue, a moratorium on the issuance of building permits for new single and two family (duplex) homes in the Washington and Main Street corridors was approved through June 15, 2016.

Gary Lozano of RDG will be in attendance to discuss the committee's recommendations to Council which are outlined below:

**Proposed Ordinance Amendment to Address Lot Width Exceptions for Duplexes**

One of the concerns of the City Council in appointing the Gateway Corridor Committee was the construction of two family homes whose horizontal length significantly exceeded their width. Currently, chapter 165.30 of the City's ordinance allows lot width exceptions for both single family and two family homes for lots platted prior to September 29, 1976. Specifically, this exemption allows either a single family or two family home to be constructed on a fifty foot wide lot. The issue at hand is some developers have been able to construct two family homes on lots 50 feet in width by a 190 feet in length, which has led to the appearance of these housing units being out of place when compared to the surrounding neighborhoods.

The proposed ordinance amendment would remove the lot width exemption for two family homes. However, it is important to note, the proposed amendment would still maintain the exception for single family homes.

**Proposed Design District for Single and Two Family Homes**

This proposed ordinance amendment would establish a design review district for new single and two family homes along the Washington Street and South Main Street Corridors. This new design district is identified as the Dutch Residential District – Gateway Corridor (DURE-GC). Listed on the following pages is a summary of the main provisions of the design district:

## **Proposed Design District for Single and Two Family Homes (Continued)**

**1. Existing Design Review District for Residential Properties** - In considering this proposed design district, it is important to note new residential properties in the Central Business District are subject to design review standards. This design review district is identified as the Dutch Residential District Central Business District (DURE-CBD). The proposed design district is based on the same concepts utilized in the DURE-CBD.

**2. Properties Subject to Review** - The properties subject to DURE-GC review would be residential properties along West Washington Street west of the DURE-CBD extending to the city limits (see map). In addition, the new design district would extend south of the DURE-CBD along Main Street to its transition to Oskaloosa Street (see map).

**3. Design Review Permit** - Residential properties in existence when the original Dutch Residential Design District was adopted in 2001 would be exempt from the requirements of this ordinance amendment. Therefore, these new design standards would be for new construction. Listed below is a summary of the design permit requirements for the new design district:

A. Any new residential building (building used for residential purposes) or residential building addition, residential accessory structure.

B. A design permit would not be required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit.

C. It is important to note, setback requirements and other bulk regulations would be pursuant to the underlying base zoning district and Gateway Corridor Overlay District standards, including Section 165.18 D(4).

D. A design permit would be reviewed and issued by the Community Development Committee.

### ***Revisions to the Dutch Residential Design District Manual***

In order to accommodate the proposed Gateway Corridor Overlay District, staff is proposing modifications to the Dutch Residential Design District Manual. The main adjustment will be simply differentiating between design DURE-CBD and DURE-GC as per the proposed ordinance. The intention is to designate different design standards with the CBD area more traditional or Netherlands style Dutch. Likewise the Gateway Corridor area would include early 20<sup>th</sup> century residential styles. The intention for the Gateway Corridor Design Standards is to simply fit in with the existing neighborhood. Therefore, the proposed standards are less rigid than those in the CBD.

In addition, there is a proposed change to the Dutch Residential Design Manual in regards to garages and parking. Clarification language was added to emphasize the preference for garages to be installed in the rear yard. If it is not feasible to install a garage in the rear yard, they would be allowed to be attached to the housing unit as long as the garage is a minimum of five feet behind the front façade. The intention of this clarification is not to have the garage as the dominant feature of the front façade.

### **Additional Housing Definitions Proposed**

In an effort to allow for additional housing types which are consistent with other communities, this proposed ordinance amendment would define both single family detached and single family attached uses as identified below. Also, the housing category townhouse residential would also be added below.

(1.) *Single-Family Residential (Detached)*: A single-family residential use in which one dwelling unit is located on a single lot, with no physical or structural connection to any other dwelling unit.

(2.) *Single-Family Residential (Attached)*: A single-family residential use in which one dwelling unit is located on a single lot and is attached by a party wall to only one other adjacent dwelling unit on another single lot. Said party wall shall meet the requirements of the City's Building Code.

(3.) *Townhouse Residential*: The use of a site for three or more attached dwelling units, each occupied by one family and separated by party walls extending from foundation through roof without openings. Each townhouse unit must have at least two exposed exterior walls and be located on a separate lot. Said party walls shall meet the requirements of the City's Building Code.

The ordinance proposes to add Single-Family Attached to 165.12 12-2 Permitted Uses by Zoning Districts under Residential Uses with P for permitted use added under the R1A, R1B, R1C, R2 and R3 Districts. The R1A, R1B and R1C Districts are single family residential districts but which have somewhat smaller lot size requirements than the standard R1 District. The R2 District is the Two Family Residential Zoning District which permits both single family homes and duplexes while R3 is Multiple Family Residential.

The ordinance proposes to add Townhouse Residential to 165.12 12-2 Permitted Uses by Zoning District under Residential Uses with P for permitted use added under R3 District. The R3 is the Multiple Family Residential Zoning District.

## **Summary**

Gary Lozano of RDG and staff will be reviewing the proposed ordinance amendments during the policy and planning meeting. At the conclusion of the meeting, staff will be seeking direction on proceeding with the following ordinance amendments;

*Ordinance Amendment for Lot Widths for Duplexes*

*Ordinance Amendment Establishing Design Guidelines for Residential Properties in the Washington Street and South Main Street Gateway Corridors.*

*Ordinance Amendment Adding Additional Housing Definitions.*

Depending on which ordinance amendments Council wishes to proceed with, we may need to extend the current single and two-family moratorium on the Washington and Main Street corridors. As Council is aware, the current moratorium will expire on June 15, 2016 of this year.

ATTACHMENTS: Ordinance Changes, Design Manual Changes, Gateway Corridors Map

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Council direction needed.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING ORDINANCE, 165.30 SUPPLEMENTAL SITE DEVELOPMENT REGULATIONS BY REMOVING LOT EXCEPTIONS FOR TWO FAMILY (DUPLEX) USES**

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. TEXT AMENDMENTS. The City Code of the City of Pella is hereby amended by deleting 165.30 (2.) (A) and replacing with the following:

2. Lot Size Exceptions and Setbacks. The following are exceptions and modifications to regulations concerning lot and yard requirements:

A. Use of Existing Lots of Record. In any district where dwellings are permitted, a single-family detached dwelling may be located on any lot or plot of official record as of September 29, 1976, irrespective of its area, or width; provided, however, that the following shall apply:

- (1) The front yard setback requirements for the district in which the lot is located shall apply.
- (2) The sum of the side yard widths of any such lot or plot shall not be less than twenty percent (20%) of the width of the lot, but in no case less than ten percent (10%) of the width of the lot for any one side yard.
- (3) The depth of the rear yard of any such lot need not exceed twenty percent (20%) of the depth of the lot, but in no case less than twenty feet (20').
- (4) In the event that application of any of the requirements of subparagraphs (1) or (2) to a particular lot would impose a greater setback than required under the regulations of the district in which the lot is located, then the lesser setback requirements of the district shall control. In the event that two or more such lots with continuous frontage are combined under single ownership, then such combined lots shall be treated as a single lot for purposes of applying the requirements of foregoing subparagraphs.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this \_\_\_\_ day of \_\_\_\_\_, 201\_\_.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST: \_\_\_\_\_  
Ronda Brown, City Clerk

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA BY AMENDING CHAPTER 165, ZONING ORDINANCE, 165.11 CLASSIFICATION OF USES BY AMENDING THE PROVISIONS PERTAINING TO RESIDENTIAL USE TYPES AND AMENDING 165.12 12-2 PERMITTED USES**

Be it enacted by the City Council of the City of Pella, Iowa:

SECTION 1. TEXT AMENDMENTS. The City Code of the City of Pella is hereby amended by deleting 165.11 2. Residential Use Types and replacing with the following:

**165.11 CLASSIFICATION OF USES**

2. Residential Use Types. Residential use types include uses providing wholly or primarily non-transient living accommodations. They exclude institutional living arrangements providing 24-hour skilled nursing or medical care, forced residence or therapeutic settings.

*A. Single-Family Residential* – the use of a site for one dwelling unit, occupied by one family. Mobile home units (manufactured homes not on permanent foundations) are not a single-family use type.

(1.) *Single-Family Residential (Detached)*: A single-family residential use in which one dwelling unit is located on a single lot, with no physical or structural connection to any other dwelling unit.

(2.) *Single-Family Residential (Attached)*: A single-family residential use in which one dwelling unit is located on a single lot and is attached by a party wall to only one other adjacent dwelling unit on another single lot. Said party wall shall meet the requirements of the City's Building Code

*B. Duplex* – the use of a legally described lot for two dwelling units, each occupied by one family within a single building, excluding manufactured or mobile home units, but including modular housing units.

*C. Townhouse Residential* - The use of a site for three or more attached dwelling units, each occupied by one family and separated by party walls extending from foundation through roof without openings. Each townhouse unit must have at least two exposed exterior walls and be located on a separate lot. Said party walls shall meet the requirements of the City's Building Code

*D. Multiple-Family Residential* – the use of a site for three or more dwelling units within one building in any vertical or horizontal arrangement or any number of units designed as part of a multi use building.

*E. Group Residential* – the use of a site for a residence by more than four unrelated persons, not defined as a family, on a weekly or longer basis. Typical uses would include fraternities, sororities or college dormitories.

*F. Home Occupation / Home Office* – an accessory use conducted entirely within a dwelling unit by its inhabitants, which is clearly incidental to the residential use of the dwelling unit or residential structure and does not change the residential character of its site. A home occupation or home office is a business, profession, occupation or trade conducted for gain or support.

*G. Manufactured Home Residential* – use of a site for one or more manufactured home dwellings.

*H. Mobile Home Park* – use of a site under single ownership for one or more mobile home units. Generally, the land on which mobile homes are placed in a mobile home park is leased from the owner of the facility.

*I. Mobile Home Subdivision* – division of a tract of land into lots that meet all the requirements of the City's Subdivision Ordinance for the location of mobile homes. Generally, a lot within a mobile home subdivision is owned by the owner of the mobile home placed upon such lot.

*J. Retirement Residence* – a building or group of buildings which provides residential facilities for more than four residents of at least 55 years of age, or households headed by a householder of at least 55 years of age. A retirement residence may provide a range of residential building types and may also provide support services to residents, including but not limited to food service, general health supervision, medication services, housekeeping services, personal services, recreation facilities and transportation services. The retirement residence may accommodate food preparation in independent units or meal service in one or more common areas. Retirement residences may include additional health care supervision or nursing care.

The City Code of the City of Pella is hereby amended by adding Single-Family Attached to 165.12 12-2 Permitted Uses by Zoning Districts under Residential Uses with P for permitted use added under the R1A, R1B, R1C, R2 and R3 Districts.

The City Code of the City of Pella is hereby amended by adding Townhouse Residential to 165.12 12-2 Permitted Uses by Zoning District under Residential Uses with P for permitted use added under R3 District.

SECTION 2. NOTATION. The Zoning Administrator shall hereby record the ordinance number and date of passage of this Ordinance.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

Passed and adopted this \_\_\_\_ day of \_\_\_\_\_, 201\_\_.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST: \_\_\_\_\_  
Ronda Brown, City Clerk

## PELLA ZONING ORDINANCE

### Proposed Amendment Expanding DURE District to Gateway Corridors

Gary Lozano RDG

D-R-A-F-T 3/23/16

#### 165.16 DR – DESIGN REVIEW DISTRICT.

The (DR) Design Review District is intended to preserve and promote “Dutch Architecture” for commercial businesses. Development in the DR District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community.

1. Permitted Uses. Uses permitted in the DR Design Review Overlay District are those permitted in the underlying base district.

2. ~~Applicability Site Development Regulations.~~ A design review permit is required for the following activities:

A. Any new -commercial building within the DR District, or any existing commercial building within the DR District for which architectural detail modifications are proposed, shall be reviewed for architectural compliance to Dutch Architectural themes or other historical significance. Architectural details modifications subject to review include any construction, maintenance, repair, alterations, modifications, painting, repainting, signs, graphics, visual displays, outdoor furniture and fixtures.

B. A design review permit is not required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit.

C. The replacement of outdoor furniture, fixtures and visual displays that are consistent with a prior permit shall be exempt from a design review permit.

D. Single or two-family residential uses in a commercial zoned area are exempted from design review unless they are located in a DURE Overlay District.

3. Community Development Committee Review. A design permit is reviewed by a committee comprised of nine (9) members, who are appointed by the City Council. The committee shall be known as the Community Development Committee. Each member shall be appointed for a term of three (3) years and shall be eligible for reappointment. A Chairperson shall be chosen from the members to serve for one year. The Chairperson can be reelected provided that no more than three (3) consecutive years have been served. The Committee shall meet at least once a month or more frequently as required to adequately fulfill any required duties.

A. The Committee shall advise the Building Official concerning all applications for building permits or design permits within the Design Review District, and to act in an advisory capacity to the City Council and the Mayor in all matters pertaining in the development of the Business District.

B. The Community Development Committee shall have the authority to inform the various departments of the City of any violations regarding architectural details, materials or colors. The Committee shall recommend to these departments appropriate action in compliance with current ordinances that are in force at the time of violation; subject to appeal procedures.

C. The Committee shall have the authority to review design permits for the placement, repair, alterations, modification, painting or repainting of any sign, graphic, visual display or outdoor furniture or fixtures, and to make recommendations to the various departments of the City concerning such requests.

D. The Community Development Committee shall not have the authority to bind the City by contract.

A design permit shall be required for any change of use from residential to commercial in the Design Review District.

#### 4. Building/Design Permits.

A. Whenever application is made for a building/design permit for any building within the Design Review District, the Building Official shall refer said application, together with the plan and specifications for the proposed work, to the Committee for its recommendations.

B. The Committee shall review the proposed plans and specifications. The review shall include the proposed appearance, colors, texture, materials and architectural design of the exterior, including the front, sides, rear and roof of said building, and also including all parts of the building that are in a visual line from all areas or any alterations, modification or repair or any courtyard, fence or dependency thereof. The *Design Review District Design Manual* shall be used by both the applicant and the Committee for determining permitted Dutch architectural elements and colors. Architectural elements or colors which are not specifically identified in the *Design Review District Design Manual* may only be used upon approval of the Community Development Committee. After due consideration, the Committee shall promptly report to the Building Official its recommendations, including such changes, if any, as in the judgment of the Committee are reasonably necessary to comply with the requirements of this section. The Building Official shall take no action on the application for a permit until the expiration of fourteen (14) days or until the Building Official has received the recommendation of the Committee in writing, whichever occurs first.

C. The Committee shall also review the proposed plans and specifications, so far as they relate to the placement, alteration, modifications, repair of any signs, graphic, visual display, outdoor furniture or fixtures with respect to the appearance, colors, texture, materials and architecture and design factors of the sign, visual display, outdoor furniture or fixture, including all parts of same that are visible from all areas.

5. Building/Design Permit Denial. If the Committee recommends denial of a building/design permit, said recommendation must be delivered to the Building Official, who shall notify the applicant that the building/design permit shall not be issued and the reason therefor. The Building Official may proceed with issuance of a building/design permit upon amendment of the

application to conform with the recommendations of the Committee pursuant to the powers and duties of the Building Official. Any person denied a building/design permit by the Building Official pursuant to the recommendation of the Committee may appeal the denial within thirty (30) days after notification of the denial to the City Council.

6. Violations and Penalties. Any person who violates, disobeys, omits, neglects or refuses to comply with or who resists enforcement of any of the provisions of this section, upon conviction, shall be in violation of this Code of Ordinances and subject to penalty for each offense. Proceeding with any construction work or repair work requiring a permit without applying for a permit shall be considered an offense and punishable by the provisions of this section. All departments, officials and employees of the City who are vested with the duty or authority to issue permits or licenses shall issue no such permit or license for any use, structure or purpose if the same would not conform to the provisions of this section.

7. Commercial Zoning District Rezoning. Any land rezoned to a commercial zoning district or annexed into the corporate limits as a commercial zoning district shall be concurrently rendered part of the DR Design Review Overlay District. The boundaries of the DR Design Review Overlay District shall be the same as the boundaries of the land that is being rezoned commercial.

8. Extraterritorial Zoning. Any land rezoned to a commercial zoning district as part of extraterritorial zoning jurisdiction shall be rendered part of the DR Design Review Overlay District concurrent with the adoption of extraterritorial zoning.

#### **165.17 DURE – DUTCH RESIDENTIAL DISTRICT.**

The (DURE) Dutch Residential District is intended to preserve and promote “Dutch Architecture” for new residential developments as well as to promote the long-term enhancement of residential properties in two areas of the community: (1) in and around the Central Business District (CBD), and (2) along Pella’s Gateway Corridors (GC). These two subdistricts of the DURE District shall be referenced as DURE-CBD and DURE-GC. Development in the DURE District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community.

~~1.1~~ Permitted Uses. Uses permitted in the DURE Dutch Residential District are those permitted in the underlying base district.

~~1.2~~ Properties Subject to DURE Review. The properties subject to DURE-CBD review is established as the former DURE central business district area. The properties subject to DURE-GC review are those properties in the West Washington Street west of the DURE-CBD to the City limits and south of the DURE-CBD to Oskaloosa Street in the South Main Street portions of the Gateway Corridor (GC) Overlay District areas that have frontage on those two streets and are either currently in residential use or on which residential buildings can be built under the current zoning.

~~32.~~ Applicability Site Development Regulations. A design review permit is required for the following activities:

A. Any new residential building (building used for residential purposes) or residential building addition, residential accessory structure, ~~or a fence or wall associated with a structure used for residential purposes.~~ or architectural modifications to existing residential buildings within the DURE District shall be reviewed for architectural compliance to Dutch Architectural themes. Architectural details modifications for which design review is required include any construction, maintenance, repair, alterations, modifications, painting, or repainting.

B. A design permit is not required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit. ~~A design permit for the DURE District is reviewed by the Community Development Committee and Building Official following the same procedure as specified for a Design Review District design permit.~~

~~3.C.~~ Exemptions. Residences in existence at the time of adoption of this Zoning Ordinance are hereby exempted from all the provisions of the DURE District. This exemption shall in no way exempt residential structures used for commercial purposes in commercial districts from the Design Review District requirements. Further, in such cases where an existing residence is demolished or destroyed and a new residential structure is to be constructed, all the requirements of the DURE District shall apply.

~~41.~~ Building Design Permits. A design permit for the DURE District is reviewed by the Community Development Committee and Building Official following the same procedure as specified for a Design Review District design permit. Whenever application is made for a ~~building design permit~~ for any building within the Dutch Residential District, the Building Official shall refer said application, together with the plan and specifications for the proposed work, to the Committee for its recommendations. The Committee shall review the proposed plans and specifications. The review shall include the proposed appearance, colors, texture, materials and architectural design of the exterior, including the front, sides, rear and roof of said building, and also including all parts of the building that are in a visual line from all areas or any alterations, modification or repair or any courtyard, fence or dependency thereof. The *Dutch Residential Design Manual* shall be used by both the applicant and the Committee for determining permitted Dutch architectural elements and colors. Architectural elements, ~~or colors~~ or building styles which are not specifically identified in the *Dutch Residential Design Manual* may only be used upon approval by the Community Development Committee. After due consideration, the Committee shall promptly report to the Building Official its recommendations, including such changes, if any, as in the judgment of the Committee are reasonably necessary to comply with the requirements of this section. The Building Official shall take no action on the application for a permit until the expiration of fourteen (14) days or until the Building Official has received the recommendation of the Committee in writing, whichever occurs first.

~~55.~~ DURE District Setbacks and Lot Coverage. Within the DURE-GC subdistrict, the front yard setback and other bulk regulations shall be pursuant to the underlying base zoning district

and Gateway Corridor Overlay District standards, including Section 165.18 D(4). Within the DURE-CBD subdistrict, the intent of allowing lesser setbacks and smaller lot sizes than would otherwise be required by the underlying base zoning district is to develop in a manner that is more consistent with urban residential developments in the Netherlands which often have minimal setbacks and are in relatively close proximity compared to American standards. The DURE-District following setbacks and lot coverage standards shall apply to all new residential construction in the DURE-CBD subdistrict except in the following situations:

A. Where the front setback has generally been already established by adjacent residential or commercial buildings. In such instances, the average front yard setback of structures within 200 feet shall apply. All other setback requirements and minimum green space requirements shall still apply if applicable per this section.

B. Where the setbacks listed below would require a greater setback than the base underlying zoning district requires (example: requiring a 3'6" side yard setback where no side yard setback is required by the underlying base zoning).

C. Where a new subdivision or residential development is being created in the under a DURE-CBD subdistrict and the Community Development Committee determines that other setback and lot coverage standards are acceptable while still consistent with Pella's Dutch heritage and the character of Dutch residential neighborhoods in the Netherlands. In no case, however, shall any setback or lot coverage standards determined by the Committee be more stringent than those of the underlying base district (example: requiring a larger setback than would be required in the underlying base zoning district).

D. Where the lot for new residential construction in the under a DURE-CBD subdistrict is an existing lot of record at the time of adoption of this zoning ordinance and there is no resubdivision or replatting of land as part of the new residential construction. In such cases, the minimum/maximum lot frontage requirements and the minimum lot area requirements of the DURE-CBD subdistrict shall not apply. Setback requirements shall still apply where applicable per this section.

~~E. Where the property in question is located in a Gateway Corridor Overlay District. In such cases, the front yard setback shall be pursuant to the underlying base zoning district and Gateway Corridor Overlay District standards.~~

**DURE-CBD Subdistrict Bulk Regulations:**

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**Regulator**

**DURE-CBD**

Minimum Lot Area (square feet)

One-family dwelling

Duplex/Townhouse

Multiple-family dwelling\*

4,000 square feet

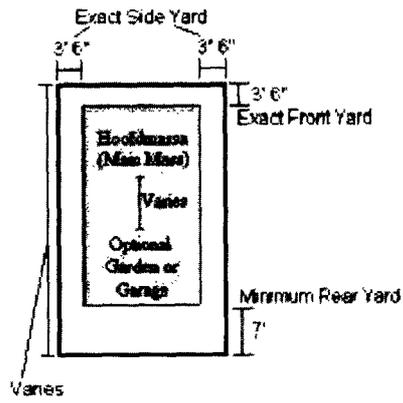
4,000 square feet

5,500 square feet

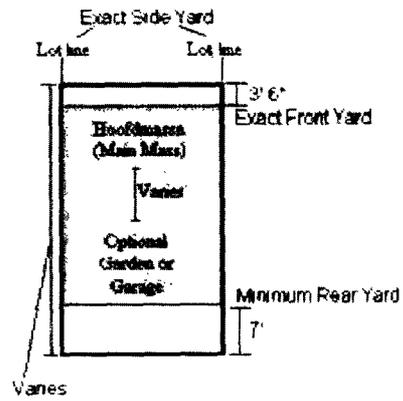
| Minimum Lot Width (feet) | Minimum | Maximum |
|--------------------------|---------|---------|
| One-family dwelling      | 40      | 50      |
| Duplex                   | 40      | 80      |
| Townhouse                | 40      | None    |
| Multi-Family             | 55      | None    |

| Minimum Yards (feet)   |                   |
|--|-------------------|
| Front Yard   | 3'6"*             |
| Side Yard  | 3'6"* or lot line |
| Rear Yard  | 7' minimum        |
| Minimum yards apply only where underlying base zoning district allows as a permitted use |                   |
| *Exact setback, not minimum for one-family only, all other uses—minimum                  |                   |

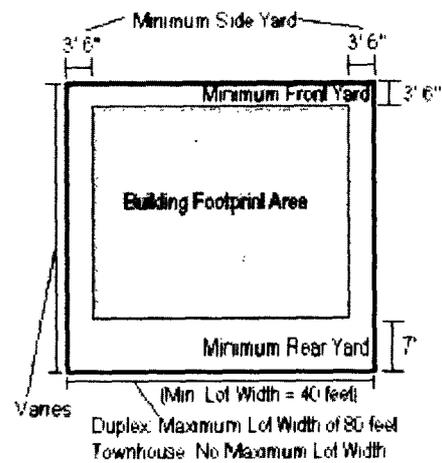
**DURE-CBD DSubdistrict Lot Setbacks**



**Lot Option A (One Family Dwelling)**



**Lot Option B (One Family Dwelling)**



**Lot Option C (Townhouse or Duplex)**

66. DURE District Garages and Other Accessory Structures.

A. Garages and other accessory structures for one-family structures are permitted only on the side of the building footprint area facing the rear yard. In no case shall a garage or accessory structure be located closer to the rear property line or alley than five (5) feet. Parking for one-family residences shall be in a garage or hard-surfaced parking area situated to the rear of the main structure with access to an alley. Existing lots of record at the time of adoption of this Zoning Ordinance, including resubdivisions thereto, are exempt from the alley requirement when no alley is accessible. The preferred alternative in this situation is to locate the garage or parking area to the rear of the main structure, accessed from the street by a driveway alongside the house. If this is not feasible, an attached garage can be considered, provided the garage is recessed a minimum of five feet behind the front facade. The intent is that the garage not be the dominant element of the facade.

B. Garages for duplex, townhouse and multi-family structures are also preferred to be located in the rear yard, accessed by a driveway alongside the dwelling. If this arrangement is not feasible, garages may be permitted on the front side of the structure facing the street provided that they are attached to the main structure and have a minimum recess of five feet behind the front facade. The intent is that the garage not be the dominant element of the facade.

77. ~~Building-Design~~ Permit Denial. If the Committee recommends denial of a ~~building-design~~ permit, said recommendation must be delivered to the Building Official, who shall notify the applicant that the ~~building-design~~ permit shall not be issued and the reason therefor. The Building Official may proceed with issuance of a ~~building-design~~ permit upon amendment of the application to conform with the recommendations of the Committee pursuant to the powers and duties of the Building Official. Any person denied a ~~building-design~~ permit by the Building Official pursuant to the recommendation of the Committee may appeal the denial within thirty (30) days after notification of the denial to the City Council.

8. Violations and Penalties. Any person who violates, disobeys, omits, neglects or refuses to comply with or who resists enforcement of any of the provisions of this section, upon conviction, shall be in violation of this Code of Ordinances and subject to penalty for each offense. Proceeding with any construction work or repair work requiring a permit without applying for a permit shall be considered an offense and punishable by the provisions of this section. All departments, officials and employees of the City who are vested with the duty or authority to issue permits or licenses shall issue no such permit or license for any use, structure or purpose if the same would not conform to the provisions of this section.

## **165.18 GATEWAY CORRIDOR DISTRICT.**

The Gateway Corridor Overlay District is intended to provide special regulations to assure that new developments along the primary entry corridors into Pella, especially in and near the downtown, respect the existing community character and foster pedestrian-oriented design.

### **1. Site Development Regulations.**

A. Landscaping shall be in accordance with the provisions of Section 165.31, Landscaping and Screening Requirements.

B. Parking areas shall be located along the side of buildings or in the rear of the building. In no case shall off-street parking be allowed in any front yard setback or in the front of buildings except for the following:

(1) Existing industrial parking areas in the front of buildings or required front yards are exempt from this requirement, including additions to existing industrial parking areas.

(2) New industrial parking areas may be located in the front of buildings or in the required front yard provided that berming and a Type A screen with evergreen trees is planted in accordance with Section 165.31.

C. Buildings shall be accessible by pedestrians from a public sidewalk installed by the developer.

D. The following special requirements apply for Gateway Corridor District areas on Washington Street from West 5<sup>th</sup> Street to East 2<sup>nd</sup> Street and on Main Street from Washington Street south to Oskaloosa Street:

(1) Setback. The maximum building setback from the public right-of-way shall be based on the average of setbacks within 200' on both sides of the property or 20', whichever is less.

(2) Residential to Commercial Conversions.

a. The total square footage (building footprint area) of any building converted to commercial use from a residential use shall not exceed 125% of the average of the square footage of residential buildings (existing and formerly residential) within one block on both sides of the property in question. Building additions or expansion to said structures shall only be permitted if the total square footage of the structure does not exceed the above determined average. In the event that the total square footage of an existing residential structure exceeds the average as determined above, then a conversion to commercial use may still occur provided that there is no addition or enlargement of said structure.

b. Off-street parking areas which abut residential uses or residential districts shall be screened with a Type A Screen per Section 165.31 of this chapter.

c. A building permit and a design permit are both required for any residential to commercial conversion. The applicant shall indicate any proposed modifications to the exterior of the building and the overall site, including but not limited to building additions, alterations, repainting, signage, parking, site lighting and landscaping.

(3) New Commercial Construction.

a. The total square footage (building footprint area) of any new commercial building shall not exceed 125% of the average of the square footage of buildings within one block on both sides of the property in question. Commercial building additions or expansions for commercial buildings constructed after the date of adoption of this Zoning Ordinance shall only be permitted if the total square footage of the structure does not exceed the above determined average.

b. Off-street parking areas which abut residential uses or residential districts shall be screened with a Type A Screen per Section 165.31 of this chapter.

c. A building permit and a design permit are both required. The applicant shall indicate any proposed modifications to site, including but not limited to building construction, building additions, alterations, repainting, signage, parking, site lighting and landscaping.

(4) New Residential Construction. The total square footage (building footprint area) of any new residential building shall not exceed 125% of the average of the square footage of buildings within one block on both sides of the property in question or 40% of the total lot area, whichever is greater.

2. Annexation and Gateway Corridor Overlay District Extension. An existing Gateway Corridor Overlay District shall automatically be extended to the City boundary line concurrent with any annexation.

3. Extraterritorial Zoning and Gateway Corridor Overlay District Extension. An existing Gateway Corridor Overlay District shall automatically be extended to the outer boundary of any extraterritorial zoning jurisdiction concurrent with the adoption of extraterritorial zoning.

**PROPOSED REVISION TO INCORPORATE GATEWAY CORRIDORS**

**Gary Lozano, RDG 040616**

This manual is meant to be used in conjunction with the Dutch Residential (DURE) Overlay District regulations of the Pella Zoning Ordinance. Please also refer to the DURE District regulations as these zoning regulations shall apply for Dutch Residential in conjunction with Community Development Committee review.

**Purpose**

The Dutch Residential (DURE) District is intended to preserve and promote “Dutch Architecture” for new residential developments as well as to promote the long term enhancement of residential properties in and around the downtown and along Pella’s gateway corridors. Development in the DURE District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community and seek to capture the essence of residential neighborhoods found in the Netherlands. This design manual used in conjunction with the DURE District regulations in the Pella Zoning Ordinance provides a unique framework to allow developers to have significantly reduced minimum lot size and building setback requirements in exchange for the requirement of Dutch residential architecture.

**Community Development Committee**

The Community Development Committee (CDC) was established by the City Council to oversee Dutch Architecture review. The CDC is a design review committee that reviews new building, additions, exterior modifications and repainting in the Design Review (DR) District and the DURE District. A Design Permit is required for any such modifications or new construction in the DR and DURE Districts. No building permit will be issued until the Community Development Committee approves the architectural design of the proposed new building or modifications.

**Pictorial Examples of Dutch Residential Architecture**

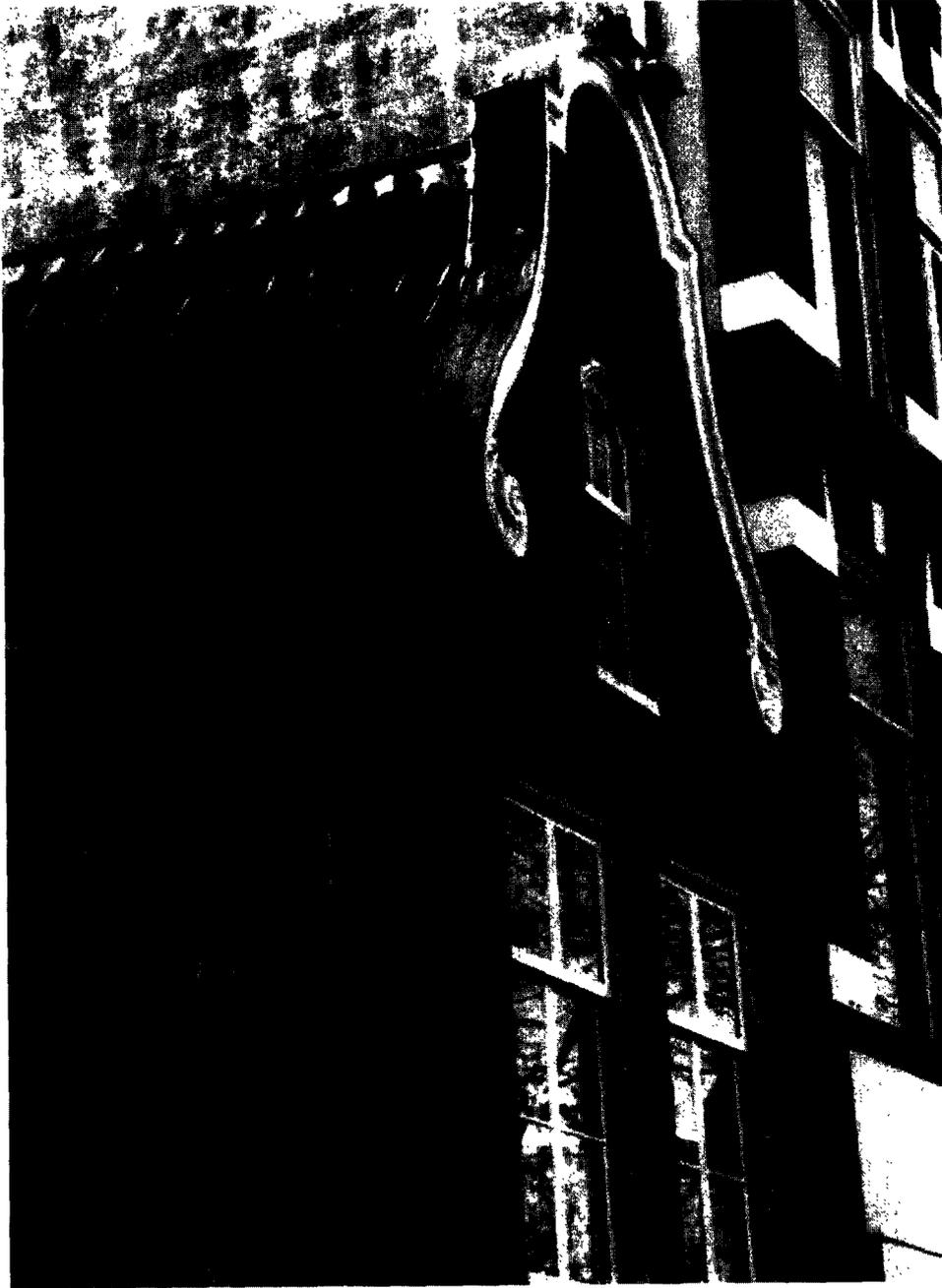


*This design manual used in conjunction with the DURE District regulations in the Pella Zoning Ordinance provides a unique framework to allow developers to have significantly reduced minimum lot size and building setback requirements in exchange for the requirement of Dutch residential architecture.*











## **I. DESIGN REVIEW STANDARDS FOR THE DURE-CBD SUBDISTRICT**

The following design review standards are applicable to the Central Business District subdistrict of the Dutch Residential Overlay District. It is intended that the more stringent standards for consistency with traditional Dutch residential architecture be applied in the CBD area. These standards are required to assure consistency and compatibility with the high-quality existing architecture. Also, in the CBD there will be more intense, larger-scale development, including mixed residential-commercial projects. These projects can greatly impact perceptions of the Central Business District and therefore warrant the application of quality architectural standards.

### **A. Typical Dutch Residential Elements**

The elements listed below are representative of typical Dutch Residential elements. The following are acceptable elements, upon review and approval of the Community Development Committee. Other architectural elements may be allowed upon approval of the Community Development Committee.

- Red colored brick
- Stucco (in some cases)
- Gable
- Steep roof
- Different bonds of masonry
- Mixture of brick and concrete elements
- Geometric decorations
- Keystoning
- Mullions
- Bay windows
- Stucco decoration around windows
- Stucco decoration around entry door
- Fascia
- Dormers
- Faux shutters or real shutters
- Hip treatments
- Steps
- Railings
- Pedestrian lighting

### **B. Architectural Facades, Exterior Walls and Elevations**

Brick is the primary acceptable exterior wall material. Stucco-like material and wood are also acceptable in some instances but shall be treated only as an exception. Wall material selection shall be approved by the Community Development Committee.



Building facades of all residential buildings shall be consistent with the character, massing, volume, and materials of the building typology. Variety in building massing is encouraged for non-street fronting portions of the building as this is often found in residential districts in the Netherlands.

### C. Roofs

Roof styles and pitches for residential buildings shall be in a manner consistent with the building typology. Flat roofs on the main body of residential structures are generally prohibited. Sloped and steeped roofs are strongly encouraged.

Clay tile, imitation clay tile or slate are the primary acceptable roof materials for sloped roofs on all buildings in the Dutch Residential District. Roof tile or slate selection or deviation from this primary acceptable standard shall be approved by the Community Development Committee.

Skylights, solar collectors, or other rooftop equipment must be integrated as part of the roof design. Roof mounted equipment, including any satellite or television dishes or antennae, are generally prohibited. Antennae or satellite dishes shall be placed in the rear yard and screened from view from public streets or pedestrian areas.

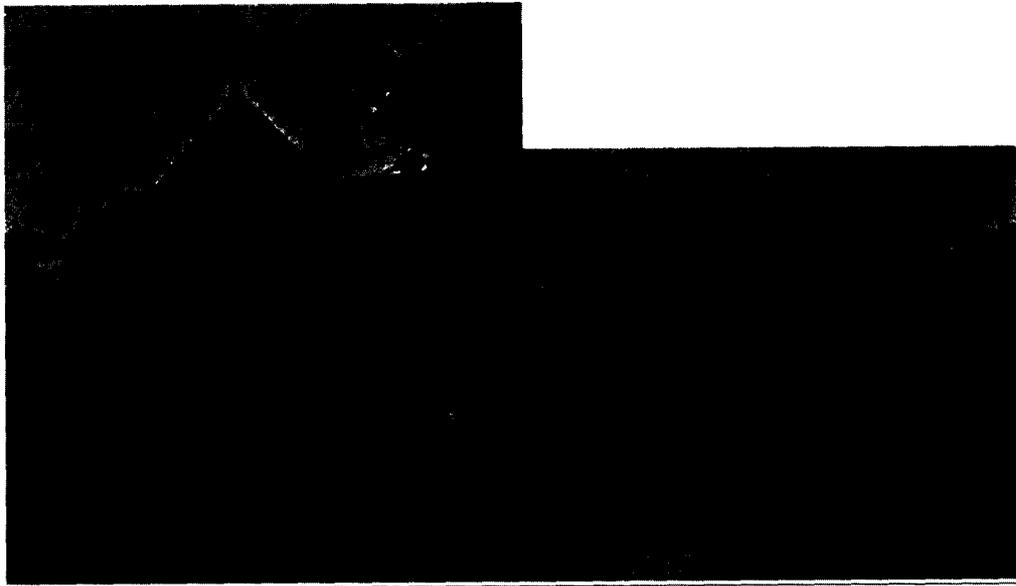
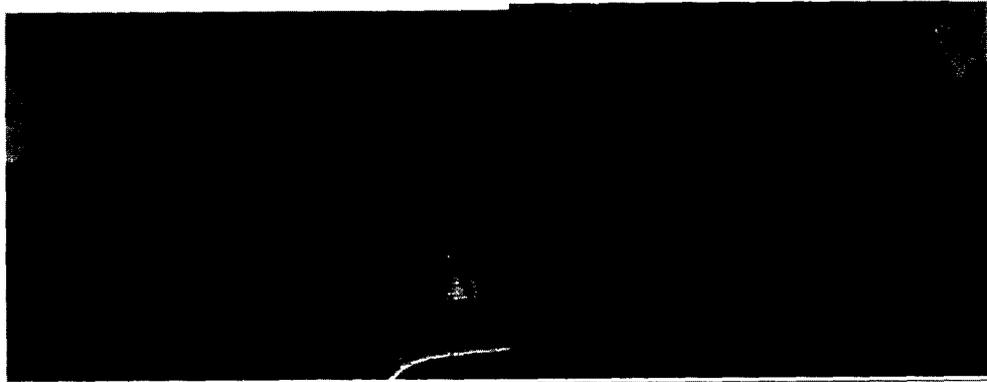
## II. DESIGN REVIEW STANDARDS FOR THE DURE-GC SUBDISTRICT

The intent of the application of residential design standards in Pella's Gateway Corridors is to both promote the community's Dutch heritage and to insure compatibility with the existing character of residential development. There are many examples of existing residential development along the Gateway Corridors that exhibit Dutch residential architecture elements. However, other early 20<sup>th</sup> century residential styles are also evident along the corridors: primarily Colonial Revival and Craftsman. It is not the intent here to prepare an academic categorization of existing homes by historical period or style. What is important is the identification of architectural elements that can be deemed acceptable for new construction or architectural modification requests.

The DURE-CBD design standards above require utilization of specific materials characteristic of Dutch residential architecture. Within the Gateway Corridors, the approach is to require incorporation of specific Dutch or "period-compatible" housing style elements, while permitting use of typical residential construction materials. The following sections identify the appropriate housing style elements that should be exhibited in proposed development along Pella's Gateway Corridors.

The following house style elements are deemed appropriate for new development and to provide a guide for the review of proposed home modifications within the Gateway Corridors. The bulleted elements under each style are deemed acceptable, upon review and approval of the Community Development Committee. Other architectural elements may be allowed upon approval of the Community Development Committee.

A. Pella Early Dutch Eclectic



While not conforming to a generally-recognized style, the above homes are characteristic of a number of residences along the corridors. The style elements include:

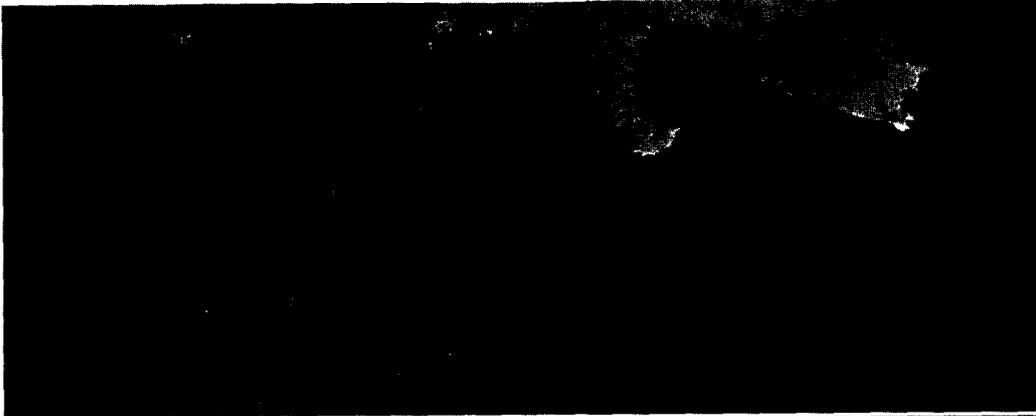
- ▣ Red colored brick or wood siding
- ▣ Gable
- ▣ Steep roof



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- └ Tall, narrow windows, often in pairs, arched and with mullions

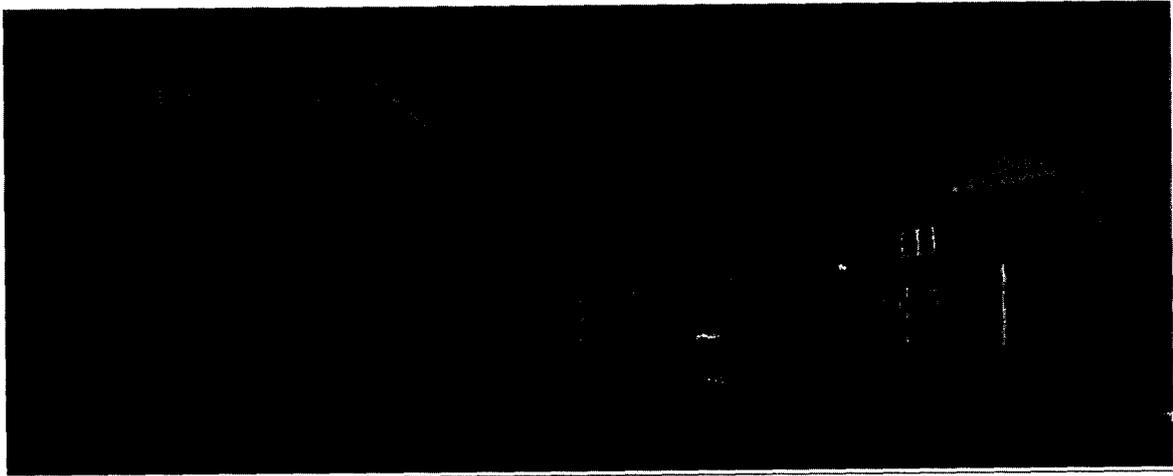
B. Dutch Colonial Revival



The first three homes above are located along Washington St. in Pella. The fourth (lower right) is included to show a "typical" Dutch colonial revival home. The typical design elements of this style include:

- └ Wood siding or red brick walls
- └ Steep gambrel roof
- └ Flared eaves
- └ Continuous dormer
- └ Side wall orientation to street, with entrance in middle
- └ Federal or Georgian entrance detail

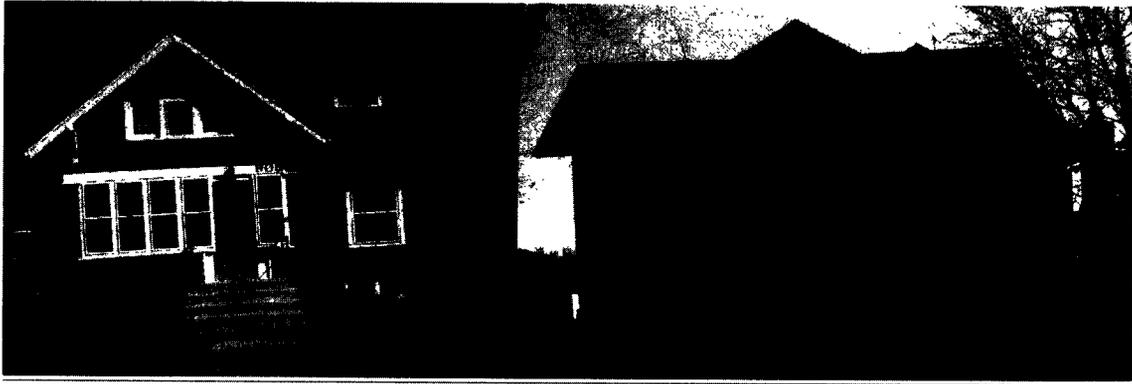
C. Colonial Revival Reference



This style covers a wide range of houses along the corridor. While these homes are not good “textbook” examples of the Colonial Revival style, they do exhibit some of the style characteristics. The following are typical elements of the Colonial Revival style.

- ┘ Symmetrical façade
- ┘ Rectangular
- ┘ 2 stories
- ┘ Brick or wood siding
- ┘ Simple, classical detailing
- ┘ Gable roof
- ┘ Pillars and columns
- ┘ Multi-pane, double-hung windows with shutters
- ┘ Dormers
- ┘ Temple-like entrance: porticos topped by pediment
- ┘ Fireplaces

D. Craftsman



Typical elements of the Craftsman style include:

- ┆ A low-pitched, gabled roof.
- ┆ A front porch
- ┆ Tapered columns
- ┆ A partially paned door
- ┆ Multi-pane instead of single-pane windows
- ┆ Earthy colors
- ┆ Single dormers
- ┆ Stone details
- ┆ Exposed rafter tails and beams under deep roof eaves.
- ┆ Knee braces

### 4-III. DESIGN REVIEW STANDARDS APPLICABLE TO BOTH THE DURE-CBD AND DURE-GC SUBDISTRICTS

#### A. Garages

##### B.A.

#### Single Family Dutch Residential:

Garage door widths shall not exceed nine (9) feet. No more than two garage doors shall be permitted per residential lot in the DURE-CBD area and no more than three garage doors in the DURE-GC area. Garage doors shall be designed so as to be compatible with the architectural character of the residence. Garages and other accessory structures are permitted only on the side of the main structure facing the rear yard. In no case shall a garage or accessory structure be located closer than five (5) feet to the rear property line or alley or located within the side yard setbacks. Parking for residences shall be in a garage or hard surfaced parking area situated to the rear of the main structure with access to an alley. Existing lots of record, including resubdivisions thereto, in the DURE district around the downtown are exempt from the alley requirement when no alley is accessible. The preferred alternative in this situation is to locate the garage or parking area to the rear of the main structure, accessed from the street by a driveway alongside the house. If this is not feasible, an attached garage can be considered, provided the garage is recessed a

minimum of 5 feet behind the front facade. The intent is that the garage not be the dominant element of the façade.

Duplex or Townhouse Dutch Residential: Garages for duplex, townhouse and multifamily structures are also preferred to be located in the rear yard, accessed by a driveway alongside the dwelling. If this arrangement is not feasible, garages may be permitted on the front side of the structure facing the street provided that they are attached to the main structure and have a minimum recess of 5 feet behind the front facade. The intent is that the garage not be the dominant element of the façade.

**C. Alleys**

**D.B.**

Alleys as part of a new residential subdivision ~~in the~~ under a DURE-CBD ~~Subdistrict~~ in general are encouraged. Alleys are required for new one family Dutch residential developments except for existing lots of record in the DURE-CBD subdistrict around the downtown.

**E. Screened Porches or Patio Enclosures**

**F.C.**

Screened enclosures are permitted only within the interior areas of the site and not along the front or other street-fronting facades. All screened enclosures shall be approved by the Community Development Committee.

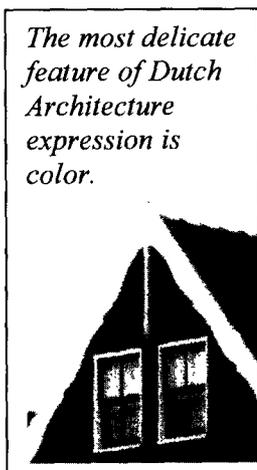
**G. Variety in Design**

**H.D.**

Variety in architectural design, including building floor plan, ornamentation and colors is strongly encouraged. New residential subdivisions which are created under a DURE District are especially encouraged to have a variety of architecture.

**I. Architectural Colors**

**J.E.**



*The most delicate feature of Dutch Architecture expression is color.*

The most delicate feature of Dutch Architecture expression is color. All painted and material colors should be representative of the respective residential building typology and avoid bright, harsh, bold, or invasive pigmentation. Colors shall be chosen from the *Dutch Color Palette*. Other color selections may only be used upon approval of the Community Development Committee. The color of roofing and siding materials is extremely important. Selection shall be made from a limited palette as described in the *Dutch Color Palette*. Both initial and weathered color characteristics should be considered when selecting specific colors. Other color selections or building material selections may only be used upon approval of the Community Development Committee. All specific colors, both before initial construction and subsequent



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repainting are subject to Community Development Committee approval.

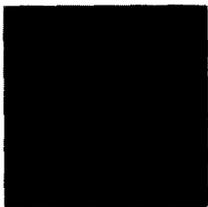
**Dutch Color Palette**  
**Index of Pantone Colors**

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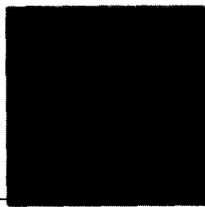
| Reds   | Yellows | Greens | Greens | Blues | Blues | Blues   | Browns | Trim colors   |
|--------|---------|--------|--------|-------|-------|---------|--------|---------------|
| 1797C  | 7401U   | 555C   | 578U   | 5463C | 307U  | 657U    | 4625U  | 871U          |
| 1807C  | 7402U   | 347C   | 579U   | 5473C | 308U  | 658U    | 4695C  | 872U          |
| 485C   | 7403U   | 348C   | 580U   | 5483C | 309U  | 659U    | 462C   | 873U          |
| 201C   | 7404U   | 349C   |        | 5493C | 3105U | 660U    | 463C   | 874U          |
| 202C   | 7405U   | 350C   | Blues  | 5503C | 3115U | 661U    | 4625C  | 875U          |
| 1795C  | 7406U   | 371C   | 7474U  | 5513C | 3125U | 662U    | 4635C  | 876U          |
| 7420C  | 7407U   | 621C   | 7475U  | 5523C | 3145U |         | 4645C  | 877U          |
| 186C   | 7499U   | 622C   | 7476U  | 642C  | 3155U | Violets | 4655C  |               |
| 187C   | 7506C   | 623C   | 7477U  | 643C  | 3165U | 2665U   | 4665C  | Greys         |
| 188C   | 7508C   | 624C   | 7474C  | 644C  | 539U  | 2685U   | 4675C  | Cool grey 1U  |
|        | 7411C   | 625C   | 7475C  | 645C  | 540U  | 2695U   | 4685C  | Cool grey 2U  |
| Orange | 141C    | 626C   | 7476C  | 646C  | 541U  | 2735U   | 726C   | Cool grey 3U  |
| 173C   | 1205C   | 627C   | 7477C  | 647C  | 542U  | 2745U   | 727C   | Cool grey 4U  |
| 174C   | 1215C   | 5605C  | 327U   | 648C  | 543U  | 2755U   | 728C   | Cool grey 5U  |
| 175C   |         | 5615C  | 328U   | 649C  | 544U  | 2765U   | 729C   | Cool grey 6U  |
| 158C   |         | 5625C  | 329U   | 650C  | 545U  | 663U    | 730C   | Cool grey 7U  |
| 159C   |         | 5635C  | 330U   | 651C  | 5463U | 664U    | 731C   | Cool grey 8U  |
| 160C   |         | 5645C  | 539C   | 652C  | 5473U | 665U    | 732C   | Cool grey 9U  |
| 158U   |         | 5655C  | 540C   | 653C  | 5483U | 666U    | 719U   | Cool grey 10U |
| 159U   |         | 5665C  | 541C   | 654C  | 5493U | 667U    | 720U   | Cool grey 11U |
| 160U   |         | 448C   | 542C   | 655C  | 5503U | 668U    | 721U   | 420C          |
|        |         | 449C   | 543C   | 283U  | 5513U | 669U    | 722U   | 421C          |
|        |         | 450C   | 544C   | 284U  | 5523U | 256U    | 723U   | 422C          |
|        |         | 451C   | 545C   | 285U  | 628U  | 257U    | 724U   | 423C          |
|        |         | 452C   | 5395C  | 286U  | 629U  | 258U    | 725U   | 424C          |
|        |         | 453C   | 5405C  | 287U  | 630U  | 259U    |        | 425C          |
|        |         | 454C   | 5415C  | 288U  | 631U  | 260U    |        | 426C          |
|        |         | 5743C  | 5425C  | 289U  | 632U  | 261U    |        |               |
|        |         | 5753C  | 5435C  | 290U  | 633U  | 262U    |        |               |
|        |         | 5763C  | 5445C  | 291U  | 634U  | 7443C   |        |               |
|        |         | 5773C  | 5455C  | 292U  | 642U  | 7444C   |        |               |
|        |         | 5783C  | 546C   | 293U  | 643U  | 7445C   |        |               |
|        |         | 5793C  | 547C   | 294U  | 644U  | 7446C   |        |               |
|        |         | 5803C  | 548C   | 295U  | 645U  | 7447C   |        |               |
|        |         | 574U   | 549C   | 296U  | 646U  | 7448C   |        |               |
|        |         | 575U   | 550C   | 304U  | 647U  | 7449C   |        |               |
|        |         | 576U   | 551C   | 305U  | 648U  |         |        |               |
|        |         | 577U   | 552C   | 306U  | 656U  |         |        |               |



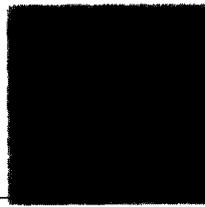
**Dutch Color Palette**



Green 01 B/T



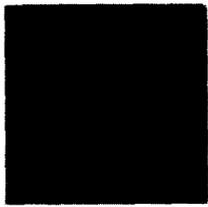
Green 02 B/T



Green 03 B/T



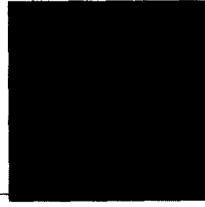
Green 04 B/T



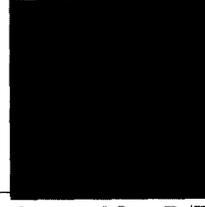
Green 05 B/T



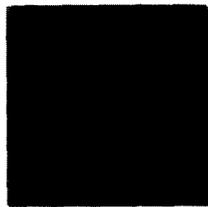
Green 06 B/T



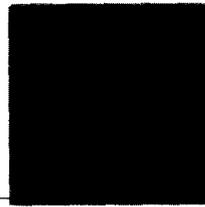
Green 07 B/T



Green 08 B/T



Green 09 B/T



Green 10 B/T

Paint brands that are acceptable green colors include:

*PPG Architectural Finishes, Inc. – Midnight Clover, Dark Green Velvet, Pine Forest*

*Pittsburgh Paints – Royal Hunter Green, Kentucky Green, Dark Green Velvet*

B = body exterior

T = trim, doors, shutters

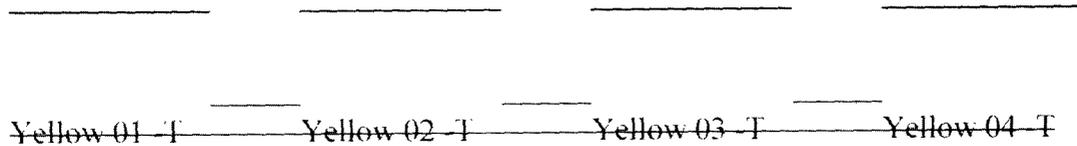


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~~\*\* The use of green colors, especially the darker grayish and blackish greens, is strongly encouraged.~~

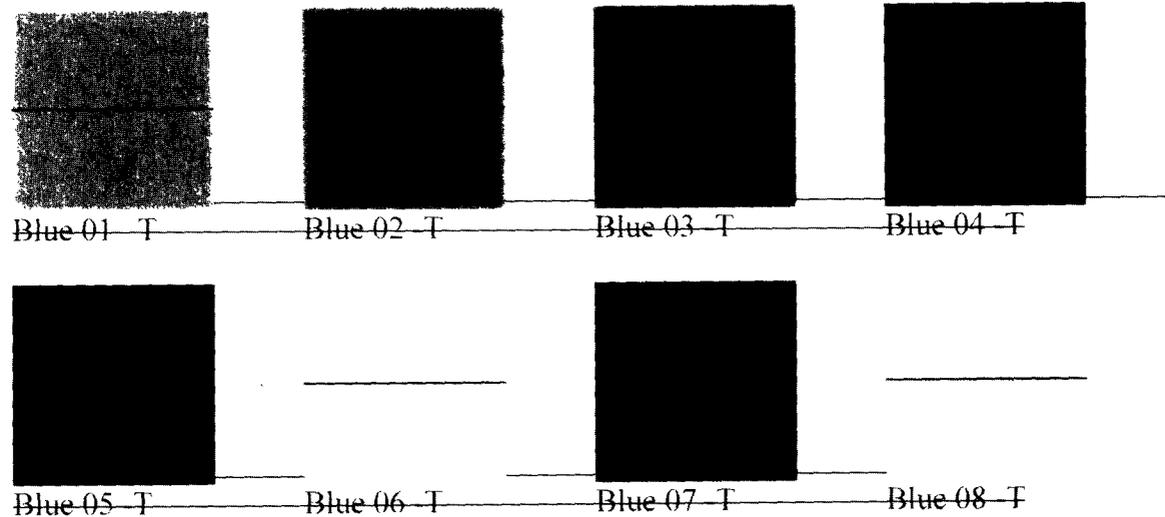
~~Note: Other brands/colors may be approved by the Community Development Committee provided they are in keeping with Pella's Dutch architecture as determined by the Committee and/or are similar to specific colors contained in this brochure.~~

**Dutch Color Palette**



Paint brands that are acceptable yellow, gold, orange colors include:  
PPG Architectural Finishes, Inc. – Toffee Crunch, Candlelit Beige, Cider Toddy  
*Pittsburgh Paints – Apple Crunch, Brown Basket, Cape Honey Flower, Sandy Star, Uptown Taupe*

B = body exterior  
T = trim, doors, shutters





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Paint brands that are acceptable blue colors include:

*PPG Architectural Finishes, Inc. — Admiralty (blue)*

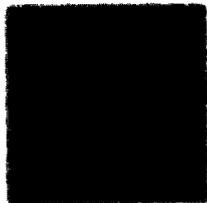
*Pittsburgh Paints — Flemish Blue, Spring Waterfall, Blue Whale or Flemish Sky*

B = body exterior — T = trim, doors, shutters

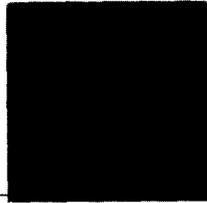
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Note: Other brands/colors may be approved by the Community Development Committee provided they are in keeping with Pella's Dutch architecture as determined by the Committee and/or are similar to specific colors contained in this brochure.

### Dutch Color Palette



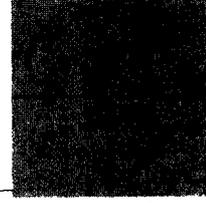
Gray 01 — T



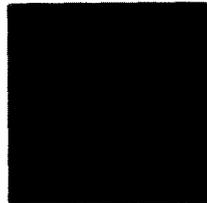
Gray 02 — B



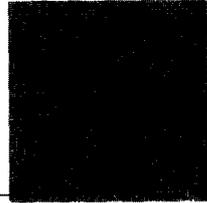
Gray 03 — B



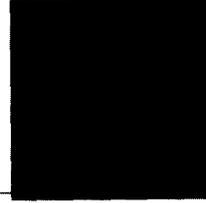
Gray 04 — B



Gray 05 — B



Gray 06 — B



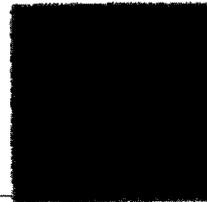
Gray 07 — B



Gray 08 — T



Gray 09 — B



Gray 10 — B

Paint brands that are acceptable gray colors include:

*Wal-Mart ColorPlace — Armory Gray, Fossil, Stonewalk, Café Noir, Medium Gray, Stone Path, Rockburn, Old Town*

*Pittsburgh Paints — Dark As Night, Stonehenge Greige, Silver Dollar, Gray Stone, Stone Gray*

B = body exterior

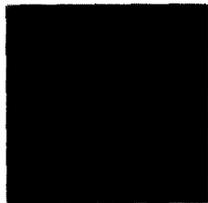
T = trim, doors, shutters



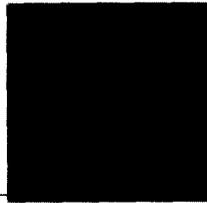
# Dutch Residential Design Manual – 21<sup>nd</sup> Edition Draft

Note: Other brands/colors may be approved by the Community Development Committee provided they are in keeping with Pella's Dutch architecture as determined by the Committee and/or are similar to specific colors contained in this brochure.

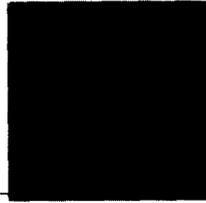
## Dutch Color Palette



Red 01 T



Red 02 T



Red 03 T



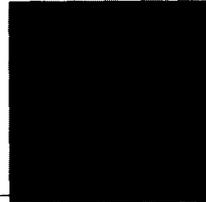
Red 04 T



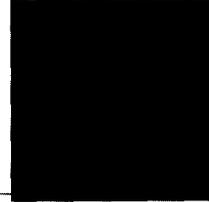
Red 05 T



Red 06 T



Red 07 T



Red 08 T



Red 09 T

Paint brands that are acceptable red colors include:

*PPG Architectural Finishes, Inc. – Earth Rose, Fire Weed or Ruby Lips*

*Pittsburgh Paints – Blaze, Apple A Day, New England Red, Burgundy Wine or Sweet Spiceberry*

B = body exterior

T = trim, doors, shutters



Dutch Residential Design Manual - 21<sup>nd</sup> Edition Draft

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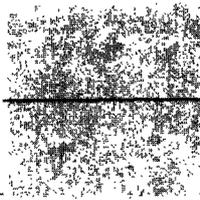
**Dutch Color Palette**

White 01 - T      White 02 - T      White 03 - T      White 04 - T

B = body exterior  
T = trim, doors, shutters



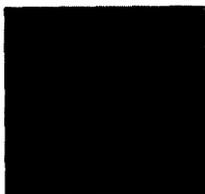
Brown 01 - B



Brown 02 - B



Brown 03 - B



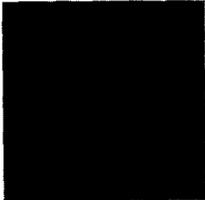
Brown 04 - B

B = body exterior  
T = trim, doors, shutters

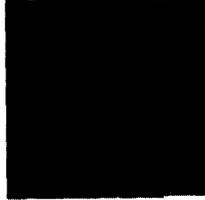


Note: Other brands/colors may be approved by the Community Development Committee provided they are in keeping with Pella's Dutch architecture as determined by the Committee and/or are similar to specific colors contained in this brochure.

**Dutch Residential (DURE-CBD) Overlay District Roof Tiles and Brick Palette**



Roof Tile 01



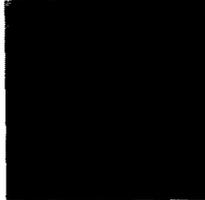
Roof Tile 02



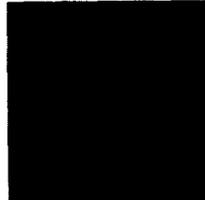
Roof Tile 03



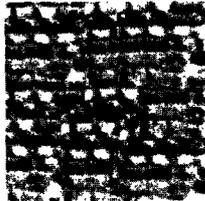
Roof Tile 04



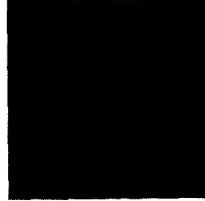
Roof Tile 05



Brick 01



Brick 02



Brick 03



Brick 04

\*Other roof or exterior materials may be approved by the Community Development Committee provided they are in keeping with residential Dutch architecture

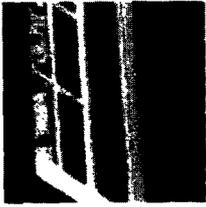
**Combinations - Examples**



Brick 04/Roof Tile 03



White 04/Green 05/Roof Tile 05



Brown 02/Brick 03

**Other Resources**

Amsterdam Heritage web page ([www.bmz.amsterdam.nl/adam/intro/intro.html](http://www.bmz.amsterdam.nl/adam/intro/intro.html))

*This web resource has excellent pictorial and descriptive data on Dutch architecture. If web page address changes, you can use search engines to look for “Amsterdam Heritage” or “Dutch Architecture”.*

Pella web page: [www.cityofpella.com](http://www.cityofpella.com)

~~([www.pella.org](http://www.pella.org))~~

Pella’s own web page can provide additional contextual information for those unfamiliar with Pella.





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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: B-3

SUBJECT: Reappointment of Praveen Mohan to the Library Board of Trustees

DATE: May 2, 2016

**BACKGROUND:**

Praveen Mohan was appointed to the Library Board of Trustees on July 1, 2013 to serve a three year term which will end July 1, 2016. He is eligible for and willing to serve a second term. His second term will expire July 1, 2019.

Praveen is currently serving as Vice-President of the Library Board. Praveen attended 25 of the 34 board meetings held during his first term. He and his family live at 2309 Drenthe Laan, Pella.

ATTACHMENTS: None

REPORT PREPARED BY: Library Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve the reappointment.



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: B-4

SUBJECT: Reappointment of Jane Koogler to the Library Board of Trustees

DATE: May 2, 2016

**BACKGROUND:**

B. Jane Koogler was appointed to the Library Board of Trustees on July 1, 2013 to serve a three year term which will end July 1, 2016. She is eligible for and willing to serve a second term.

Jane and her husband Fred live at 1208 West 3<sup>rd</sup> St. Pella. Jane attended 32 of the 34 board meetings held during her first term. Her second term will expire July 1, 2019.

ATTACHMENTS: None

REPORT PREPARED BY: Library Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve the reappointment.



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: B-5

SUBJECT: Reappointment of Jim Danks to the Planning and Zoning Commission

DATE: May 2, 2016

**BACKGROUND:**

Jim Danks has served on the Planning & Zoning Commission since July 16, 1985 and is interested in serving another term. Jim previously has been employed by Pella Corporation and Central College. He and his wife Phyllis reside at 1407 West Third Street.

His new term would expire on May 1, 2021.

ATTACHMENTS: None

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve the reappointment.

**CITY OF PELLA, IOWA  
CITY COUNCIL  
OFFICIAL MINUTES  
April 19, 2016**

**A. CALL TO ORDER BY MAYOR AND ROLL CALL**

The City Council of the City of Pella, Iowa, met in regular session at the Public Safety Complex meeting room at 7:00 p.m., Mayor James Mueller presiding. Members present were: Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson. Absent: None. City Administrator Mike Nardini, City Attorney Bob Stuyvesant, and City Clerk Ronda Brown were present. Nine staff members and twenty members of the general public signed the register.

**B. MAYOR'S COMMENTS**

1. Announce Policy and Planning Meeting following the regular Council meeting to discuss:

None

2. Approval of tentative agenda. Councilmember Van Stryland moved to approve the tentative agenda, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Van Stryland, Schiebout, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

3. Reappointment of Ervin Van Wyk to the Planning and Zoning Commission. Councilmember Bokhoven moved to approve, seconded by Councilmember Peterson. On roll call the vote was: AYES: Bokhoven, Peterson, De Jong, Vander Beek, Van Stryland, Schiebout. NAYS: None. Motion carried.

SUBJECT: Reappointment of Ervin Van Wyk to the Planning and Zoning Commission

DATE: April 19, 2016

BACKGROUND:

Ervin Van Wyk has served on the Planning & Zoning Commission since July 18, 2006 and is interested in serving another term. His term will expire May 1, 2016. Ervin has lived in the Pella area his entire life. He is a business owner, operating Midtown Tire since 1988. Ervin resides at 2308 Scholte Straat. His new term would expire on May 1, 2021.

ATTACHMENTS: None

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve the Reappointment.

4. Announce Closed Session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.

**\*PUBLIC FORUM (for anyone wishing to address Council regarding agenda items.)**

NONE

**C. APPROVAL OF CONSENT AGENDA**

Councilmember Vander Beek moved to approve the consent agenda, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Vander Beek, Bokhoven, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried. The following items were approved:

1. Approval of Minutes
  - a. Official Council Minutes for April 5, 2016.
2. Report of Committees
  - a. Policy and Planning Minutes for April 5, 2016.

Policy and Planning Minutes

April 5, 2016

PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson

ABSENT: None

OTHERS: City Staff and Visitors

The Policy and Planning meeting began at 8:47 p.m. The only agenda item was concerning the proposed Amendment #1 to the City's power supply contract with Missouri River Energy Services (MRES) and the Western Minnesota Municipal Power Agency (WMPA). The reasons for the amendment are to address the significant changes that have occurred in the way power is contractually delivered from MRES to the City of Pella. Listed below is an overview of the key terms of the proposed amendment.

In the fall of 2015, the Western Area Power Administration (WAPA) joined the Southwest Power Pool (SPP), which is a Regional Transmission Organization (RTO). As a result, MRES is no longer able to deliver power and energy via a contractual path from WAPA to the City of Pella as identified in our current power supply contract. Rather, power resources are now contractually delivered via a financial transaction from the Midcontinent Independent System Operator (MISO),

which is our RTO. Since power supply is no longer delivered via a contractual path, changes are necessary to our current power supply agreement to align with how power is contractually delivered to the City of Pella.

MRES is proposing an eleven year extension of our current power supply agreement. The proposed term is from January 1, 2017 to January 1, 2057. The reason for the extension is to accommodate the financing needs of our power supply provider. It is staff's understanding in order for MRES and WMPA to retain a strong credit rating, it is beneficial for them to have power supply contracts with their members with remaining terms between 25 to 40 years. In addition, long-term agreements also allow MRES the necessary security to plan for future generation needs for its members.

After discussion, staff was directed to proceed with bringing the proposed Amendment #1 to the City's power supply contract with MRES and WMPA for Council consideration at a future meeting.

The meeting adjourned at 8:57 p.m.

Respectfully Submitted,  
Ronda Brown, City Clerk

## b. Planning and Zoning Minutes for March 14, 2016.

### Planning and Zoning Commission Special Meeting March 14, 2016

- 1) The meeting was called to order at 7:00 a.m.
- 2) Roll Call.  
Present: Jim Danks, Cathy Hausteine, David Landon, Robin Pfalzgraf, Bob Smith, Gary Van Vark, Ervin Van Wyk, Ann Visser.  
Absent: Craig Agan, Mike Vander Molen, Teri Vos.  
Others Present: Bruce Niedermyer (RDG Planning & Design), Mike Lubberden, Mike Nardini, George Wesselhoft.
- 3) Site Plan for Central College. George Wesselhoft reviewed the staff report: Central College is proposing an addition to the south and west of the existing A. N. Kuyper Athletic Complex. The building will have a new south entrance extending toward Independence Street. The expansion to the west will take over an area currently used by a small pole structure used for hitting cages. This site is zoned INS Institutional. The site is targeted for Central College use in the Comprehensive Plan, Future Land Use map.  
Bob Smith questioned in the write up staff included three pages of criteria for site plan review.  
George Wesselhoft responded they were identified recently as something that the Commission should focus on more, historically the burden has been on staff and it has been the direction of the Commission to not bring anything forth unless it is 100% code compliant and they are now including this information as part of the Commission's review.  
Mr. Smith stated the bulk of these things he has traditionally assumed that staff reviewed and they will have to see what staff is looking at.  
Mr. Wesselhoft responded staff believes the site plan is in conformance with all these criteria and it is straightforward in that regard and is consistent with the Comprehensive Plan.  
Mr. Smith added if the Commission has to make the findings, then they are committed to have deference and have the right to have a significant amount of trust in staff like he has for the last fifteen years he has served on the Commission; he added that some of these criteria are pretty subjective.  
Mike Nardini responded that the criteria have traditionally been done by City staff however the City Code requires the Planning and Zoning Commission to consider these items in approving site plans. One of the criteria is that the site plans do conform to the City's Comprehensive Plan in addition there is the Table 165.36/37-1. From an administrative standpoint that review is done at the staff level and if there are questions on the specific criteria in the table staff would be happy to answer them.  
Cathy Hausteine asked why in the Table sometimes there are one versus two "X" marks.  
Mr. Wesselhoft responded that the Table includes both site plan and special use permit review and that is why there are two columns with "X" marks. There was discussion about the Table and how it is interpreted.  
Mr. Smith questioned with respect to that we now need to find conformance to the Comprehensive Plan for a site plan.  
Mr. Wesselhoft responded there is that language in the Code that requires consistency as far as zoning and the Comprehensive Plan and unless that section is changed by City Council that is something we have to do.  
Mr. Nardini handed out the section of Code that pertains to site plans and this is what was reviewed and came up during the Casey's site plan development. These are the three findings; subparagraph three of 165.36 (3)(F) that the site plan conforms to both the Zoning Ordinance and the City's Comprehensive Plan. They have verified it with legal counsel and the City Attorney. From this point forward from a staff report they will see a recommendation from staff and we are trying to follow what the City Code spells out and this is not a new provision but when staff became aware of it they verified no conflict with State Code and it is somewhat of a new procedure.  
Mr. Smith stated his recollection is that there are numerous inconsistencies between the current zoning map and the Comprehensive Plan; that would suggest they cannot approve a single site plan without resolving that inconsistency.  
Mr. Nardini responded that the Comprehensive Plan needs to be discussed with approving site plans and where there are inconsistencies there needs to be action taken. For the special meeting later this month there will be a specific action item for amendment.  
There was further discussion.  
David Landon mentioned that one thing that the Comprehensive Plan does state is that on page 90 that the Plan is created through the public process therefore any official changes should be made through the public process. If we go back to the decision on Casey's, the decision was to approve contingent on change and to him that is getting the cart before the horse. He still thinks they are in the same situation; even though they have the meeting on the 30<sup>th</sup> unless the Comprehensive Plan goes through and the change is made they are getting the cart before the horse.  
Mr. Smith stated that zoning ordinance has particular rules for notification to people within proximity.  
Mr. Landon stated the whole City is invited and when this revision was done the people in this neighborhood participated in it and whereas he is not sure but his assumption would be that Casey's did not and the Comprehensive Plan did have the public influence reflected the desire of the neighborhood to have this area with future zoning use of residential and not commercial and it went through the due process of the development of the Comprehensive Plan; so it does go through that.  
Mr. Smith mentioned that for every site plan that comes before them where there is an inconsistency between the zoning map and Comprehensive Plan that means they are going to have to tee up an entire City notification.  
Ms. Hausteine asked whether there is anything wrong with that as the people of Pella have said quite clearly they really favor keeping the historic character of the downtown. What does it matter if things take longer as long as the public is happy with the decisions we make.  
Mr. Smith stated he is not adverse to that but you will have a process change that is substantial.  
Mr. Nardini responded that some of this will have to be worked out. The point is that site plans approved under City Code they required conformance with the Comprehensive Plan and they followed up and spent a considerable amount of time with legal counsel in reviewing State Code and case history that would possibly nullify City Code and they have not been able to find any provision under State Code. So where there are inconsistencies the process could take longer. The meeting on the 30<sup>th</sup> if the Planning and Zoning Commission would recommend approval on the Comprehensive Plan amendment to the City Council then the site plan would be presented with conditional approval as one option.  
Mr. Landon stated the hiccup he has is that it goes on the pre-supposition that the City Council is going to approve the resolution. He added that he feels it should be done in two steps. He stated that is his personal opinion.

Mr. Nardini responded that the reason they talked about having the conditional approval was to expedite the development process.

Mr. Landon mentioned that is where the second choice of tabling last time should have been looked at.

Jim Danks questioned in the last fifteen years plans submitted and then change in the Comprehensive Plan. Has the Council approved the alterations?

Mr. Nardini responded where they have approved rezonings they have recommendations to amend the Comprehensive Plan at both the Planning and Zoning Commission and City Council.

There was further discussion.

Bob Smith questioned for the Central College site plan is the zoning institutional and the Comprehensive Plan has it as?

Mr. Wesselhoft responded Central College is identified as a specific use in the Comprehensive Plan Future Land Use Map. He explained further that there is a table in the Comprehensive Plan that has some cross references between the Comprehensive Plan use categories and the zoning districts.

David Landon made a motion to approve the site plan. Ann Visser seconded the motion. Upon vote, Landon, Visser, Haustein, Pfalzgraf, Smith, Van Vark, Van Wyk voted yes with Danks abstaining. Motion carried 7 to 0 with 1 abstention.

- 4) Other Business. George Wesselhoft mentioned the minutes of the February 22 meeting were emailed out after the packet went out and there are hard copies out but they are a lengthy set of minutes and the Commission could wait to approve at the March 28 regular meeting agenda until they have more time to review. Also, he mentioned that on May 19 there will be planning and zoning training.

Bob Smith stated that perhaps they can be prepared for example the Code provision that requires consistency and whether it is required by State law as the biggest issue he has as people have the right to understand how they can use their land; he thought the Comprehensive Plan was aspirational and forward looking and so as a result there will be inconsistencies; how do people live with understanding what they can do with their property in that level of uncertainty.

Mike Nardini stated staff made the determination that if a site plan cannot clearly identify conformance with the comprehensive plan than it probably deserves consideration by the Planning and Zoning Commission and City Council. Mike Nardini also stated the Comprehensive Plan is intended to be a living breathing document, which can change as development occurs.

There was further discussion.

- 5) Adjourn. The meeting adjourned at 7:40 a.m.

Respectfully submitted,

George Wesselhoft

Planning and Zoning Director

### c. Planning and Zoning Minutes for February 22, 2016.

#### Planning and Zoning Commission

#### Regular Meeting

February 22, 2016

- 1) The meeting was called to order at 7:00 p.m.

- 2) New Member Welcome: George Wesselhoft introduced Robin Pfalzgraf, new member to the Planning and Zoning Commission.

- 3) Roll Call.

Present: Craig Agan, Jim Danks, Cathy Haustein, David Landon, Robin Pfalzgraf, Mike Vander Molen, Gary Van Vark, Ervin Van Wyk, Ann Visser, Teri Vos.

Absent: Bob Smith.

Others Present: Michael Robinson, Cornie Brouwer, Jody Mansueto, Jim Mansueto, Jill Reams-Widder, Mike Vander Wert, Dennis Vander Beek, Joyce Vander Beek, Doug Van Zee, Gina Dux, Darin Dux, Doug Kraft, Larry Peterson, Harold Van Stryland, Brad Uitermarkt, Mary Van Wyk, Renee Bastas, Kosta Bastas, Joanne Dyer, Amy Costello, Le Anne Krell, Elmer Roorda, Keith Hoksbergen, Elsie Van Stryland, Kathy Boot, Randy Boot, Dell Collins, Julie Collins, Joan Haman, Ken Haman, Diane Fynaardt, Mary Ann Emerick, Harlan Van Vark, Bobbie Van Vark, Case Vander Ree, Helen Vander Ree, Jim Mueller, Wally Pelds, Jay Garner, Darrell Dobernecker, Tony Bokhoven, Ronda Kermode, Dave Kermode, Kathy Kooyman, Kevin Gibson, Kris Andre, Shelley Bradfield, Dan Andre, Clint Weinberg, Jerry Byers, Mike Nardini, George Wesselhoft.

- 4) Approval of Minutes. The minutes of the January 25, 2016 regular meeting were approved as submitted.

- 5) Public Hearing on Rezoning Application by Keith Hoksbergen/Harley Van Wyk Estate to Rezone Property (Legal Description: Lots 31 and 32 in Timber Ridge Subdivision, a Survey and Subdivision of the N ½ of Section 20, Township 76 North, Range 18 West of the 5<sup>th</sup> P.M. together with an undivided 2/33rds interest in and to Lot A Street in Timber Ridge Subdivision, together with all easements and servient estates appurtenant thereto) from R1 Low Density Single Family Residential District to M1 Limited/Light Industrial District.

Written comments were received from Mary Ann Emerick (117 Timber Ridge Drive) and Randy & Kathy Boot (1032 198<sup>th</sup> Place) both of which were not in favor of the rezoning request. The letters were read into the minutes of the meeting (See attached).

Cornie Brouwer stated he owns property in Timber Ridge and not knowing any more than he does, what is going to happen there, unless they get more information, he is against the rezoning and the property is as you come into Timber Ridge and you drive right past it.

Bob Zylstra stated he is also an adjacent property owner and it seems like an odd place to put an industrial building as it is right in the middle of long stretch of light residential houses on both sides of the street and so he is opposed to it.

Eric Van Dusseldorp mentioned he is a Timber Ridge resident as well and he has questions based on what the rezoning would allow folks to do with that property as he understands there is a building and all the trees, and so let's say the applicant decides in a couple years he does not want to own the property anymore it goes to someone else what are they going to do with the property. Until that is clarified he would be against it.

Darren Dux stated he also lives in Timber Ridge Drive and what he has heard is that the industrial zoning would allow any type of industrial structure other than outside storage of industrial items and so in the interest of their neighborhood and the residential area completely surrounding this property he would be against the rezoning away from residential.

Diane Fynhaardt commented she is also a resident of Timber Ridge and this property is right across the road from her house and that it is the corridor as you come into Timber Ridge and also her view of why she moved to Timber Ridge and she is opposed to it.

Keith Hoksbergen, applicant, mentioned what happened is that Harley Van Wyk passed away, they sold the house off and now they have an orphan piece of property and they are interested in leaving the property pretty much as is, they are not going industrial, and they would be okay with storage only. He added with the flood plain and where the trees are you would have to have an act of Congress to build there. It is an orphan and they have to call it something because it is no longer residence there, sold off. The kids are thinking of doing something with it as they are trying to settle the estate. There are concerns about industrial and noise and pollution and no they are not for that and they do not want site damage out there. He added that if he was one of the residents of Timber Ridge he agrees with what they are saying and the property is no longer residential and asking for leeway to do something with the property.

The public hearing was closed.

- 6) Rezoning Application by Keith Hoksbergen/Harley Van Wyk Estate to Rezone Property from R1 Low Density Single Family Residential District to M1 Limited/Light Industrial District.

Gary Van Vark stated the reason for the rezoning is because all storage according to the zoning regulations are required to be in the industrial zone and that is why the applicant is asking to go to industrial. So anytime there is storage they have no place other to rezone but industrial. He added that M1 industrial does even allow outside storage. He stated the Commission has an issue too, a problem with that.

Ervin Van Wyk asked if there was a way they could make this M1 on the existing building with no further additions added on to it. George Wesselhoft responded that one of the recommendations was to limit it to storage and that the Commission could limit it further to only the existing building. David Landon questioned that any way you look at it this would be considered spot zoning would it not. Mr. Wesselhoft responded that would be a concern. Ervin Van Wyk questioned how is this building going to be zoned then with one lot with storage shed and asked if this was grandfathered in or how was it zoned to begin with. Mr. Wesselhoft responded that the City zoning was established in 2003 as part of the extraterritorial zoning and staff checked with the County and in October of 1987 Mr. Van Wyk applied for a variance with Marion County for storage, boat repair and sales but it was denied and there is no record of either County or City permission to have the storage use there. Teri Vos stated she has one question for clarity: this is storage for personal or commercial use. Mr. Van Vark responded it could be anything, it is industrial; storage is storage. Jim Danks mentioned the recommendations in the staff report including primary recommendation is to deny based on inconsistency with the Comprehensive Plan and based on spot zoning concern; alternative recommendation would be to recommend approval with direction to amend the Comprehensive Plan. David Landon made a motion to deny the rezoning. Gary Van Vark seconded the motion. Upon vote, Landon, Van Vark, Agan, Danks, Haustein, Pfalzgraf, Vander Molen voted yes. Van Wyk, Visser, Vos voted no. Motion carried 7 to 3. John Judisch, legal counsel for the City, clarified that his understanding is that if a no vote is passed in terms of not approving it then a reason would need to be given but the way the question was phrased it was a motion to deny so in this regard a yes vote is indicating that you do not want it to pass, so those voting yes would need to give a reason given the way the question was worded and approved. So he asked that those that voted yes they need to give their specific reason as to why they voted yes to deny the request.

Reasons lists for voting yes to deny:

Landon: inconsistent with the Comprehensive Plan and spot zoning

Van Vark: very same reasons

Agan: residential and spot zoning

Danks: same as above, residential and spot zoning, unclear application as to what the industrial would do

Haustein: inconsistent with Comprehensive Plan and citizens seems to not want it

Pfalzgraf: spot zoning concern, neighborhood concerns

Vander Molen: stated he is a little confused as he has never been asked to explain his vote so he does not know exactly what the reason is. He thinks the record adequately reflects yes on the motion to deny.

7) Site Plan for Vermeer Corporation (*Yellow Iron Academy Drive*).

Vermeer Corporation is proposing 5,663 square feet of new hard surfacing improvements to the Yellow Iron Academy including a new second drive access. This site which is zoned CC Community Commercial is also targeted for Commercial use in the Comprehensive Plan, Future Land Use map. So the zoning and proposed site plan are consistent with the Plan.

Ann Visser made a motion to approve the site plan. Ervin Van Wyk seconded the motion. Upon vote, all voted yes. Motion carried 10 to 0.

8) Site Plan for Vermeer Corporation (*Plant 1 Parking*). Vermeer Corporation is proposing a new parking lot expansion area for Plant 1. The new parking area would be located to the north of the existing parking area and would include approximately 15,000 square feet. This site which is zoned M2 Heavy Industrial is also targeted for General Industrial use in the Comprehensive Plan, Future Land Use map. So there is consistency between the zoning and the site plan. Ervin Van Wyk made a motion to approve the site plan. Cathy Haustein seconded the motion. Upon vote, all voted yes. Motion carried 10 to 0.

9) Site Plan for Casey's. George Wesselhoft reviewed the staff report: Casey's General Stores is proposing a 41' by 106' convenience store with gasoline sales on 1.17 acres of vacant property. The Zoning is CUC Mixed Use Urban Corridor with Design Review and Gateway Corridor Districts. As far as access, access points would include drive connections to Main Street and Union Street with sidewalk connection by way of Main Street sidewalk or trail. As far as parking, 35 parking spaces are proposed that include 23 spaces for the store and 12 unmarked spaces for the gas canopy area. As far as landscaping, there is a Type A solid screen consisting of fence that is proposed to the adjacent residential use. There is a Type C intermittent screen consistent of trees and tulip plantings proposed adjacent to the street right of ways. The Community Development Committee finalized the design permit approval at their February 17 meeting.

George Wesselhoft further added that as far as staff comments there was a traffic study done as part of this proposal and the City Engineer considered the traffic impacts: Key highlights from this traffic memo include:

- Traffic volume information was used from Iowa DOT 2014 counts as part of the estimated trip distribution.
- Based on the total number of drive-way trips during the most critical time periods (AM and PM hours), no improvements are recommended at either the Union Street or Main Street at the Casey's proposed accesses.
- The traffic study did take into account the closing of the three existing stores (two downtown stores and the Oskaloosa Street store).
- Casey's has revised their access location to meet the traffic engineer's recommendations concerning vehicle access.
- Traffic control will be installed per current Manual on Uniform Control Devices during construction including adjacent roadways and sidewalks/trails with note provided on the Site Plan.

**Recommendation**

Chapter 165.36 (3) (F) requires the Planning and Zoning Commission to make the following findings before approval of the site plan:

1. The proposed development is in accordance with the criteria established in Table 165.36/37-1. For the Commission's review, Table 165.36/37-1 is included in the packet.
2. Any modifications to the site plan are reasonable and the minimum necessary to minimize potential unfavorable effects.
3. The site plan conforms to the Zoning Ordinance and the Comprehensive Plan.

Staff believes the proposed site plan meets the criteria identified in items 1 and 2. In addition, the proposed site plan conforms to the City's zoning ordinance. However, criteria 3 requires the site plan to conform to the City's comprehensive plan. In this particular case, the Comprehensive Plan, specifically the Future Land Use Map, targets this site for low density residential. Therefore, staff does not believe the proposed site plan conforms to the City's comprehensive plan.

As a result, staff is recommending the following alternatives:

1. Conditional approval of the site plan. This option would involve approving the site plan with the requirement that the City's comprehensive plan be amended so the proposed development is consistent with the City's Comprehensive Plan. If the Commission chooses this option, City staff would not issue a building permit for the project until the comprehensive plan was amended so the development is in conformance with the Plan.
2. Table the proposed site plan until the Planning and Zoning Commission and the Pella City Council address amending the Comprehensive Plan.

Mr. Wesselhoft added to point out for the record that although this is not a public hearing the same as a rezoning there were seven known letters submitted including:

- 1) Jim Mansueto
- 2) Kosta and Renee Bastas
- 3) Rhonda Kermode
- 4) Doty Boat
- 5) Michael Robinson

6) Don Andre

7) Adam and Jacqueline Hale

None of the letters are recommending support of the proposal.

Jim Danks asked staff to give staff more detail about number 1 conditional approval of the site plan so the Comprehensive Plan is amended and what is that process.

Mr. Wesselhoft responded that the process to amend the Comprehensive Plan would include public hearings at the Planning and Zoning Commission and City Council as well as resolution approval by the City Council.

Mr. Danks stated that he knows a number of those in attendance are interested and that he asked that only the people that are adjacent to the property speak and they be limited to three minutes.

Mr. Danks asked staff to read the letters received into the minutes.

Mr. Danks clarified that this is not a public hearing and the discussion has to be particular to the site plan.

It was asked by someone in attendance if they can address the two different ways of moving forward from staff.

Mr. Danks responded yes.

Rhonda Kermode asked if they can address the Comprehensive Plan.

Mr. Danks responded the Comprehensive Plan is a guideline not cast in stone and is reviewed every seven years and if you go back and study the history of the Comprehensive Plan there have been suggestions in that Comprehensive Plan that have been there since the first one i.e. Elm Street going west, it is still is not done. The role of the Comprehensive Plan is to allow us to look forward with the aid of RDG.

David Kermode stated he lives right behind the proposed site, this is a very contentious issue in this community and there are 1100 people signed a petition not to do this. His recommendation would be why get involved with that, simply ask not vote on it and send it back to the City Council and have them vet this so they can change the Comprehensive Plan. He does not think you want to incur the displeasure of over 1100 people.

Mr. Danks mentioned the petition for 1100 people spoke to a different site plan.

Joan Haman (707 Union Street) stated that she went out and collected the signatures on that petition and those people that signed that petition, their comments to them were that this is not the proper place for Casey's to build. They were upset due to it did not fit with what Pella was meant to be, our historical aspects of it, it did not look right in that place. She asked the Commission as a committee that they are representing us as a community and you have heard these comments and you are here to support us as a community and is asking that the Commission not allow Casey's to put this plan in our back yards, it doesn't fit in within our neighborhood. It is going to create a lot of noise, site, lighting, traffic issues; all different kinds of things that are going to prohibit them from selling their property. Ms. Haman added that she went across the street to the bank and asked them if their house could be sold and they said they would not give anyone wanting to buy their house a thirty year loan. The only way they would loan someone money for her house would be an ARM loan and it would be locally owned. She is asking to not allow Casey's to build in their back yard.

Renee Bastas mentioned she lives on Independence and they moved here 27 years ago because of the quaint, the character, the City of Pella and now she will have lights 24 hours 7 days a week, they will have noise and all the issues of safety and that plus if they depend on the College, they have students walking up and down and in the night their tear down their bricks and she has reported this to the Police. This is going to become worse because this is what's going to happen.

Ken Haman stated that one of the major deciders of this Comprehensive Plan was quality of life. With Casey's moving in the neighborhood that changes the quality of life and this is a big issue for the community it not only affects us as neighbors but it affects the whole town. We need to get as many eyes as possible on this and handle this so the decision is not just for one person but the majority of town.

Rhonda Kermode stated she lives behind the proposed Casey's property. She does not understand not looking to a recent Plan. One of the things she noticed in the City Code is about nuisances and the Casey's Store could very well be a nuisance with the lights, noise and odor. Anything which makes it unpleasant or not good for you as a neighbor to live there which infringes on your rights to peacefully enjoy your property. Having invested in their property to make it a bed and breakfast, no matter how they dress up the outside it is still a gas station and she doesn't think this is a right place for it. Ms. Kermode added there are a lot of intelligent people in this room and surely we can sit down at the table and come up with a win-win for everyone rather than to instantly push this through and have something that you have to live with for the 20 years that it is there and then have to live with what we do with it after it is gone.

Lauri Nieboer (514 Broadway) stated that she agrees with everything that her neighbors have said. She stated she does not think the new site plan has really addressed the safety issues of children walking down to Union Street with the bus stop, library, pedestrian traffic on the bike path in front of where Casey's is going to be and on Main Street turning into Pizza Ranch. Aesthetically for the community and why people visit Pella is historically we have a beautiful community. One day she was working in the alley raking leaves and a couple came through from Ottumwa and they said they come here as often as they can they love the city it is so beautiful and asked what is going to happen with this property and she responded the proposal is a Casey's will be there and they responded why would they do that, that is going to ruin the look of your town.

Jim Danks responded that the City Engineers have studied both the foot traffic and automobile traffic, they have done projections and their recommendations are as George commented further. The things you bring up are very important as small kids crossing the street regardless of who is there is a danger and they understand that. The professionals have said as it's presented is adequate as it is.

Jim Mansueto stated he has done a lot of research looking at the Zoning Ordinance and wanted to point out areas where he feels this is in violation. Open paragraph 165.18 says the Gateway Corridor District is intended to provide special regulations to assure that new developments along the primary entry corridors into Pella, especially in and near the downtown, respect the existing community character and foster pedestrian-oriented design. He thinks it is a violation there. 165.18 (B) although it has been turned Casey's labels the front of the store as what faces Union Streets parking areas shall be located along the side or rear of buildings, although it has been turned all the parking is in front of the building. 165.24 1b 3, 4, 5 and 6 such use shall not unduly increase congestion in the streets or fire and safety. He referred to the Community Guide to Development Impact done by the University of Wisconsin and supported by the Institute of Transportation Engineers and they say a 1,300 square foot convenience store will add 845 average daily trips to a location so he questions the study.

Jim Danks asked if Mr. Mansueto is questioning the professional City Engineer.

Mr. Mansueto responded in the affirmative that he is and added this is considered a hyper or the largest size convenience store over 4,200 square feet. The last item he has is 165.24 supplemental use regulations number three shall not increase congestion or diminish or impair established property values for surrounding properties and such use shall be in accord with the intent use and spirit of this chapter and the Comprehensive City Plan. That coupled with 1,100 signatures should not only be enough for the Planning and Zoning Commission but also Casey's to pull this application.

Wally Pelds (Pelds Engineering Company) wanted to address any site plan questions and stated they have worked diligently with staff through numerous processes, including trying to get the Board of Adjustment to alter the orientation of their building and also have gone through CDC and addressed all their architectural characteristics and one member mentioned it looks like a small Pella castle, it is a unique one of kind store. They have a unique interest in being here, they have three stores that are extremely tired that need a new place to go and still serve the community on the square. They did a diligent search and have the real estate professional from Casey's in case there are questions about the site search, looking for zoning, going through the Comprehensive Plan. They also have numerous studies safety wise and other information. He would also ask the person that identified they could not get a loan get that in writing because he does not think that would be legal premise to deny a loan because you are next to a Casey's. They went through many iterations through the plan and have one point of contention where they are stating we are not in compliance with the Comprehensive Plan, that they do not meet the Future Land Use Plan. Mr. Pelds started to read from the Comprehensive Plan "where the Plan is designed to be a flexible document that can respond to conditions over the change of time" found on page 8. Then if you look on page 22 of

the Comprehensive Plan in the middle paragraph it says "the future land use map should be interpreted generally and is not intended to provide specificity or rigidity of a zoning map or engineering document. The map should provide guidance for generalized land use locations and transitions. The boundary lines between land uses on the map are fuzzy lines meant to show approximate areas for transition rather than rigid boundaries. Minor variations in land use such as small civic uses on residential blocks are not reflected in the general map but may still be permitted per zoning regulations" so it defines itself as a general guide. If you look on the Future Land Use Map on page 24, this is the scale it prints at, and we are supposed to determine whether it is or isn't. It further goes on to identify that there is a little yellow spot in this block which shows future land use as low density residential which does not comply with the zoning that is in place on it. It also then goes on to show the lot they are working on as a multi-family which is not low density residential and further goes on to then describe a commercial corridor for growth for the City of Pella identified on page 49. If we are using that same metric letter D is the area which encompasses their property which is designated as commercial corridor identified for commercial development for the City of Pella. Typically and he has been doing this for many years, the Comprehensive Plan is used to help to decide whether you are going to change the zoning, their zoning is in place and the site plan addresses everything to staff's and outside consultant's satisfaction to the traffic study, they have complied with all those items. He asked that a third option be added to either vote the site plan up or down and please clarify as to why you are voting up or down. That is it in a nutshell, if you would have any questions about the site plan or storm water.

Cathy Haustein asked if Mr. Pelds was one of the people at the Board of Adjustment meeting. She stated that the people were very clear that if they did not get their variance that they had no plan B and any plan they came forward with would be less safe and that came from their own people and so we need some type of assurance that this is a safe plan first of all. She added she is still not clear how this goes with the Comprehensive Plan. She would prefer low density residential as it says.

Mr. Pelds responded in the Plan itself it is just a future land use map and does not state this specific area.

Ms. Haustein mentioned it is nice dream to have low density residential in the Plan and would be better for her employer Central College.

The Plan also specifically identifies the Casey's on the square as being reused. That is what started this whole thing when they started looking at their locations on the square and closer to the university. The stores are tired, they looked at expanding but the space is not there. They looked at alternatives and this site has the zoning that is required.

Ms. Haustein commented that the zoning was residential before and it can be low density.

What he was pointing out was a specific plan done by RDG showed 48 apartment units on the location that is within the Comprehensive Plan. Again it is a guide. He stated he was not here at the Board of Adjustment but Leanne Krell was.

Ms. Haustein questioned the statement made at the Board of Adjustment meeting concerning that if they did not grant the first plan the alternative they did not have in place would be less safe.

Leanne Krell, Assistant General Counsel for Casey's, responded she did speak that, that when they presented the first plan that the first plan they believed to be the ideal plan, the plan that not only about the neighbors better but also provided better traffic flow for them. At that point that was the only plan they had on the table. When they were denied by the Board of Adjustment, the Chairman several times said they could just turn it this way and be in conformity with the setbacks. They took that to heart, went back turned the building, looked at it, the Engineers looked at it, City Engineers looked at it, they have no concerns with regard to safety, they have done the traffic studies, they have done the studies with regard to pedestrian traffic and the professionals that is what they do tell us it is a safe plan. It was an accurate statement that it would have been then preference for the Board of Adjustment to give us the variances and for them to build the store as first presented. They went back to the drawing board and this is Plan B and based on those comments they adjusted.

Rhonda Kermode stated she wanted to clarify when he was speaking about page 43 of the Comprehensive Plan when he was talking about the larger residential area, she went to one of the planning meetings they had in this building and talked with one of the consultants. As a neighborhood they have been hearing rumors about Casey's for a long time and mentioned this and the consultant said oh no that would not be the appropriate place to put a gas station. So they specifically drew up the plan on page 43 as an example of what would be better for that location. On page 43 they also show transition how you would transition and specifically what should go there. That is something that should be kept in mind.

Michael Robinson mentioned it is important to understand the whole Comprehensive Plan is based on Pella citizens and not necessarily someone who wants to come in here and do business. The experts said it would take six years to fill up Lake Red Rock and it took six days.

Leanne Krell stated she did want to point out that as Wally has indicated that the Comprehensive Plan is a guideline. If you look at the Comp Plan in detail and look at all of its parts it basically says and he pointed out the pages that corridor is supposed to be for commercial growth. It is zoned properly for commercial growth for a Casey's Store at this point. They have done extreme work on all the recommendations that staff has given, that CDC has asked them to do, it is a unique store. They have done everything within their power to make this not only an attractive building but a beautiful building that reflects the intent of the Dutch architecture. The Comprehensive Plan is intended as a guideline, zoning is the law; even if you look at the Comp Plan she would say they are in compliance with the spirit of the Comp Plan as it is part of that commercial corridor. A citizen (name?) asked what is going to happen with the other three Casey's, are they going to remove the gas tanks? What happens if they become empty spaces?

Ms. Krell responded there already have been discussions as to what happens with those sites that are on the square. They have been approached by various people that are wanting to repurpose those and those discussions are continuing. The tanks by regulation are required to be out of the ground within a year. Generally they remove those as quickly as they can afterwards. They have no intent to keep them in the ground, no desire, no purpose to keep them in the ground after they have closed the store. So the two stores on the square and the third one on Oskaloosa once the new store is built those three stores will be closed, the tanks will be removed and those stores will be repurposed as quickly as they can.

Don Andre stated he has two questions: 1) do you live next to a convenience store and 2) why are you trying to push this down our throats when most of the people don't want it.

Jim Danks responded that he does not think those questions are pertinent to the site plan discussion.

Jody Mansueto commented that she did speak with the DNR and she understands that the tanks will be have to be removed but the DNR also stated that because of the age of the existing Casey's that will be shut down there will be contamination in the ground and that anything that goes there will likely not be able to have a basement because of the contamination in the ground. She added that she does not think that will be an issue where those are because those probably will not be homes but a site like this but please look at the Comprehensive Plan, the Comprehensive Plan is an overall plan. It protects communities and neighborhoods from people and businesses with self-interest. So please look at the Plan. There is a high water level in that area. Anyone that lives over there knows there is a stream that is very close to the surface over there and the gentleman at the DNR said that would not be a recommended site for anything like a gas station where you are putting tanks underground. There is going to have to be additional work done to keep tanks underground, they will either have to put in concrete pillars; where they are wanting to put the Casey's it is an issue. She sees it has advantages for Casey's but the only advantages for them in the community is cigarettes, gasoline and beer; otherwise she can get everything they are offering at Dollar General, and for having them there she sees no advantage.

Mike Robinson asked why the City spent \$85,000 of taxpayer money to design a very good Comprehensive Plan; it was done correctly with community input. So if you are going to start granting variances, what happens to the next person the next time; so to him it is a good Plan, it is a Plan agreed upon by many people, so if you are start going to grant variances why have a Plan. He understands it is the future, this is the future. That land over there should not be the location of a convenience store. He added that he grew up in Knoxville and Marion County and those old homes were there for a long time and in 2001 he is a little bit confused, there were houses there so it should have been zoned residential.

Ann Visser asked about the change in 2001 and does anyone remember why that was, in 2001 there was a change in zoning.

George Wesselhoft responded that in 2001 there was a global zoning ordinance update that included both the zoning code and the map and the districts changed all over the jurisdiction both including the CUC District as well as other districts. For example, there was a new Institutional District created whereas before there was not and it was a global update that affected not just this property but City-wide.

David Landon mentioned that he has one comment as he looks at the package it looks to him like there are only two recommendations or two options that were given, any other site plan they are given they typically can approve it, approve it with changes or deny it. In the packet, it does not look like those same options are being given to them and he is curious as to why that is.

Mr. Wesselhoft responded in this case they were looking at that section that came up during the additional legal review that came up under 165.36 but if the question is could there be a motion to denial he would turn that over to legal counsel.

John Judisch, legal counsel for the City, stated the board could move to approve it, could move to approve it with conditions or could move deny it. All three of those are on the table for the board to decide.

Ms. Hausteine questioned why they voted no for the rezoning request based on the Comprehensive Plan and now they might vote differently.

Mike Vander Molen stated to him do you comply with the current zoning the question there was a change for rezoning, this is not a change for zoning; the property owner submitted a site plan for a use that complies with the zoning ordinance. If the zoning ordinance and Comprehensive Plan contrast, the zoning ordinance has to govern otherwise the zoning ordinance is meaningless. He sees those as being very different situations.

Gary Van Vark made a motion for conditional approval of the site plan subject to the fact that the City staff would not be able to issue a building permit until the issues with the Comprehensive Plan are either resolved or amended.

Mike Vander Molen seconded the motion.

David Landon asked for clarification on the motion.

Mr. Van Vark responded that part of that comes up in regards to if is a valid point or not, let legal determine what they dug up is proper or not and enforced and then everything is set to go as is.

Mr. Judisch added that Casey's made a request for the board to either just approve it or deny it and not approve it with condition. As he understands it there is a concern that you might have different people look at it and have a different interpretation and we have a little of that tonight with the Comprehensive Plan and whether it is a guide or vague or a stricter document. Unfortunately their firm holds the opinion that it is more of a plan more of a guide but the City also obtained a second legal opinion that indicates it is stricter, so the holdup then is we have a Comprehensive Plan that identifies this area differently than is what is being requested so City staff is recommending approval if the Comprehensive Plan were changed. Casey's has presented their argument as to why it should not be a hindrance, so some difference of opinion. So the suggestion of City staff is approve with condition to see if the City Council would then vote to amend the Comprehensive Plan. Mr. Judisch asked Casey's legal counsel to confirm whether it is Casey's request for purely an up or down vote rather than a vote with condition.

Ms. Krell responded that it is their preference that the vote be a clear up or down vote and not an approval with condition simply because they have had several different legal opinions back and forth and believes the document speaks for itself, it says it is a guideline. It says several times in there it is a guideline. Although the City has obtained opinion that says it is guideline and one that says it is more stringent there is no opinion that says it should be viewed superior to an ordinance. They would ask that it is voted up or down so they know what to do at this point, so that there is not an anomaly in the future as they are under a limited time contract and there is no guarantee that the City will move forward with any amendments or changes and the reason they are asking for the up or down vote is because of the ambiguities they have been discussing and so let us make this clear and that would be their request.

Mr. Van Vark asked why should this condition consume much time.

Mike Nardini, City Administrator, responded that their recommendation came from the City Code, 165.36(3)(F) that requires site plans in conformance with the City's Comprehensive Plan and Zoning Ordinance and they thought this was the safest way to go under the City Code, address the Comprehensive Plan by both Planning and Zoning Commission and City Council. If that is the way the Commission votes tonight they would move expediently in this matter and as quickly as possible in addressing the City's Comprehensive Plan.

There was further discussion about the motion and options. George Wesselhoft clarified with the Commission that the motion is conditional approval of the site plan per no. 1 in the staff report to which the Chairman responded in the affirmative.

Upon vote, Van Vark, Vander Molen, Agan, Danks voted yes. Hausteine, Landon, Pfalzgraf, Van Wyk, Visser and Vos voted no. Motion failed by vote of 4 to 6.

Reasons listed for voting no:

Hausteine: No one wants it, does not understand why the zoning and Comprehensive Plan do not coordinate

Landon: Opposition, does not comply with the Comprehensive Plan

Pfalzgraf: If the neighbors don't want it we should take strong consideration in that

Van Wyk: Because of the Comprehensive Plan

Visser: Because of obvious opposition, and somebody mentioned working together to come up with a solution

Vos: All the reasons listed above.

- 10) Other Business. George Wesselhoft mentioned some items including the recent bypass sign ordinance that was denied by the Planning and Zoning Commission, that ordinance was tabled at City Council in the interest to facilitate discussion with the CDC and P&Z because they had the unusual situation of a split vote where CDC unanimously approved it while P&Z unanimously denied it, which is a very rare situation. He stated there would be a joint meeting in the near future on that to discuss that further. Also he mentioned also there is an Ad Hoc Gateway Corridor Committee that is looking specifically at single and two family residential construction in the gateway corridors of Main Street and Washington Street with new representation including Ann Visser from the Commission. One of their recommendations could be code changes for construction that could come before the Commission as an amendment. Also, Mr. Wesselhoft added that at the March 28 meeting the Historic Preservation Commission recommended framework ordinance will be another upcoming item.

Teri Vos asked concerning item no. 5 if the members that voted no could say why they voted no to the motion.

John Judisch, legal counsel for the City, responded that the way the question was phrased a yes resulted in it not passing, in essence a yes was voting against.

Ann Visser mentioned they were not in favor of the entire expansion but the idea was presented that it could be done with the stipulation that it just be for the one building that is currently there.

Cathy Hausteine stated she did not vote for it because she did not understand why it was not grandfathered in already.

Mike Vander Molen questioned on the last matter there was a motion that died why is there not more motions as at no point did they deny the site plan?

John Judisch responded at this point it didn't pass and the vote was taken.

Mr. Vander Molen stated they did not vote down the site plan. Does it have to be approved or denied?

Mr. Judisch responded that the motion was made to approve that failed, that in essence takes care of it; because you have a motion to approve that failed.

Mr. Landon stated they still have conflict between current zoning and the Comprehensive Plan and is there a mechanism to modify the current zoning to be in agreement with the Comprehensive Plan?

Mr. Vander Molen stated rezonings are usually voluntary by the parcel, that is how these things take years to change and when they get a rezoning request you look at the Comprehensive Plan, when you get a use that complies with the Zoning Ordinance rarely do you have to look at the Comprehensive Plan because you have everything you need. Zoning Ordinance tells you what is in effect today and the Comprehensive Plan tells

you where you might want to go. This was a site plan that complied with the current ordinance, this was not a rezoning change. Is that right George, is that is how we have made those two jive?

George Wesselhoft responded that it is true there has been a greater emphasis with respect to rezonings as with the first case this evening but in light of the legal review it something that needs to be addressed in some fashion.

Mr. Vander Molen questioned are rezonings ever done without the request of the property owner.

Mr. Wesselhoft responded specifically for rezonings there are two options: City initiated rezoning or property owner themselves making the petition, there is not another option.

Mr. Judisch added that in this particular case you have Pella City Ordinance 165.04 and that is the concern that the site plan has to conformity to the Comprehensive Plan which in this case it does not. Now Casey's have a different perspective, and there is another perspective from another attorney that is more inclined that the Comprehensive Plan is more strict.

Mr. Landon stated his life with standards and codes is that you can have a guidelines but if that guideline is invoked by law then it becomes law. Mr. Judisch responded he is not so sure he would agree, if you adopt codes such as building codes you then incorporate into the City ordinance. In this case, our view of the Comprehensive Plan is it is more a guide where things may or may not go in the future not set in stone but with your own City ordinance you have a Statute that states in order to approve the site plan it must be consistent with the Comprehensive Plan. Therefore it is their view in order to remedy that the City Council if they so choose would then have to modify the Comprehensive Plan to fit the site plan that was recommended by City staff.

Mr. Landon stated it could be the other way around, the City could modify the current zoning to agree with the Comprehensive Plan and that option really was not given in the options.

Mr. Judisch stated the purpose of tonight was to look at the site plan and see if the Board wanted to approve it and the site plan obviously was presented by Casey's because they are wanting it to go in, and that by changing the zoning to fit the Comprehensive Plan it would probably prevent Casey's from doing it, you are not going to be given another option that is the reverse when either voting yes or no would address the issue.

Mr. Wesselhoft further reviewed for the meeting on the 28<sup>th</sup> there will be the recommendation from the Historic Preservation Commission which will be a framework regulatory ordinance, also a site plan application from Marc Vande Noord for a multi-family development proposed at the intersection of E. 8<sup>th</sup> Street and Vermeer Road which is targeted for Preserve even though the zoning is R3 and has been for years. Also another Comprehensive Plan amendment as follow up to the Missouri River Energy Services. In both cases the properties are targeted for Preserve. There may be others as there is still time for applicants to submit applications.

11) The meeting was adjourned at 8:30 p.m.

Respectfully submitted,  
George Wesselhoft  
Planning and Zoning Director

#### d. Building Code Board of Appeals for July 15, 2015.

Building Code Board of Appeals  
Meeting Minutes  
July 15, 2015

1.) Call to order

The meeting of the Building Code Appeals Board was called to order at 12:00 p.m. on July 15, 2015 in the Public Works Conference Room at 100 Truman Road, Pella, Iowa 50219.

2.) Roll Call

Members Present: Jim Corbett, Brent Lanser, Dave Gritters, Julio Chiarella

Members Absent: No members were absent.

Others Present: Jerry Byers, George Wesselhoft, Dwaine Meyer, Dave Meyer.

3.) Election of Officers

Jim Corbett nominated Brent Lanser as chairperson. Dave Gritters seconded the motion. Upon vote, motion passed.

4.) Approval of the Minutes – December 4, 2014

The December 4, 2014 Building Code Board of Appeals minutes were approved as submitted.

5.) New Business

*Property Maintenance at 830 Main Street, Pella, Ia.*

Jerry Byers gave some background to the Board concerning the property at 830 Main Street, Pella, Iowa. He informed the Board that a property maintenance letter had been sent to the owner concerning a leaking roof. The owners are asking for more time due to the rainy spring with roof contractors behind schedule.

Julio Chiarella asked if there had been damage done inside the building.

Dwaine Meyer stated he did not know of any damage inside the building

Mr. Byers informed the board that staff started the process of property maintenance against the structure after having received a complaint.

Brent Lanser asked what the nature of the complaint was.

Mr. Byers told the board that the roof was leaking due to roofing material peeling back the front wall and holes places in the roof. He continued by stating that it was an asphalt roof and the neighboring roof is a membrane system.

Discussion ensued about how the building was split between neighbors.

Mr. Corbett asked if there was an active leak in the roof and weather there was an issue with water on the neighbors half of the structure.

Mr. Lanser asked if they had secured a contractor.

Mr. Meyer said they had received a couple of bids.

Mr. Lanser asked how much time they thought they would need.

Mr. Meyer indicated they would like an additional 90 days.

There was concern among the Board on whether or not 90 days would be enough time to come and completion and there was talk concerning adding an additional 30 days for a total of 120 days from the date of the meeting.

Dave Gritters made a motion to grant 120 days to come into compliance for the project from the date of the Board meeting. He continued that if a water issue manifests itself with the neighbors that appropriate action is taken to fix the concerns of the neighbor and to address the issues immediately.

Brent Lanser second the motion.

Upon vote, motion passed 4 to 0.

6.) Adjournment

The Building Board Code of Appeals meeting was adjourned at 12:30 p.m.

Respectfully Submitted,

Jerry Byers, Building Official

e. Library Board Minutes for March 8, 2016.

PELLA PUBLIC LIBRARY  
Board of Trustees Meeting  
March 8, 2016

I. Call To Order: President Rebecca Manifold called the meeting to order at 5:08 p.m. Board members present were: Alli Bogaard, Kenny Nedder, Praveen Mohan, Jane Koogler, John Evenhouse and Mary Barnes. Library Director Wendy Street was present

II. Recognition of Visitors and Visitor Comments: None

III. Approval of Agenda: There were no changes to the agenda. The agenda stood as approved.

IV. Disposition of Minutes: All Board members received the February minutes prior to the meeting. The minutes state that board members received "November" minutes. The board amended that to read "January" minutes. Kenny moved to approve the minutes. Praveen seconded the motion. The minutes were unanimously approved.

V. Approval of Bills: All Board members received the March list of bills prior to the meeting. The Board discussed the bills and questions were answered. All moved to approve the bills. Jane seconded the motion. The bills were unanimously approved.

VI. Unfinished Business: None

VII. New Business:

Food for Fines during National Library Week (April 11-16) – the library will forgive fines to patrons who bring in non-perishable goods during the week of April 11-16. The new system will be able to track what fines were forgiven in this manner. Rebecca moved to approve. John seconded the motion and it carried.

VIII. President's Report and Announcements: None

IX. Director's Report:

A. Children's programs

Katie has been on FMLA leave since Feb. 29. Wendy is unable to share Katie's medical issues due to HIPPA, however she will be returning next week. We have cancelled most of the programs she had planned for March, but we will hold the ones we are able to staff.

B. Back up Internet

Here are the costs from Verizon for a 4G plan to use as a backup to our Mediacom internet connection:

| Mobile Broadband Machine-to-Machine (M2M) Share Group 1 Plans - Low Usage  |  |              |               |               |                 |
|--|--|--------------|---------------|---------------|-----------------|
| The calling plans below reflect the monthly access charge discount. No additional discounts apply.   |  |              |               |               |                 |
| Domestic Shared Data Allowance Per Month   | 1 MB (87660)   | 5 MB (87661) | 25 MB (87662) | 50 MB (87663) | 150MB (87664)   |
| Monthly Access Charge  | \$5.00   | \$7.00       | \$10.00       | \$15.00       | \$18.00         |
| Overage Rate Per Megabyte  | \$1.00   |              |               |               |                 |
| National Access Roaming  | \$0.002 per Kilobyte(Canada)/\$0.005 per Kilobyte (Mexico) |              |               |               |                 |
| Mobile Broadband Machine to Machine (M2M) Share Group 2 Plans - High Usage   |  |              |               |               |                 |
| Calling plans with a monthly access fee of \$34.99 and higher are eligible to receive a 23% monthly access charge discount.  |  |              |               |               |                 |
| Domestic Data Allowance Per Month  | 250 MB (87665)   | 1 GB (87668) | 5 GB (87671)  | 10 GB (87673) |                 |
| Monthly Access Charge  | \$20.00  | \$25.00      | \$50.00       | \$38.50       | \$80.00 \$61.60 |
| Overage Rate Per Megabyte  | \$0.015  |              |               |               |                 |
| National Access Roaming  | \$0.002 per Kilobyte(Canada)/\$0.005 per Kilobyte (Mexico) |              |               |               |                 |
| Note: Machine to Machine coverage included the Verizon Wireless 4G, 3G and 3G Extended networks. See attached Calling Plan and Feature Details for important information about calling plans, features and options. Government Subscribers may supply their own authenticated Equipment (GPE) approved by Verizon Wireless to be activated on these plans. Netbook, Smartphone, and Tablet devices are not eligible for Mobile Broadband M2M pricing. 4G service requires 4G Telemetry equipment and 4G coverage. All terms and conditions of the Agreement apply to M2M service and M2M Lines as a Wireless Service. Customer may select either the Account Share or Multi-Account Share option on the Mobile broadband Machine-to-Machine (M2M) Share Plans. |  |              |               |               |                 |

There would also be a startup cost associated with purchasing a 4G receiver, and the cost of cabling to get an antenna from the basement to where we could get a signal. Wendy estimates this to be around \$800-\$1500. With a plan like this, we could drop our LISCO connection (which is \$82 a month). LISCO has not been easy to work with especially regarding our e-rate payments. Staff would like to pursue this option. Staff will research other plans to come up with some competitive bids. Chris is researching how much data we use in order to help us determine what plan would be appropriate to purchase, and how often, if ever, our Mediacom internet connection has "gone down".

C. State funding

We have received our state funding for FY15/16. It totals \$14,950.43 and must be spent by June 30. Wendy is required to file the report on how it was spent by July 31, although she only has to report on the Enrich Iowa funds (\$3,291.56.) This money must be spent on infrastructure, technology, materials, etc. It cannot be spent on any on-going cost the library incurs such as wages or electricity. There was a spreadsheet in our packets outlining the already encumbered funds totally \$6228.95. Wendy and the staff came up with some ideas for the remaining \$8721.48. The board approved of proceeding with the recommended purchases (replacing desk receipt printers, 2-D scanners for circulation desk, Laptop Bar, Bluetooth scanner, hardware/cable for 4G internet, and materials).

D. Customer survey

Our Plan for Service calls for us to do a customer survey in 2016 and we have previously determined that April is the best time to do so. There was a draft of a survey and questions included in our packets. The board discussed the suggested questions and other topics the board would like covered in the survey. Wendy will make a new draft and share with the Board. We hope to get this survey out in April.

We will use an online tool (Survey Monkey or something similar) to gather the data. We will email a link to all cardholders via Symphony, have a link on our web page, and have paper forms in the library and at City Hall.

Building and grounds

- Laptop bar. Iowa Prison Industries finally admitted that they have never started our laptop bar and aren't going to get to it any time soon. We hunted up an alternative that is ready made (and cheaper!) and ordered it from a library vendor. We ordered two, for a total of 8 seats, and they have a white board surface.
- Work is progressing on the Quiet room. Drywall went up this week!

E. Staff activities

Assistant Director: This month, Chris continued to monitor the new SirsiDynix Symphony ILS and circulation activities, troubleshooting and submitting trouble tickets to SirsiDynix when necessary. He is working on customizing various Symphony reports to increase efficiency and productivity.

Director: Wendy worked procedures and staff training for Acquisitions and Collections, weeded in the 600s, obtained bids for maintenance on the staff copier, spoke to Rotary, and cataloged a lot of donated DVDs.

F. Upcoming events

- Story time is offered every Saturday at 10:30 a.m. Saturday story time is suggested for ages 3 and up with parents.

- March 8 at 4 p.m.: Girls LEGO Club for girls in grades K and up. Sign up is required and limited to 20. Sign up at the Circulation Desk.
- March 17 at 10:15 a.m.: Genealogy Club in the meeting room.
- March 18 at 10:00 a.m.: Morning Movie.
- March 22 at 6:30 p.m.: Family Program. It might be cold for a campfire outside but we can pretend inside! We will share stories in front of the “fire”. Families are encouraged to bring a blanket.
- March 23 at 2:00 p.m.: Afternoon Movie.
- March 25: Library closed for Good Friday.
- March 27: Library closed for Easter.
- March 31 at 12:00 noon: The Brown Bag Book Club will discuss *The Wind is Not a River* by Brian Payton.
- The next Friends of the Library book sale will be April 8-18 in the library meeting room.

X. Committee reports:

- Governance and Policy Committee: Review of General Policy Statement and Revision of the Displays Policy: Praveen moved to approve the additional bullet under “Display Cases”. Jane seconded the motion and it carried.

XI. Adjournment: President Rebecca Manifold adjourned the meeting at 6:06 p.m. The next regularly scheduled Board Meeting is scheduled for April 12, 2016 at 4 PM.

### 3. Petitions and Communications

#### a. Special Event—Union Vacation Bible School Registration Carnival.

SUBJECT: Special Event Permit Request for Union Vacation Bible School Registration Carnival

DATE: April 19, 2016

BACKGROUND: Charlee Eekhoff has requested a special event permit to hold the annual Union Vacation Bible School Carnival on Wednesday May 11, 2016 in Central Park. The carnival would run from 6:30-8:00 p.m., with setup starting at 5:30 p.m. and take down until 9:00 p.m. Rain date is Saturday, May 14 from 10:30 a.m.-12:00 p.m., with setup starting at 9:30 a.m. and take down ending at 1:00 p.m.

The purpose of the event is to promote and register children for Bible school this summer. In addition, there will be simple carnival games.

The fee has been paid and the insurance certificate is on file. All pertinent City Departments have reviewed this application, and staff recommends approval.

ATTACHMENTS: Application, Department Comments

REPORT PREPARED BY: Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve special event permit.

#### b. Special Event—Tulip Time Flight Breakfast.

SUBJECT: Special Event – Pella Municipal Airport Tulip Time Flight Breakfast

DATE: April 19, 2016

BACKGROUND: The Pella Airport Committee is requesting a special event permit for “Pella Municipal Airport Tulip Time Flight Breakfast”. In conjunction with this event, the airport hosts an open house. Typically, 500-1,000 people attend this event each year.

The Tulip Time Flight Breakfast will be held Saturday May 7, 2016, from 7:00-10:00 a.m. on the Pella Municipal Airport property. Setup will begin Friday, May 6 at 5:00 p.m. and take down will be May 7 until 11:00 a.m. All pertinent City Departments have reviewed this application, and staff recommends approval.

ATTACHMENTS: Application and Department Comments

REPORT PREPARED BY: Administrative Accounts Clerk

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve Special Event Permit.

#### c. Special Event—Red Rock Threshers.

SUBJECT: Special Event – Red Rock Threshers Tractor Pull

DATE: April 19, 2016

BACKGROUND: Bob Vander Wilt has requested a special event permit for the Red Rock Threshers Tractor Pull. The event is scheduled to be held on June 4, 2016 on the City’s property located east of Geetings by the intersection of South Prairie Street and Truman Road. The event permit hours are from 8:00 a.m to 8:00 p.m. The insurance certificate has been received and fees have been paid. All pertinent City Departments have reviewed this application, and staff recommends approval.

ATTACHMENTS: Application and Department Comments

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve Special Event Permit.

### 4. Administration Reports

#### a. None

## **D. \*PUBLIC HEARINGS**

(Statutory rule may be waived and ordinance passed without further readings.)

1. a. Public Hearing on Proposed Amendments to the 2014 Pella Comprehensive Plan. No written comments were received. Oral comments were addressed. Jim Mansueto presented Council with research from the Comprehensive Plan. Councilmember Schiebout moved to enter the information into the record,

seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. Councilmember Schiebout moved to close the public hearing, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Amendments to the 2014 Pella Comprehensive Plan

DATE: April 19, 2016

BACKGROUND:

The City of Pella is proposing amendments to the Future Land Use Map of the Comprehensive Plan for rezonings which have been approved since the 2014 Comprehensive Plan update. It should be noted, when the rezonings were approved by the Planning and Zoning Commission, there was direction to also amend the Future Use Land Map. As a result, this amendment is necessary to update the Future Use Land Map for the rezoning of various properties which have been previously approved by the Planning and Zoning Commission and the Pella City Council.

Included are the following:

- 1) Missouri River Energy Services for rezoning to amend the Future Land Use Map from Preserve to Light Industrial (Ordinance 900, approved 8-8-15)
- 2) Russ Van Wyk for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 901, approved 9-15-15)
- 3) Alan and Karla Morrison for rezoning to amend the Future Land Use Map from Medical and Assisted Living to High Density Residential (Ordinance 902, approved 9-15-15)
- 4) Marc Vande Noord for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 903, approved 11-17-15)

The Planning and Zoning Commission approved these amendments at their March 28, 2016 regular meeting.

ATTACHMENTS: Resolution

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDATION: Approve resolution.

1. b. Resolution No. 5679 entitled, "A RESOLUTION PROPOSING AMENDMENTS TO THE 2014 PELLA COMPREHENSIVE PLAN". Councilmember Schiebout moved to table this item until further clarification from staff can be provided, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

## **E. PETITIONS & COMMUNICATIONS**

1. Special Event—Street Performers. Councilmember De Jong moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: De Jong, Vander Beek, Van Stryland, Schiebout, Peterson, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Special Event Permit Request for Street Performers in the Downtown

DATE: April 19, 2016

BACKGROUND:

The Pella Chamber of Commerce has requested a special event permit to allow street performers in the downtown area on Friday nights from 3-7 p.m. and on Saturdays from 11:00 a.m. to 6:00 p.m. for the time period of April 22, 2016 through December 24, 2016. This request has a slight change of hours from last year when the hours were Friday nights from 5-7 p.m. and on Saturdays from 11:00 a.m. to 4:00 p.m.

In the past, the location for the street performers was the Klokkenspel Plaza and the area abutting the Information Windmill on the square. This year, the request, in addition to the Klokkenspel Plaza and the Information Windmill area, includes in front of the stores on the 600 and 700 blocks of Franklin Street.

As background, the street performers were first allowed in 2014. The Chamber feels the performers enhance the ambiance of the downtown area. All pertinent City Departments have reviewed this application and comments are attached. The appropriate fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Application, Department Comments

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

RECOMMENDED ACTION: Approve special event permit.

2. a. Special Event-Many Hands for Haiti Color Blast 5K. Councilmember Vander Beek moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Vander Beek, Schiebout, Peterson, De Jong, Bokhoven, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Special Event Permit Request for MH4H Color Blast Fun Run (5K)

DATE: April 19, 2016

BACKGROUND: Many Hands for Haiti (MH4H) has requested a special event permit for the "MH4H Color Blast 5K" to be held on Saturday, September 24, 2016. The proposed run would take place from 9:00-11:00 a.m. with set-up starting at 6:00 a.m. and take-down until 11:00 a.m. The 5K event would start and end at the Mango Tree using the same route as last year. Along the route, MH4H plans to have color stations where runners will have a different colored powder thrown at them. The MH4H Color Blast 5K is holding this event to help raise funds for and awareness of their ministry for Haiti.

As a part of this event, a resolution has also been requested that closes several streets. They are listed below:

1. 700 Block of Main between Franklin and Liberty from 6-11:30 a.m.

The following streets have been requested to be closed from 7:00 a.m. to 1:00 p.m.

2. Liberty Street from W 4<sup>th</sup> to E 2<sup>nd</sup> and E 3<sup>rd</sup> to Hazel.
3. W 3<sup>rd</sup> from Franklin to Peace.
4. Franklin from W 4<sup>th</sup> to W 3<sup>rd</sup> and E 2<sup>nd</sup> to Van Lint.
5. Independence from W 4<sup>th</sup> to Broadway.
6. W 4<sup>th</sup> from Franklin to Liberty and Independence to Peace.
7. Peace from W 4<sup>th</sup> to W 3<sup>rd</sup> and Broadway to Farmer.
8. Broadway from Independence to Peace.
9. Farmer from Peace to Morningside.
10. Morningside to Union.
11. Union to Liberty to Pella Christian Grade School north to Franklin.

The fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Department Comments, Map

REPORT PREPARED BY: City Hall Staff

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve Special Event and Resolution.

2. b. Resolution No. 5680 entitled, "A RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS "MANY HANDS FOR HAITI COLOR BLAST 5K". Councilmember Vander Beek moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Vander Beek, De Jong, Bokhoven, Van Stryland, Schiebout, Peterson. NAYS: None. Motion carried.

## **F. PLANNING AND ZONING ITEMS**

NONE

## **G. ADMINISTRATION REPORTS**

1. Set Public Hearing Date for FY 15-16 Budget Amendment. Councilmember Van Stryland moved to approve, seconded by Councilmember Peterson. On roll call the vote was: AYES: Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek, Schiebout. NAYS: None. Motion carried.

SUBJECT: Requesting Council to Set May 17, 2016 as the Public Hearing Date for Amending the FY 15-16 Annual Budget

DATE: April 19, 2016

BACKGROUND: Staff requests permission to set May 17, 2016 as the public hearing date for amending the FY 15-16 Budget.

The reason for the amendment is to adjust timing differences for capital improvement projects and to adjust accounts that may be over/under funded. All adjustments will be covered by additional revenues or existing funds. Therefore, there will not be an increase in taxes or fees as a result of the amendment.

ATTACHMENTS: None

REPORT PREPARED BY: Finance Director

REPORT REVIEWED BY: CITY CLERK

CITY ADMINISTRATOR

RECOMMENDATION: Set May 17, 2015 as the Public Hearing Date for Amending the FY 15-16 Budget.

## **H. RESOLUTIONS**

1. Resolution No. 5681 entitled, "RESOLUTION ORDERING SPECIFICATIONS, FORM OF CONTRACT, NOTICE TO BIDDERS, SETTING THE PUBLIC HEARING, AND AUTHORIZING THE TAKING OF BIDS AND AUTHORIZING BID OPENING IN CONNECTION WITH FURNISHING UNDERGROUND ELECTRIC MATERIALS FOR THE CITY OF PELLA." Councilmember Vander Beek moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Resolution Ordering Specifications, Form of Contract, Notice to Bidders, Setting the Public Hearing, and Authorizing the Taking of Bids and Authorizing Bid Opening in Connection with Furnishing Underground Electric Materials for the City of Pella.

DATE: April 19, 2016

BACKGROUND: This resolution sets the public hearing date as May 2, 2016 and authorizes the taking of bids for primary power cable, secondary cable, transformers, box pads, and street lights to be used in conjunction with the West Central Underground Conversion Project. The area of the City associated with the project is the Central College area, bounded by Washington Street and University Street, between W. 1st Street and W. 5th Street. This project involves converting the existing 4.2 kV overhead distribution system to a 12.5 kV underground distribution system. By increasing voltages and placing the existing electric distribution line underground, reliability in this area will improve. As with past conversion projects, a contractor will install the underground conduit system and set the primary transformer pads, and City staff will install the primary and secondary cables. It should also be noted, there will also be homeowner expenses associated with this project as the homeowner will be responsible for connecting to the new electric underground lines. Depending on the customer's existing service, this cost could vary from a nominal amount up to \$1,000.

Critical dates have been identified as:

April 26, 2016 - Bid Opening at 1:30 p.m. at City Hall

May 2, 2016 - Public Hearing at 7:00 p.m.

The material will be bid in six (6) separate bids with the estimated cost as follows:

Description

|                                       |           |
|---------------------------------------|-----------|
| Bid No. 1 – 15 kV Primary Power Cable | \$ 30,000 |
| Bid No. 2 – 600V Secondary Cable      | 27,100    |

|   |                  |
|---|------------------|
| Bid No. 3 – Single Phase Padmount Distribution Transformers | 35,150           |
| Bid No. 4 – Transformer Box Pads                            | 8,550            |
| Bid No. 5 – Street Light Poles                              | 29,400           |
| Bid No. 6 – Street Light Luminaires                         | 10,500           |
| <b>TOTAL</b>  | <b>\$140,700</b> |

The City's portion of the project is tentatively scheduled to be completed in the fall of 2016. The estimated cost of this project is \$628,100 and will be funded through electric utility service revenues.

ATTACHMENTS: Resolution, Bid Specifications  
 REPORT PREPARED BY: Electric Department  
 REPORT REVIEWED BY: CITY ADMINISTRATOR  
 CITY CLERK  
 RECOMMENDED ACTION: Approve resolution.

2. Resolution No. 5682 entitled, "RESOLUTION TO APPROVE AMENDMENTS RELATING TO THE MISSOURI BASIN MUNICIPAL POWER AGENCY D/B/A MISSOURI RIVER ENERGY SERVICES PELLA POWER SALE AGREEMENT AND ASSOCIATED TRANSMISSION AGREEMENTS". Councilmember Schiebout moved to approve, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Schiebout, Vander Beek, Van Stryland, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Amendment #1 to Power Supply Agreement with Missouri River Energy Services and Western Minnesota Municipal Power Agency

DATE: April 19, 2016

**BACKGROUND:**

This resolution approves Amendment #1 to the City's power supply agreement with Missouri River Energy Services (MRES) and the Western Minnesota Municipal Power Agency (WMPA). The reasons for the amendment are to address the significant changes that have occurred in the way power is contractually delivered from MRES to the City of Pella. Listed below is an overview of the key terms of the proposed amendment.

**Power Supply Delivery to the City of Pella**

In the fall of 2015, the Western Area Power Administration (WAPA) joined the Southwest Power Pool (SPP), which is a Regional Transmission Organization (RTO). As a result, MRES is no longer able to deliver power and energy via a contractual path from WAPA to the City of Pella as identified in our current power supply contract. Rather, power resources are now contractually delivered via a financial transaction from the Midcontinent Independent System Operator (MISO), which is our RTO. Since power supply is no longer delivered via a contractual path, changes are necessary to our current power supply agreement to align with how power is contractually delivered to the City of Pella.

Enclosed for Council's review is a summary of Amendment #1 prepared by MRES. This document is intended to provide a high level overview of our power supply delivery and the various changes associated with Amendment #1.

**Term of the Proposed Agreement**

MRES is proposing an eleven year extension of our current power supply agreement. The proposed term is from January 1, 2017 to January 1, 2057. The reason for the extension is to accommodate the financing needs of our power supply provider. It is staff's understanding in order for MRES and WMPA to retain a strong credit rating, it is beneficial for them to have power supply contracts with their members with remaining terms between 25 to 40 years. In addition, long-term agreements also allow MRES the necessary security to plan for future generation needs for its members.

**Termination of the Transmission Service Agreement**

This resolution approves Amendment #1 to the City's current transmission service agreement with MRES and WMPA. The amendment in effect terminates our transmission service agreement as of January 1, 2017. The reason for the termination is the amended power sale agreement now contains the necessary provisions to provide transmission services to the City of Pella's delivery points. In addition, the annual transmission revenue currently collected under the existing transmission service agreement will now be collected under the power sale agreement.

**Termination of the Midwest ISO Market Implementation Agreement**

This resolution approves Amendment #1 to the City's current Midwest ISO Market Implementation Agreement with MRES and WMPA. The amendment in effect terminates our current market implementation agreement as of January 1, 2017. The reason for the termination is the amended power sale agreement now contains the necessary provisions to provide market services to the City of Pella, hence making our current agreement no longer necessary.

**Summary**

The City of Pella is nearing our five year anniversary as a member in Missouri River Energy Services. From staff's standpoint, we have been extremely pleased with our membership. In addition, we believe MRES is a vital component in managing our electric utility. Therefore, we are recommending approval of this resolution.

Finally, the Bradshaw Law Firm has reviewed the proposed amendment to our power sale agreement for legal compliance.

ATTACHMENTS: Resolution; Amended Power Supply Agreement; Amendment #1 to the Transmission Service Agreement; Amendment #1 to Midwest ISO Market Implementation Agreement; MRES Amendment Summary

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR

CITY CLERK

BRADSHAW LAW FIRM

RECOMMENDATION: Approve Resolution

3. Resolution No. 5683 entitled, "RESOLUTION ORDERING CONSTRUCTION OF CERTAIN PUBLIC IMPROVEMENTS, AND FIXING A DATE FOR HEARING THEREON AND TAKING OF BIDS THEREFOR". (Water System Improvement Division 3: RO Waste and Raw Water Main Project) Councilmember Peterson moved to approve, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Peterson, Schiebout, De Jong, Bokhoven, Vander Beek, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Resolution Ordering Construction of Certain Public Improvement, and Fixing a Date for Hearing, and Taking of Bids for the Water System Improvements Division 3: RO Waste and Raw Water Main Project

DATE: April 19, 2016

BACKGROUND: This resolution establishes June 7, 2016 as the public hearing date and authorizes staff to seek bids for the Water System Improvements Division 3: RO Waste and Raw Water Main Project. The project generally consists of furnishing all labor, materials, and equipment needed for the installation of approximately 4,700 linear feet of 12-inch PVC RO waste line and 8,800 linear feet of 12-inch PVC raw water main including valves, fittings, and appurtenances and associated surface restoration. The new water main runs from the new Jordan Well on Idaho to the Water Treatment Plant and the new RO Waste line runs from the old Howell pump station at the bottom of the hill on 198<sup>th</sup> Pl to the new outlet at the Des Moines River.

As Council is aware, these proposed improvements are a key component of the City's long-term water supply plan, which is intended to meet the community's supply and treatment needs through the year 2037. Overall, the plan includes a new 3.0 million gallon per day (MGD) reverse osmosis (RO) treatment process, an additional Jordan Well and new water main, and improvements to the existing lime softening treatment plant. The estimated cost of the plan is \$16 million, and the tentative completion date for the plan is the fall of 2017.

If Council approves this resolution, critical dates for the project are as follows.

Bid Opening - May 24, 2016  
Public Hearing - June 7, 2016  
Issue Notice to Proceed - June 22, 2016  
Substantial Completion - Dec 30, 2016  
Final Completion - April 28, 2017

The Engineer's estimate for this project is \$1,450,000.

If approved, funding for the proposed project would be a twenty year loan from the State Revolving Fund with an approximate interest rate of 2%. If Council proceeds with the project, necessary water rate increases will be evaluated on an annual basis. However, at this time, staff believes rates may need to be increased an additional 23% over the next three years to fund the projected debt service for the project. For the typical residential household, this would mean an increase of approximately \$7.00 per month once the rate increases are fully phased in.

ATTACHMENTS: Resolution  
REPORT PREPARED BY: City Administration  
REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK  
RECOMMENDED ACTION: Approve resolution.

4. Resolution No. 5684 entitled, "RESOLUTION APPROVING CHANGE ORDER #3 WITH C.L. CARROLL CO., INC. FOR CONSTRUCTION OF A NEW JORDAN WELL". Councilmember Schiebout moved to approve, seconded by Councilmember De Jong. On roll call the vote was: AYES: Schiebout, De Jong, Bokhoven, Vander Beek, Van Stryland, Peterson. NAYS: None. Motion carried.

SUBJECT: Resolution Approving Change Order #3 with C.L. Carroll Co., Inc.

DATE: April 19, 2016

BACKGROUND:

On December 16, 2014, the City Council awarded a construction contract to C.L. Carroll Co., Inc. in the amount of \$2,322,000 for construction of a new Jordan Well for the City's water utility.

C.L. Carroll and the City's engineer Howard R. Green are requesting approval of Change Order #3, which will increase the City's construction contract for the new Jordan Well by \$9,782.10 with no extension of completion dates. Listed below is a summary of the requested change order:

**Item Description:**

Adjust bid quantity of 7" PCC paving to match actual installed quantities. Bid quantity was established on Sheet C-03 (upper right portion of drawing) as "7" PCC Paving = 1252 SY" quantity. The installed quantity was 1522 SY, not 1252 SY. This is an increase of 270 SY at an agreed upon unit cost of \$36.23/SY for a total contract price increase of \$9,782.10.

**Staff's Recommendation**

Due to the fact that the additional concrete was needed for the project, Howard R Green and staff are recommending approval of Change Order #3 in the amount of \$9,782.10.

**Contract Summary**

If Council approves Change Order #3 as recommended, listed below is a contract summary:

|                                     |                       |
|-------------------------------------|-----------------------|
| Original Construction Contract      | \$2,322,000.00        |
| Change Order #1                     | 0.00                  |
| Change Order #2                     | 24,196.61             |
| Change Order #3                     | 9,782.10              |
| Total Revised Construction Contract | <u>\$2,355,978.71</u> |

ATTACHMENTS: Resolution, Change Order #3  
REPORT PREPARED BY: City Administration  
REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK  
RECOMMENDATION: Approve resolution.

## **I. ORDINANCES**

(Statutory rule may be waived and ordinance passed without further readings.)

1. Ordinance No. 908 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA, IOWA CHAPTER 171 SCHEDULE OF RATES AND FEES." (2<sup>nd</sup> Rdg--This item was table 4-05-16) Councilmember Van Stryland moved to remove Ordinance No. 908 from the table, seconded by Councilmember Schiebout. On roll call the vote was: AYES: Van Stryland, Schiebout, Peterson, De Jong, Vander Beek. NAYS: Bokhoven. Motion carried. Councilmember De Jong moved to place Ordinance No. 908 on its second reading, seconded by Councilmember Schiebout. On roll call the vote was: AYES: De Jong, Schiebout, Peterson, Bokhoven, Vander Beek, Van Stryland. NAYS: None. Motion carried.

SUBJECT: Amending Chapter 171 Schedule of Rates and Fees

DATE: April 19, 2016 (2<sup>nd</sup> Reading)

**BACKGROUND:**

The consideration of the second reading of this ordinance was tabled to provide ample time to review the impact of the proposed ordinance. Included with this memo is City Code Chapter 122, which defines peddlers, solicitors and transient merchants which are all subject to the same permitting and fee requirements.

Peddlers, Solicitors and Transient Merchant Permit

Seasonal corn and produce stands fall under this code section. The following is a list of the previous two year's approved permits along with the impact of the currently proposed fees:

**2015 Peddlers, Solicitors and Transient Merchants**

| <u>Name</u>      | <u>Product</u> | <u>Duration</u> | <u>Total Cost</u> | <u>Daily Cost</u> | <u>Proposed Total</u> | <u>Proposed Daily</u> |
|------------------|----------------|-----------------|-------------------|-------------------|-----------------------|-----------------------|
| Stanley Fynaardt | Produce        | 30 Days         | \$ 30.00          | \$ 1.00           | \$ 150.00             | \$ 5.00               |
| Marlene De Jong  | Produce        | 120 Days        | \$ -              | \$ -              | \$ 300.00             | \$ 2.50               |
| Eric VanEe       | Produce        | 60 Days         | \$ 60.00          | \$ 1.00           | \$ 300.00             | \$ 5.00               |
| Paul De Jong     | Produce        | 30 Days         | \$ 30.00          | \$ 1.00           | \$ 150.00             | \$ 5.00               |

As seen in the table above, the City's primary permits are issued for the sale of produce. Of note in the table above is Marlene De Jong's permit in 2015 which was issued without fee. The reason the permit was issued without fee is the City's current Code does not require a fee after the second year.

It is also important to note, staff has recently had three vendor requests, a cupcake truck from Cedar Falls, a hot dog truck, and a vending cart, inquiring about a permit for extended periods of time.

Home Based Occupation

Also as part of the Council discuss the Council raised concern with the classification of selling produce from a front or side yard and it's classification as a "home based business", thereby eliminating any fees. According to City Code Section 165.27, home occupations "shall be conducted entirely within the principal dwelling unit or in a permitted building accessory thereto, and in no event shall such use be apparent from any public right of way". Based on this code section, produce stands are unable to be classified as home based businesses.

Summary

Based on the historical information, most of the peddler, solicitors and transient merchant permits have been issued for the purpose of selling produce. At the current rate, the median cost is roughly \$1.00 per day of resale. Also, under current City Code, produce sales at an individual's residence are not categorized as a home base business due to the requirement for all products and service to be contained entirely within the premise and out of public sight. At the March 1<sup>st</sup> Council meeting, staff reviewed and received recommendations for updating three sections of Chapter 171 – Schedule of Rates and Fees. The three sections reviewed and included in the proposed ordinance make changes to the City's peddlers/transient merchant fees, false alarm fees, and returned electronic payment and returned check fee. The following is additional information utilized in developing the proposed fee structure for each of the three sections.

**Peddler Permit, Transient Merchant Permit – Chapter 122:** The following are peddler/transient merchant permit fees obtained from surveyed communities.

| <u>Peddler Permit</u>           | <u>Pella</u> | <u>Oskaloosa</u> | <u>Creston</u> | <u>Urbandale</u> | <u>Knoxville</u> | <u>Grinnell</u> | <u>W. Des Moines*</u> |
|---------------------------------|--------------|------------------|----------------|------------------|------------------|-----------------|-----------------------|
| <b>Application Fee</b>          | \$ 25        | \$ 25            | \$ 10          | n/a              | n/a              | n/a             | \$ 100.00             |
| <b>Daily Permit</b>             | \$ 5         | \$ 5             | \$ 50          | \$ 25            | n/a              | \$ 25           | \$ 20.00              |
| <b>Weekly Permit</b>            | \$ 15        | \$ 15            | \$ 150         | \$ 75            | n/a              | n/a             | \$ 100.00             |
| <b>Monthly Permit</b>           | \$ 30        | \$ 30            | n/a            | n/a              | n/a              | n/a             | n/a                   |
| <b>90 Days</b>                  | n/a          | n/a              | n/a            | \$ 500           | n/a              | n/a             | n/a                   |
| <b>Seasonal Permit/6 Months</b> | \$ 50        | n/a              | \$ 500         | n/a              | n/a              | n/a             | n/a                   |
| <b>1 year</b>                   | n/a          | n/a              | \$ 1,000       | n/a              | \$ 105           | n/a             | n/a                   |

In addition, the Pella City Code states that for a business who has been classified as a transient merchant during the previous two consecutive years, there shall be no fee, provided the business meets the following criteria:

1. The business has not changed its name, ownership or location during the previous two consecutive years.
2. The business has not changed the goods, wares, property, services or merchandise offered for sale during the previous two consecutive years.
3. The business has not had its permit revoked or suspended during the previous two consecutive years.

In order to ensure equitable treatment for those who operate brick and mortar businesses within the city limits and also to ensure administrative and enforcement time is recovered, the proposed ordinance amends the fee of peddler and transient merchant permits to the following:

|                  |          |
|------------------|----------|
| Application Fee: | \$ 25.00 |
| Daily Permit:    | \$ 25.00 |
| Weekly Permit:   | \$ 75.00 |
| Monthly Permit:  | \$150.00 |
| Seasonal Permit: | \$300.00 |

Also, the proposed ordinance removes the exception for those merchants who have operated for two consecutive years.

**False Alarm Fees – Chapter 124:** The following is false alarm rate information obtained from surveyed communities.

| <u># False Alarms</u> | <u>Pella</u> | <u>Oskaloosa</u> | <u>Knoxville</u> | <u>Pleasant Hill</u> | <u>W. Des Moines*</u> | <u>Clive</u> |
|-----------------------|--------------|------------------|------------------|----------------------|-----------------------|--------------|
| 1                     | \$ -         | \$ -             | \$ -             | \$ 25                | \$ -                  | \$ -         |
| 2                     | \$ -         | \$ -             | \$ -             | \$ 50                | \$ -                  | \$ -         |
| 3                     | \$ 15        | \$ 25            | \$ -             | \$ 50                | \$ -                  | \$ 75        |
| 4                     | \$ 15        | \$ 50            | \$ -             | \$ 75                | \$ 50                 | \$ 100       |
| 5                     | \$ 15        | \$ 100           | \$ -             | \$ 75                | \$ 100                | \$ 150       |
| 6                     | \$ 30        | \$ 100           | \$ -             | \$ 75                | \$ 100                | \$ 150       |
| 7                     | \$ 30        | \$ 100           | \$ -             | \$ 100               | \$ 100                | \$ 150       |
| 8                     | \$ 30        | \$ 100           | \$ -             | \$ 100               | \$ 100                | \$ 150       |
| 9                     | \$ 30        | \$ 100           | \$ 25            | \$ 100               | \$ 100                | \$ 150       |
| 10                    | \$ 30        | \$ 100           | \$ 25            | \$ 200               | \$ 100                | \$ 150       |
| 11+                   | \$ 60        | \$ 100           | \$ 25            | \$ 200               | \$ 100                | \$ 150       |

\*also has monthly monitoring fee

Based on the surveyed numbers and the City's desire to cover costs associated with false alarms as well as put in place incentives to avoid repeated false alarms, the proposed ordinance includes the following rates:

First and Second False Alarm: No Charge  
Third through Fifth False Alarm: \$50.00 Each  
Fifth through Tenth False Alarm: \$100.00 Each  
Eleventh and thereafter: \$150.00 Each

Staff believes these rates are consistent with other surveyed communities in our region and will also ensure alarm users put an emphasis on eliminating repeated false alarms.

**Returned Electronic Payment or Returned Check – Chapter 9:** The City's current returned fee policy charges residents a \$13.00 fee when the City is notified of a returned electronic payment or returned check. Given the bank fees and, more importantly, the staff time necessary to process insufficient funds notifications, the proposed ordinance amends Chapter 9 of the Pella City Code to include the following:

**9.05 Insufficient Funds Fee**

The charge for a returned electronic payment or a returned check shall be the maximum amount allowed under Iowa Code Chapter 554.3512. The current maximum for insufficient funds fees as set by State Code Chapter 554.3512 is \$30, which would be adjusted in the future when and if State Code is ever amended.

ATTACHMENTS: Ordinance, City Code Chapter 122  
REPORT PREPARED BY: Finance Director  
REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK  
RECOMMENDATION: Approve ordinance.

2. Ordinance No. 909 entitled, "AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA, IOWA CHAPTER 69 PARKING REGULATIONS". (2nd Rdg) Councilmember Vander Beek moved to place Ordinance No. 909 on its second reading, seconded by Councilmember Bokhoven. On roll call the vote was: AYES: Vander Beek, Bokhoven, Van Stryland, Schiebout, Peterson, De Jong. NAYS: None. Motion carried. It was moved by Councilmember Van Stryland and seconded by Councilmember Vander Beek that the statutory rule requiring said ordinance to be considered and voted on for passage at two Council meetings prior to the meeting at which it is to be finally passed be suspended. On roll call the vote was: AYES: Van Stryland, Vander Beek, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried. Councilmember Schiebout moved that Ordinance No. 909 be adopted, seconded by Councilmember De Jong. On roll call the vote was: AYES: Schiebout, De Jong, Bokhoven, Vander Beek, Van Stryland, Peterson. NAYS: None. Mayor Mueller declared the motion carried and the ordinance duly passed and adopted.

SUBJECT: City of Pella Code of Ordinances 69 Parking Restrictions

DATE: April 19, 2016 (2<sup>nd</sup> Rdg)

**BACKGROUND:**

At the March 15th Policy and Planning meeting, Council discussed requests to change parking restrictions in the areas of the Central Business District. At the conclusion of the discussion Council directed staff to proceed with an ordinance amendment which would make the following changes to the City's parking ordinance:

**700 Block of Washington**

This proposed ordinance removes the three hour parking limitation from 9:00 a.m. to 6:00 p.m. except for Sundays and holidays for the nine diagonal parking spaces which are located on the south side of Washington Street immediately west of the intersection of Broadway Street and Washington Street. It should be noted, this area is subject to no parking from 2:00 a.m. to 6:00 a.m., which would continue to remain as is.

As background on this proposal, staff received a request from Dr. Allen's office to remove the three hour parking restriction for this area of the 700 block of Washington Street

The reason for this request is as follows:

1. Dr. Allen's practice is expanding, which will also increase the need for employee parking.
2. Businesses on the northwest side of the town square could benefit from this change.
3. These nine spaces appear to be underutilized during traditional business hours.
4. The diagonal spaces located on the south side of the west half of the block from Washington Street between Broadway Street and Main Street do not have a three hour restriction. Therefore, this requested change would simply be extending this area ½ block to the west.

**700 Block of Broadway**

This proposed ordinance amendment removes the 2:00 a.m. to 6:00 a.m. parking restriction on the east side of Broadway Street from the alley south of Franklin Street to Liberty Street. The reason for this change is attributed to employees who work in the downtown area that arrive to work prior to 6:00 a.m.

ATTACHMENTS: Ordinance  
REPORT PREPARED BY: Robert A. Bokinsky, Chief of Police  
REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK  
RECOMMENDATION: Approved Ordinance.

**J. CLAIMS**

1. Abstract of bills No. 1957. Councilmember Schiebout moved to approve, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Schiebout, Van Stryland, Peterson, De Jong, Bokhoven, Vander Beek. NAYS: None. Motion carried.

**K. OTHER BUSINESS/\*PUBLIC FORUM (any additional comments from the Public)**

Comments were received and addressed.

**L. CLOSED SESSION**

1. At 8:17 p.m., Councilmember Peterson moved to enter into closed session pursuant to Iowa Code Chapter 21.5 1 (c) to discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation, seconded by Councilmember Vander Beek. On roll call the vote was: AYES: Peterson, Vander Beek, Van Stryland, Schiebout, De Jong, Bokhoven. NAYS: None. At 8:35 p.m., Councilmember Vander Beek moved to reconvene to regular session, seconded by Councilmember Van Stryland. On roll call the vote was: AYES: Vander Beek, Van Stryland, Schiebout, Peterson, De Jong, Bokhoven. NAYS: None. Motion carried. No action was taken regarding this closed session.

**M. ADJOURNMENT**

There being no further business claiming their attention, Councilmember De Jong moved to adjourn, seconded by Councilmember Peterson. On roll call the vote was: AYES: De Jong, Peterson, Bokhoven, Vander Beek, Van Stryland, Schiebout. NAYS: None. Motion carried. Meeting adjourned at 8:44 p.m.

C-2-a

Policy and Planning Minutes  
April 19, 2016

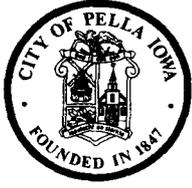
PRESENT: Mayor Jim Mueller, Mark De Jong, Tony Bokhoven, Dan L. Vander Beek, Harold Van Stryland, Bruce Schiebout, Larry Peterson

ABSENT: None

OTHERS: City Staff and Visitors

As there was no business to discuss, the meeting was not held.

Respectfully Submitted,  
Ronda Brown, City Clerk



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: D-1a & 1b

SUBJECT: Resolution Approving the Plans, Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Construction Contract for the West Substation Ring Bus Conversion Project

DATE: May 2, 2016

**BACKGROUND:** This resolution approves the plans, specifications, estimate of costs, and awards the construction contract for the West Substation Ring Bus Conversion Project. The work consists of reconfiguration of the single line breaker scheme of the substation to a ring bus configuration and will involve modification of a 69 kV substation, including concrete foundations, bus work, installation of steel structures, 69 kV switches, PT's, and 69 kV circuit breakers. The project also includes installing and connecting to the following Owner furnished materials: steel structures, 69 kV switches, PTs, CTs, 69 kV circuit breakers, and 69 kV control panels.

As further background on the project, Pella West Electrical Substation is located at 1875 Washington Street and is configured on a single line breaker scheme, which means all of the electrical connections are tied to a single electric bus bar. Currently, there are six connections to the west substation, which includes one distribution transformer, one diesel plant transformer, one 69 kV capacitor bank, and three 69 kV transmission line connections. It is important to note, transmission planning standards recommend a ring bus configuration for 69 kV substations with five or more connections (see enclosed ring bus diagram). In essence, a ring bus configuration involves the establishment of one circuit breaker for each connection to the 69 kV substation. The advantage of this configuration is that faults to the electrical bus bar can be isolated without removing the entire substation from service. In comparison, our current single line breaker would require the substation to be placed out of service if a fault occurred at the station's electrical bus bar. The concern with the current single line breaker scheme is that any outage to the west substation during peak summer months could have a significant impact on the Electric Utility's ability to serve customer loads within our community. Furthermore, the Red Rock Hydroelectric Plant is scheduled to be connected to the Pella West Substation in the slot currently occupied by the 69 kV capacitor bank. Due to the number of existing connections to the Pella West Substation and the connection of the Red Rock Hydroelectric Plant, staff believe a ring bus configuration is needed for electric reliability for the City's transmission and distribution systems.

On April 21, 2016, a bid letting was held for this project, and the City received seven bids.

| <b>Bidder</b>                            | <b>Amount</b>  |
|--|----------------|
| Primoris Aevenia, Inc.<br>Moorhead, MN   | \$1,807,151.88 |
| Integrated Power Co.<br>North Platte, NE | \$1,986,000.00 |
| Harold K. Scholz Co.<br>Ralston, NE      | \$2,098,554.00 |
| The Ryan Company, Inc.<br>Norton, MA     | \$2,443,979.30 |

|   |                |
|---|----------------|
| Brink Constructors, Inc.<br>Rapid City, SD              | \$2,837,094.74 |
| Hooper Corporation<br>Madison, WI                       | \$3,211,519.79 |
| B & B Electrical Contractors, Inc.<br>Iron Mountain, MI | \$4,304,489.06 |

The engineer's estimated project cost was \$3,000,000.

The lowest responsible bidder was Primoris Aevenia, Inc. with a bid price of \$1,807,151.88. This company is based out of Moorhead, MN. The City's engineer, DGR, has reviewed the contractor's references and is recommending approval of the contract.

If approved by Council, the project is scheduled to begin May 16, 2016 with an estimated substantial completion date of May 6, 2017 and final completion of all work by June 10, 2017. Funding for the project will be provided from Electric Revenue Capital Loan Notes, Series 2015, approved by Council on December 15, 2015.

It is important to note, \$947,300 of this proposed contract is eligible for reimbursement from the Midcontinent Independent System Operator (MISO) transmission rate recovery process. In addition, \$259,833 is attributed to the Red Rock Hydroelectric 69 kV connection and will be reimbursed by Western Minnesota Municipal Power Agency (WMMPA). The remaining balance of the contract of \$600,019 represents the distribution portion of the project and will be funded by the electric revenue capital notes.

Finally, this resolution also gives the Electric Distribution Superintendent, Nate Spurgeon, authorization to issue the notice to proceed once the contract, bonds, insurance certificates and appropriate permits are in proper order and fully executed.

**ATTACHMENTS:** Resolution, Bid Summary, Bid Tabulation, Engineers Recommendation, Contract Form.

**REPORT PREPARED BY:** Electric Department

**REPORT REVIEWED BY:** CITY ADMINISTRATOR  
CITY CLERK

**RECOMMENDED ACTION:** Approve resolution.

RESOLUTION NO. 5685

RESOLUTION APPROVING PLANS, SPECIFICATIONS, FORM OF CONTRACT,  
ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF  
CONSTRUCTION CONTRACT FOR THE WEST SUBSTATION RING BUS  
CONVERSION PROJECT

WHEREAS, the City Council deemed it advisable and necessary to obtain bids for the construction for the project described in general as the West Substation Ring Bus Conversion Project, and has caused to be prepared specifications and form of contract on file in the office of the Clerk for public inspection; and,

WHEREAS, before said specifications, form of contract, and contracts for construction are entered into, it is necessary, pursuant to Division VI of Chapter 384 of the Code of Iowa, to hold a public hearing and to advertise for bids; and,

WHEREAS, a bid letting was held on April 21, 2016; and,

WHEREAS, the work consists of modification of a 69 kV substation, including concrete foundations, bus work, installation of steel structures, 69 kV switches, PT's, and 69 kV circuit breakers.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That the said plans, specifications, form of contract and estimate of costs are hereby adopted as the plans, specifications, form of contract and estimate of costs for said public improvements, as described in general as the West Substation Ring Bus Conversion Project and more specifically described above.

Section 2. That the following bid for the West Substation Ring Bus Conversion Project be and is hereby accepted, the same being the lowest responsible bid received for said work, and the project awarded to:

Contractor: Primoris Aevenia, Inc.  
3030 S. 24<sup>th</sup> Ave.  
Moorhead, MN 56560  
Amount of Bid: \$1,807,151.88.

Section 3. That the Mayor and Clerk are hereby directed to execute contract with the contractor for the construction of said improvements, said contract not to be binding on the City until fully executed.

Section 4. The Electric Distribution Superintendent is authorized to issue the notice of award and the notice to proceed once the contract, bonds, insurance certificates and appropriate permits are in proper order and fully executed.

PASSED and ADOPTED this 2<sup>nd</sup> day of May, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk



April 25, 2016

Nate Spurgeon  
City of Pella  
**(E-mailed Only)**

**RE: Award Recommendation for West Substation Modifications  
City of Pella  
DGR Project No. 414943**

Dear Nate:

We have completed our review of the bids that were received on April 21, 2016 for the West Substation Modifications project. A total of seven (7) bids were received for this work. A bid summary form and detailed bid tabulation is included with this letter showing the bid results.

The low bidder was Primoris Aevenia, Inc. (Aevenia). We have worked with Aevenia on past projects both substation and transmission work, and we are confident they have the expertise to complete the work. Therefore, we recommend Aevenia be awarded the contract in the amount shown below:

|  |                        |
|--|------------------------|
| Part 1 – 69 kV Substation Improvements                   | \$ 1,184,104.92        |
| Part 2 – 69 kV Substation Improvements Red Rock Terminal | 110,120.33             |
| Part 3 – 69 kV Transmission Line Improvements            | 52,911.20              |
| Part 4 – Capacitor Bank Addition at Clark Street         | 96,801.52              |
| Part 5 – Distribution Improvements                       | <u>363,213.91</u>      |
| <b>Total:</b>  | <b>\$ 1,807,151.88</b> |

Please review our recommendation and feel free to contact Todd or me with any questions you or the Council may have. Please let us know when an award has been made, and we will prepare the contract documents for signature.

Sincerely,

DGR Engineering

Dennis Haselhoff, P.E.

DJH:tab  
Enclosures - 1

**BID SUMMARY****WEST SUBSTATION MODIFICATIONS  
CITY OF PELLA, IOWA**

DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.  
 City Office; 825 Broadway  
 Page 1 of 1

| Bidder and Address   | Bid Security    | Acknowledged Addendum #1 | Acknowledged Addendum #2 | Total Base Bid   | Comments                                   |
|--|-----------------|--------------------------|--------------------------|------------------|--|
| <b>Primoris Aevenia, Inc.</b><br>3030 S. 24th Avenue<br>Moorhead, MN 56560                   | 10%<br>Bid Bond | Yes                      | Yes                      | \$1,807,151.88   |  |
| <b>Harold K. Scholz Co</b><br>7800 Serum Avenue<br>Ralston, NE 68127                         | 10%<br>Bid Bond | Yes                      | Yes                      | \$2,098,554.00 * | Incomplete Bid - Missing Unit K1           |
| <b>The Ryan Company, Inc.</b><br>15 Commerce Way<br>Norton, MA 02766                         | 10%<br>Bid Bond | No                       | No                       | \$2,443,979.30 * |  |
| <b>Brink Constructors, Inc.</b><br>2950 N. Plaza Drive<br>Rapid City, SD 57702               | 10%<br>Bid Bond | Yes                      | Yes                      | \$2,837,094.74 * |  |
| <b>Hooper Corporation</b><br>2030 Pennsylvania Avenue<br>Madison, WI 53704                   | 10%<br>Bid Bond | Yes                      | Yes                      | \$3,211,519.79   |  |
| <b>B &amp; B Electrical Contractors, Inc.</b><br>627 Circle Drive<br>Iron Mountain, MI 49801 | 10%<br>Bid Bond | Yes                      | Yes                      | \$4,304,489.06 * |  |
| <b>Integrated Power Co.</b><br>P.O. Box 1743<br>North Platte, NE 69103                       | 10%<br>Bid Bond | Yes                      | Yes                      | \$1,986,000.00   | Incomplete Bid - Did not Bid Parts 4 and 5 |

\* = Corrected Amount

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.                                     | Name and Description of Construction Unit   | No. of Units | Primoris Aevenia, Inc. |           |            |                  | Harold K. Scholz Co. |           |            |                  | The Ryan Company, Inc. |            |            |                  |
|--|---|--------------|------------------------|-----------|------------|------------------|----------------------|-----------|------------|------------------|------------------------|------------|------------|------------------|
|  |   |              | Bid Security:          |           |            | Ext. Price L & M | Bid Security:        |           |            | Ext. Price L & M | Bid Security:          |            |            | Ext. Price L & M |
|  |   |              | Labor                  | Material  | L & M      |                  | Labor                | Material  | L & M      |                  | Labor                  | Material   | L & M      |                  |
| <b>PART 1: 69 kV SUBSTATION IMPROVEMENTS</b> |   |              |                        |           |            |                  |                      |           |            |                  |                        |            |            |                  |
| A1   | Steel, 69 kV deadend structure (ea.)  | 3            | \$4,957.12             | \$0.00    | \$4,957.12 | \$14,871.36      | \$6,540.80           | \$0.00    | \$6,540.80 | \$19,622.40      | \$7,605.00             | \$741.00   | \$8,346.00 | \$25,038.00      |
| A2   | Steel, 69 kV GOAB switch support, double leg, low (ea.)   | 4            | 1,323.02               | 0.00      | 1,323.02   | 5,292.08         | 2,452.80             | 0.00      | 2,452.80   | 9,811.20         | 1,873.00               | 170.00     | 2,043.00   | 8,172.00         |
| A3   | Steel, 69 kV bus support, single leg, straight, low (ea.)   | 2            | 331.11                 | 0.00      | 331.11     | 662.22           | 2,452.41             | 0.00      | 2,452.41   | 4,904.82         | 775.00                 | 170.00     | 945.00     | 1,890.00         |
| A4   | Steel, 69 kV 45° bus support, single leg (ea.)  | 3            | 207.73                 | 0.00      | 207.73     | 623.19           | 2,452.80             | 0.00      | 2,452.80   | 7,358.40         | 775.00                 | 170.00     | 945.00     | 2,835.00         |
| A5   | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 3            | 331.61                 | 0.00      | 331.61     | 994.83           | 2,452.80             | 0.00      | 2,452.80   | 7,358.40         | 775.00                 | 170.00     | 945.00     | 2,835.00         |
| A6   | Steel, lightning shield mast (ea.)  | 5            | 2,809.38               | 0.00      | 2,809.38   | 14,046.90        | 6,052.80             | 0.00      | 6,052.80   | 30,264.00        | 2,017.00               | 542.00     | 2,559.00   | 12,795.00        |
| A7-REM                                       | Removal of existing steel, 69 kV deadend structure (ea.)  | 2            | 4,709.33               | 0.00      | 4,709.33   | 9,418.66         | 4,905.60             | 0.00      | 4,905.60   | 9,811.20         | 4,120.00               |            | 4,120.00   | 8,240.00         |
| A8-REM                                       | Removal of existing steel, 69 kV GOAB switch support, double leg, low (ea.)   | 2            | 372.91                 | 0.00      | 372.91     | 745.82           | 1,635.20             | 0.00      | 1,635.20   | 3,270.40         | 687.00                 |            | 687.00     | 1,374.00         |
| A9-REM                                       | Removal of existing steel, 69 kV, 3Ø, PT support, double leg (ea.)  | 1            | 249.04                 | 0.00      | 249.04     | 249.04           | 1,635.20             | 0.00      | 1,635.20   | 1,635.20         |                        |            | 550.00     | 550.00           |
| A10-REM                                      | Removal of existing steel, lightning shield mast (ea.)  | 2            | 12,157.76              | 0.00      | 12,157.76  | 24,315.52        | 1,635.20             | 0.00      | 1,635.20   | 3,270.40         | 824.00                 |            | 824.00     | 1,648.00         |
| B1   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new or existing switch stand (ea.)              | 10           | 1,157.49               | 0.00      | 1,157.49   | 11,574.90        | 4,088.00             | 0.00      | 4,088.00   | 40,880.00        | 1,648.00               | 27.00      | 1,675.00   | 16,750.00        |
| B2   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.)                     | 3            | 1,322.78               | 0.00      | 1,322.78   | 3,968.34         | 4,088.00             | 0.00      | 4,088.00   | 12,264.00        | 1,648.00               | 27.00      | 1,675.00   | 5,025.00         |
| B3-REM                                       | Removal of existing switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on existing switch stand (ea.) | 8            | 827.08                 | 0.00      | 827.08     | 6,616.64         | 2,452.80             | 0.00      | 2,452.80   | 19,622.40        | 1,374.00               |            | 1,374.00   | 10,992.00        |
| C1   | 72 kV lightning arrester, 1Ø, station class (ea.)   | 9            | 83.81                  | 0.00      | 83.81      | 754.29           | 245.28               | 0.00      | 245.28     | 2,207.52         | 412.00                 |            | 412.00     | 3,708.00         |
| C2-REM                                       | Removal of existing 72 kV lightning arrester, 1Ø, station class (ea.)   | 9            | 42.51                  | 0.00      | 42.51      | 382.59           | 81.76                | 0.00      | 81.76      | 735.84           | 275.00                 |            | 275.00     | 2,475.00         |
| D1   | Bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1            | 43,200.13              | 90,124.30 | 133,324.43 | 133,324.43       | 88,880.00            | 89,973.79 | 178,853.79 | 178,853.79       | 69,923.00              | 191,038.00 | 260,961.00 | 260,961.00       |
| D2-REM                                       | Removal of existing bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1            | 27,878.23              | 0.00      | 27,878.23  | 27,878.23        | 16,352.00            | 0.00      | 16,352.00  | 16,352.00        | 15,642.00              |            | 15,642.00  | 15,642.00        |
| E1   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 3            | 2,478.85               | 121.26    | 2,600.11   | 7,800.33         | 4,905.60             | 0.00      | 4,905.60   | 14,716.80        | 2,361.00               | 147.00     | 2,508.00   | 7,524.00         |
| E2   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on existing foundation (ea.)   | 2            | 2,645.89               | 121.26    | 2,767.15   | 5,534.30         | 4,905.60             | 0.00      | 4,905.60   | 9,811.20         | 2,636.00               | 409.00     | 3,045.00   | 6,090.00         |
| E3-REM                                       | Removal of existing circuit breaker, 69 kV, 3Ø, SF6 with steel stand (ea.)  | 3            | 1,322.78               | 0.00      | 1,322.78   | 3,968.34         | 1,635.20             | 0.00      | 1,635.20   | 4,905.60         | 1,374.00               |            | 1,374.00   | 4,122.00         |
| G1   | Control panel (ea.)   | 5            | 207.51                 | 0.00      | 207.51     | 1,037.55         | 817.60               | 0.00      | 817.60     | 4,088.00         | 687.00                 | 131.00     | 818.00     | 4,090.00         |
| G2   | Sync panel (ea.)  | 1            | 372.93                 | 0.00      | 372.93     | 372.93           | 817.60               | 0.00      | 817.60     | 817.60           | 412.00                 | 131.00     | 543.00     | 543.00           |
| G3-REM                                       | Removal of control panel (ea.)  | 7            | 207.84                 | 0.00      | 207.84     | 1,454.88         | 2,452.80             | 0.00      | 2,452.80   | 17,169.60        | 1,164.00               |            | 1,164.00   | 8,148.00         |
| H1   | PT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on separate steel stand (ea.)                                | 4            | 1,179.94               | 1,462.15  | 2,642.09   | 10,568.36        | 2,452.80             | 535.50    | 2,988.30   | 11,953.20        | 1,263.00               | 670.00     | 1,933.00   | 7,732.00         |
| H2   | Relocation of existing 3Ø PTs, 69 kV, outdoor, with one new common junction box and miscellaneous equipment mounted on separate steel stand (ea.)     | 1            | 1,763.00               | 1,417.96  | 3,180.96   | 3,180.96         | 2,452.80             | 2,142.00  | 4,594.80   | 4,594.80         | 1,538.00               | 670.00     | 2,208.00   | 2,208.00         |
| J1   | Fiber splice box, outdoors (ea.)  | 2            | 612.49                 | 1,547.69  | 2,160.18   | 4,320.36         | 817.60               | 2,478.60  | 3,296.20   | 6,592.40         | 577.00                 | 1,714.00   | 2,291.00   | 4,582.00         |
| J2   | 24 fiber cable (ft.)  | 1245         | 9.88                   | 1.52      | 11.40      | 14,193.00        | 1.64                 | 2.30      | 3.94       | 4,905.30         | 2.75                   | 3.28       | 6.03       | 7,507.35         |
| J3   | Fiber termination (ea.)   | 192          | 37.96                  | 0.00      | 37.96      | 7,288.32         | 42.00                | 0.00      | 42.00      | 8,064.00         | 41.00                  |            | 41.00      | 7,872.00         |
| J4   | Fiber jumpers and comm cables, install only (lot)   | 1            | 1,051.22               | 0.00      | 1,051.22   | 1,051.22         | 817.60               | 0.00      | 817.60     | 817.60           | 2,572.00               |            | 2,572.00   | 2,572.00         |
| K1   | Conduit, 2" PVC (ft.)   | 1450         | 13.08                  | 1.34      | 14.42      | 20,909.00        | 0.00                 | 0.00      | 0.00       | 0.00             | 4.88                   | 1.95       | 6.83       | 9,903.50         |
| K2   | Conduit, 4" PVC (ft.)   | 1100         | 15.21                  | 3.19      | 18.40      | 20,240.00        | 8.40                 | 5.25      | 13.65      | 15,015.00        | 7.97                   | 3.61       | 11.58      | 12,738.00        |
| K3   | Power ductbank, (4) 5" PVC conduits installed 36" below subgrade (ft.)  | 222          | 98.80                  | 31.35     | 130.15     | 28,893.30        | 36.00                | 57.14     | 93.14      | 20,677.08        | 84.67                  | 21.91      | 106.58     | 23,660.76        |
| K4   | Power ductbank, (4) 5" PVC conduits installed 24" below subgrade (ft.)  | 167          | 90.65                  | 29.54     | 120.19     | 20,071.73        | 36.00                | 48.95     | 84.95      | 14,186.65        | 79.53                  | 21.98      | 101.51     | 16,952.17        |
| K5   | Power ductbank, (2) 5" PVC conduits (ft.)   | 101          | 51.30                  | 15.32     | 66.62      | 6,728.62         | 26.40                | 43.20     | 69.60      | 7,029.60         | 57.70                  | 12.37      | 70.07      | 7,077.07         |
| K6   | Pedestrian rated cable trench (36" W x 16 1/4" D) with concrete lid (ft.)   | 60           | 97.70                  | 66.32     | 164.02     | 9,841.20         | 48.00                | 374.85    | 422.85     | 25,371.00        | 62.16                  | 209.30     | 271.46     | 16,287.60        |
| K7   | HS20 drive over cable trench (43 1/2" W x 20" D) with fiberlite lid (ft.)   | 94           | 114.67                 | 429.48    | 544.15     | 51,150.10        | 48.00                | 438.65    | 486.65     | 45,745.10        | 75.43                  | 341.42     | 416.85     | 39,183.90        |
| K8   | Cable trench drainage system, 4" HDPE drain tile, pea rock (ft.)  | 225          | 18.64                  | 3.44      | 22.08      | 4,968.00         | 12.00                | 12.00     | 24.00      | 5,400.00         | 5.10                   | 26.11      | 31.21      | 7,022.25         |
| K9   | Pipe bollard with chain (ea.)   | 7            | 219.19                 | 388.59    | 607.78     | 4,254.46         | 163.52               | 76.50     | 240.02     | 1,680.14         | 1,231.00               |            | 1,231.00   | 8,617.00         |
| L1   | Foundation, 69 kV deadend structure, per leg (ea.)  | 6            | 9,608.71               | 26.21     | 9,634.92   | 57,809.52        | 6,756.00             | 4,500.00  | 11,256.00  | 67,536.00        | 35,855.00              |            | 35,855.00  | 215,130.00       |
| L2   | Foundation, 69 kV GOAB switch support, low, per leg (ea.)   | 8            | 2,101.21               | 0.00      | 2,101.21   | 16,809.68        | 900.00               | 612.00    | 1,512.00   | 12,096.00        | 3,908.00               |            | 3,908.00   | 31,264.00        |
| L3   | Foundation, 69 kV bus support, single leg, straight, low, per leg (ea.)   | 2            | 2,101.20               | 0.00      | 2,101.20   | 4,202.40         | 900.00               | 612.00    | 1,512.00   | 3,024.00         | 3,908.00               |            | 3,908.00   | 7,816.00         |
| L4   | Foundation, 69 kV 45° bus support structure, per leg (ea.)  | 3            | 2,363.71               | 0.00      | 2,363.71   | 7,091.13         | 942.00               | 738.00    | 1,680.00   | 5,040.00         | 4,332.00               |            | 4,332.00   | 12,996.00        |
| L5   | Foundation, 69 kV PT support structure, per leg (ea.)   | 5            | 2,232.46               | 0.00      | 2,232.46   | 11,162.30        | 930.00               | 666.00    | 1,596.00   | 7,980.00         | 4,050.00               |            | 4,050.00   | 20,250.00        |
| L6   | Foundation, 69 kV circuit breaker pad, per pad (ea.)  | 3            | 9,188.71               | 0.00      | 9,188.71   | 27,566.13        | 3,600.00             | 3,240.00  | 6,840.00   | 20,520.00        | 8,730.00               | 523.00     | 9,253.00   | 27,759.00        |
| L7   | Addition or deletion of 1 cubic yard of concrete and rebar for a pier type foundation (cu. yd.)   | 2            | 578.70                 | 0.00      | 578.70     | 1,157.40         | 432.00               | 288.00    | 720.00     | 1,440.00         | 2,141.00               |            | 2,141.00   | 4,282.00         |
| L8   | Addition or deletion of 1 cubic yard of concrete and rebar for a slab type foundation (cu. yd.)   | 2            | 578.70                 | 0.00      | 578.70     | 1,157.40         | 360.00               | 240.00    | 600.00     | 1,200.00         | 2,108.00               |            | 2,108.00   | 4,216.00         |
| L9-REM                                       | Removal of 69 kV deadend foundation, per pier (ea.)   | 10           | 1,576.21               | 0.00      | 1,576.21   | 15,762.10        | 3,461.60             | 0.00      | 3,461.60   | 34,616.00        | 2,953.00               |            | 2,953.00   | 29,530.00        |
| L10-REM                                      | Removal of 69 kV GOAB switch foundation, per pier (ea.)   | 4            | 1,366.21               | 0.00      | 1,366.21   | 5,464.84         | 3,870.40             | 0.00      | 3,870.40   | 15,481.60        | 1,969.00               |            | 1,969.00   | 7,876.00         |
| L11-REM                                      | Removal of 69 kV circuit breaker foundation (ea.)   | 1            | 3,938.72               | 0.00      | 3,938.72   | 3,938.72         | 3,052.80             | 0.00      | 3,052.80   | 7,874.00         | 7,874.00               |            | 7,874.00   | 7,874.00         |
| L12-REM                                      | Removal of 69 kV PT foundation, per pier (ea.)  | 2            | 1,576.20               | 0.00      | 1,576.20   | 3,152.40         | 3,052.80             | 0.00      | 3,052.80   | 6,105.60         | 1,969.00               |            | 1,969.00   | 3,938.00         |

**BID TABULATION**  
 WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.   | Name and Description of Construction Unit   | No. of Units | Primoris Aevenia, Inc. |           |           |                  | Harold K. Scholz Co. |           |           |                  | The Ryan Company, Inc. |           |           |                  |
|--|---|--------------|------------------------|-----------|-----------|------------------|----------------------|-----------|-----------|------------------|------------------------|-----------|-----------|------------------|
|  |   |              | Bid Security:          |           |           |                  | Bid Security:        |           |           |                  | Bid Security:          |           |           |                  |
|  |   |              | Labor                  | Material  | L & M     | Ext. Price L & M | Labor                | Material  | L & M     | Ext. Price L & M | Labor                  | Material  | L & M     | Ext. Price L & M |
| L13-REM  | Removal of shield mast foundation (ea.)   | 2            | 1,576.20               | 0.00      | 1,576.20  | 3,152.40         | 2,235.20             | 0.00      | 2,235.20  | 4,470.40         | 2,953.00               | 2,953.00  | 5,906.00  |                  |
| M1   | Excavation and Embankment (cu. yd.)   | 640          | 14.33                  | 0.00      | 14.33     | 9,171.20         | 12.00                | 0.00      | 12.00     | 7,680.00         | 33.32                  | 33.32     | 21,324.80 |                  |
| M2   | 12" Subgrade preparation (sq. yd.)  | 4170         | 4.36                   | 0.00      | 4.36      | 18,181.20        | 3.00                 | 0.00      | 3.00      | 12,510.00        | 4.93                   | 4.93      | 20,558.10 |                  |
| M3   | Water Service, Trenched, PVC, 6" (ln. ft.)  | 455          | 46.36                  | 0.00      | 46.36     | 21,093.80        | 24.00                | 0.00      | 24.00     | 10,920.00        | 70.54                  | 70.54     | 32,095.70 |                  |
| M4   | Intake Type S11 (ea.)   | 1            | 5,776.22               | 0.00      | 5,776.22  | 5,776.22         | 480.00               | 720.00    | 1,200.00  | 1,200.00         | 9,022.00               | 9,022.00  | 9,022.00  |                  |
| M5   | PCC pavement, 7" thick (sq. yd.)  | 750          | 45.31                  | 0.00      | 45.31     | 33,982.50        | 50.40                | 48.00     | 98.40     | 73,800.00        | 68.90                  | 68.90     | 51,675.00 |                  |
| M6   | 3" Layer of Crushed Rock Surfacing (ton)  | 425          | 32.71                  | 0.00      | 32.71     | 13,901.75        | 10.20                | 26.40     | 36.60     | 15,555.00        | 49.21                  | 49.21     | 20,914.25 |                  |
| M7   | 3" Layer of IDOT Macadam Stone Base (ton)   | 395          | 27.46                  | 0.00      | 27.46     | 10,846.70        | 11.40                | 28.80     | 40.20     | 15,879.00        | 42.00                  | 42.00     | 16,590.00 |                  |
| M8   | Seeding, fertilizing, and mulching (as req'd.)  | 1            | 4,988.72               | 0.00      | 4,988.72  | 4,988.72         | 3,600.00             | 2,400.00  | 6,000.00  | 6,000.00         | 7,792.00               | 7,792.00  | 7,792.00  |                  |
| M9   | Silt Fence/Ditch Check (ln. ft.)  | 310          | 4.88                   | 0.00      | 4.88      | 1,512.80         | 3.30                 | 1.20      | 4.50      | 1,395.00         | 5.75                   | 5.75      | 1,782.50  |                  |
| M10  | Retaining Wall, 8" Thick (ln. ft.)  | 50           | 237.46                 | 0.00      | 237.46    | 11,873.00        | 90.00                | 30.00     | 120.00    | 6,000.00         | 369.07                 | 369.07    | 18,453.50 |                  |
| M11-REM  | Pavement Removal (sq. yd.)  | 705          | 11.71                  | 0.00      | 11.71     | 8,255.55         | 36.00                | 0.00      | 36.00     | 25,380.00        | 16.41                  | 16.41     | 11,569.05 |                  |
| N1   | Substation fence and gates (as req'd.)  | 1            | 11,659.58              | 1,335.06  | 12,994.64 | 12,994.64        | 6,000.00             | 15,390.00 | 21,390.00 | 21,390.00        | 20,963.00              | 20,963.00 | 20,963.00 |                  |
| N2-REM   | Removal of existing substation fence and gates (as req'd.)  | 1            | 1,124.72               | 0.00      | 1,124.72  | 1,124.72         | 5,400.00             | 0.00      | 5,400.00  | 5,400.00         | 2,174.00               | 2,174.00  | 2,174.00  |                  |
| O1   | Ground grid, rods, connections, and sacrificial anodes (as req'd.)  | 1            | 28,980.49              | 23,773.74 | 52,754.23 | 52,754.23        | 27,400.00            | 30,426.95 | 57,666.95 | 57,666.95        | 31,592.00              | 32,185.00 | 63,777.00 |                  |
| O2   | Personnel grounding platform (ea.)  | 7            | 207.82                 | 5.80      | 213.62    | 1,495.34         | 360.00               | 60.00     | 420.00    | 2,940.00         | 138.00                 | 425.00    | 563.00    |                  |
| O3-REM   | Removal of existing personnel grounding platform (ea.)  | 2            | 83.33                  | 0.00      | 83.33     | 166.66           | 408.00               | 0.00      | 408.00    | 817.60           | 69.00                  | 69.00     | 138.00    |                  |
| P1   | Exterior area flood lighting package (as req'd.)  | 1            | 3,293.78               | 14,716.42 | 18,010.20 | 18,010.20        | 1,635.20             | 1,606.50  | 3,241.70  | 3,241.70         | 10,148.00              | 14,092.00 | 24,240.00 |                  |
| P2   | Cable trench system (as req'd.)   | 1            | 17,537.71              | 6,799.44  | 24,337.15 | 24,337.15        | 8,176.00             | 6,120.00  | 14,296.00 | 14,296.00        | 19,893.00              | 39,855.00 | 39,855.00 |                  |
| P3   | Battery bank (ea.)  | 1            | 3,293.23               | 17,212.70 | 20,505.93 | 20,505.93        | 3,270.40             | 22,402.26 | 25,672.66 | 25,672.66        | 3,215.00               | 32,252.00 | 35,467.00 |                  |
| P4   | Battery charger (ea.)   | 1            | 494.53                 | 7,200.56  | 7,695.09  | 7,695.09         | 1,635.20             | 7,344.00  | 8,979.20  | 8,979.20         | 965.00                 | 13,772.00 | 14,737.00 |                  |
| P5   | DC panel (ea.)  | 1            | 495.03                 | 2,010.57  | 2,505.60  | 2,505.60         | 1,635.20             | 2,754.00  | 4,389.20  | 4,389.20         | 965.00                 | 4,700.00  | 5,665.00  |                  |
| P6   | DC junction box (ea.)   | 1            | 248.28                 | 607.45    | 855.73    | 855.73           | 408.00               | 459.00    | 867.00    | 867.00           | 643.00                 | 523.00    | 1,166.00  |                  |
| P7   | Battery disconnect (ea.)  | 1            | 331.76                 | 472.90    | 804.66    | 804.66           | 817.60               | 688.50    | 1,506.10  | 1,506.10         | 643.00                 | 523.00    | 1,166.00  |                  |
| P8   | Panel modifications, AC and DC panels (as req'd.)   | 1            | 1,648.85               | 1,876.84  | 3,525.69  | 3,525.69         | 5,723.20             | 3,366.00  | 9,089.20  | 9,089.20         | 2,572.00               | 1,959.00  | 4,531.00  |                  |
| P9-REM   | Control building removals (as req'd.)   | 1            | 22,302.85              | 0.00      | 22,302.85 | 22,302.85        | 16,352.00            | 0.00      | 16,352.00 | 16,352.00        | 18,245.00              | 8,133.00  | 26,378.00 |                  |
| Q1   | 1/0 Al. primary station power cable (ft.)   | 70           | 11.51                  | 14.15     | 25.66     | 1,796.20         | 16.35                | 3.83      | 20.18     | 1,412.60         | 1.61                   | 3.27      | 4.88      |                  |
| Q2   | 4/0-4/0-2/0 Al. triplex secondary station power cable (ft.)   | 220          | 8.49                   | 2.58      | 11.07     | 2,435.40         | 8.18                 | 4.59      | 12.77     | 2,809.40         | 4.12                   | 2.94      | 7.06      |                  |
| R1   | (2) Conductor #12, 2/C-#12 (ft.)  | 750          | 3.02                   | 0.37      | 3.39      | 2,542.50         | 4.09                 | 0.57      | 4.66      | 3,495.00         | 0.97                   | 0.46      | 1.43      |                  |
| R2   | (2) Conductor #10, 2/C-#10 (ft.)  | 6850         | 3.03                   | 0.52      | 3.55      | 24,317.50        | 2.45                 | 0.64      | 3.09      | 21,166.50        | 0.97                   | 0.66      | 1.63      |                  |
| R3   | (3) Conductor #10, 3/C-#10 (ft.)  | 2275         | 3.18                   | 0.89      | 4.07      | 9,259.25         | 3.27                 | 0.98      | 4.25      | 9,668.75         | 0.97                   | 0.98      | 1.95      |                  |
| R4   | (3) Conductor #8, 3/C-#8 (ft.)  | 195          | 2.85                   | 2.31      | 5.16      | 1,006.20         | 8.18                 | 3.16      | 11.34     | 2,211.30         | 0.97                   | 1.96      | 2.93      |                  |
| R5   | (4) Conductor #12, 4/C-#12 (ft.)  | 570          | 3.27                   | 0.73      | 4.00      | 2,280.00         | 6.54                 | 1.06      | 7.60      | 4,332.00         | 0.97                   | 0.79      | 1.76      |                  |
| R6   | (4) Conductor #10, 4/C-#10 (ft.)  | 8880         | 2.86                   | 0.96      | 3.82      | 33,921.60        | 2.04                 | 1.77      | 3.81      | 33,832.80        | 0.97                   | 1.11      | 2.08      |                  |
| R7   | (7) Conductor #12, 7/C-#12 (ft.)  | 205          | 3.52                   | 1.82      | 5.34      | 1,094.70         | 6.54                 | 1.73      | 8.27      | 1,695.35         | 0.97                   | 1.96      | 2.93      |                  |
| R8   | (12) Conductor #12, 12/C-#12 (ft.)  | 9015         | 4.42                   | 2.04      | 6.46      | 58,236.90        | 2.04                 | 2.37      | 4.41      | 39,756.15        | 0.97                   | 2.29      | 3.26      |                  |
| R9-REM   | Removal of control cable (lot)  | 1            | 27,878.23              | 0.00      | 27,878.23 | 27,878.23        | 16,352.00            | 0.00      | 16,352.00 | 16,352.00        | 4,823.00               | 4,823.00  | 4,823.00  |                  |
| S1   | Overhead cable, (1) 3/8" EHS shielding wire (ft.)   | 410          | 6.13                   | 3.30      | 9.43      | 3,866.30         | 12.26                | 7.13      | 19.39     | 7,949.90         | 10.05                  | 7.65      | 17.70     |                  |
| T1   | Testing, 69 kV circuit breaker (ea.)  | 5            | 3,359.11               | 0.00      | 3,359.11  | 16,795.55        | 3,000.00             | 0.00      | 3,000.00  | 15,000.00        | 3,281.00               | 3,281.00  | 16,405.00 |                  |
| T2   | Testing, fiber equipment (lot)  | 1            | 473.72                 | 0.00      | 473.72    | 473.72           | 1,200.00             | 0.00      | 1,200.00  | 1,200.00         | 4,101.00               | 4,101.00  | 4,101.00  |                  |
| T3   | Testing, battery bank (lot)   | 1            | 1,570.97               | 0.00      | 1,570.97  | 1,570.97         | 3,000.00             | 0.00      | 3,000.00  | 3,000.00         | 3,281.00               | 3,281.00  | 3,281.00  |                  |
| U1   | Mobilization (as req'd.)  | 1            | 45,995.55              | 0.00      | 45,995.55 | 45,995.55        | 62,436.00            | 0.00      | 62,436.00 | 62,436.00        | 13,713.00              | 3,264.00  | 16,977.00 |                  |
|  |   |              | TOTAL PART 1:          |           |           |                  | TOTAL PART 1:        |           |           |                  | TOTAL PART 1:          |           |           |                  |
|  |   |              | 1,184,104.92           |           |           |                  | 1,349,570.20         |           |           |                  | 1,541,622.05           |           |           |                  |
| <b>PART 2: 69 kV SUBSTATION IMPROVEMENTS RED ROCK TERMINAL</b> |   |              |                        |           |           |                  |                      |           |           |                  |                        |           |           |                  |
| A1   | Steel, 69 kV deadend structure (ea.)  | 1            | 4,957.12               | 0.00      | 4,957.12  | 4,957.12         | 6,182.40             | 0.00      | 6,182.40  | 6,182.40         | 7,605.00               | 741.00    | 8,346.00  |                  |
| A2   | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 1            | 332.54                 | 0.00      | 332.54    | 332.54           | 2,318.40             | 0.00      | 2,318.40  | 2,318.40         | 775.00                 | 170.00    | 945.00    |                  |
| A3   | Steel, 69 kV GOAB switch support, double leg, high (ea.)  | 3            | 496.81                 | 0.00      | 496.81    | 1,490.43         | 2,318.40             | 0.00      | 2,318.40  | 6,955.20         | 1,873.00               | 170.00    | 2,043.00  |                  |
| A4   | Steel, 69 kV bus support, single leg, straight, high (ea.)  | 1            | 165.47                 | 0.00      | 165.47    | 165.47           | 2,318.40             | 0.00      | 2,318.40  | 2,318.40         | 775.00                 | 170.00    | 945.00    |                  |
| A5   | Steel, 69 kV 45° bus support, single leg (ea.)  | 1            | 208.67                 | 0.00      | 208.67    | 208.67           | 2,318.40             | 0.00      | 2,318.40  | 2,318.40         | 775.00                 | 170.00    | 945.00    |                  |
| B1   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new switch stand (ea.)      | 3            | 1,157.59               | 0.00      | 1,157.59  | 3,472.77         | 4,636.80             | 0.00      | 4,636.80  | 13,910.40        | 1,648.00               | 27.00     | 1,675.00  |                  |
| B2   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.) | 1            | 1,323.75               | 0.00      | 1,323.75  | 1,323.75         | 4,636.80             | 0.00      | 4,636.80  | 4,636.80         | 1,648.00               | 27.00     | 1,675.00  |                  |
| C1   | 72 kV lightning arrester, 1Ø, station class (ea.)   | 3            | 83.82                  | 0.00      | 83.82     | 251.46           | 309.12               | 0.00      | 309.12    | 927.36           | 412.00                 | 412.00    | 1,236.00  |                  |
| E1   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 2            | 2,480.24               | 121.26    | 2,601.50  | 5,203.00         | 4,636.80             | 0.00      | 4,636.80  | 9,273.60         | 2,361.00               | 147.00    | 2,508.00  |                  |
| E2   | Capacitor bank with reactors and steel stand (as req'd.)  | 1            | 5,115.33               | 167.84    | 5,283.17  | 5,283.17         | 7,728.00             | 580.00    | 8,308.00  | 8,308.00         | 2,361.00               | 147.00    | 2,508.00  |                  |

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.   | Name and Description of Construction Unit   | No. of Units | Primoris Aevenia, Inc. |           |           |                  | Harold K. Scholz Co. |           |           |                  | The Ryan Company, Inc. |           |           |                  |
|--|---|--------------|------------------------|-----------|-----------|------------------|----------------------|-----------|-----------|------------------|------------------------|-----------|-----------|------------------|
|  |   |              | Bid Security:          |           |           |                  | Bid Security:        |           |           |                  | Bid Security:          |           |           |                  |
|  |   |              | Labor                  | Material  | L & M     | Ext. Price L & M | Labor                | Material  | L & M     | Ext. Price L & M | Labor                  | Material  | L & M     | Ext. Price L & M |
| G1   | Control panel (ea.)   | 2            | 207.24                 | 0.00      | 207.24    | 414.48           | 772.80               | 0.00      | 772.80    | 1,545.60         | 687.00                 | 131.00    | 818.00    | 1,636.00         |
| H1   | PT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on separate steel stand (ea.)  | 1            | 1,255.68               | 1,406.57  | 2,662.25  | 2,662.25         | 2,318.40             | 1,015.00  | 3,333.40  | 3,333.40         | 1,263.00               | 670.00    | 1,933.00  | 1,933.00         |
| H2   | CT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on deadend H-frame (ea.)   | 1            | 2,088.89               | 2,685.39  | 4,774.28  | 4,774.28         | 2,318.40             | 1,015.00  | 3,333.40  | 3,333.40         | 1,263.00               | 670.00    | 1,933.00  | 1,933.00         |
| L1   | Foundation, 69 kV deadend structure, per leg (ea.)  | 2            | 9,608.70               | 0.00      | 9,608.70  | 19,217.40        | 7,769.40             | 5,175.00  | 12,944.40 | 25,888.80        | 35,855.00              |           | 35,855.00 | 71,710.00        |
| L2   | Foundation, 69 kV GOAB switch support, high, per leg (ea.)  | 6            | 2,232.46               | 0.00      | 2,232.46  | 13,394.76        | 1,035.00             | 703.80    | 1,738.80  | 10,432.80        | 3,908.00               |           | 3,908.00  | 23,448.00        |
| L3   | Foundation, 69 kV bus support, high, per leg (ea.)  | 1            | 2,363.72               | 0.00      | 2,363.72  | 2,363.72         | 1,083.30             | 848.70    | 1,932.00  | 1,932.00         | 3,908.00               |           | 3,908.00  | 3,908.00         |
| L4   | Foundation, 69 kV 45° bus support, per leg (ea.)  | 1            | 2,363.72               | 0.00      | 2,363.72  | 2,363.72         | 1,083.30             | 848.70    | 1,932.00  | 1,932.00         | 4,332.00               |           | 4,332.00  | 4,332.00         |
| L5   | Foundation, 69 kV circuit breaker pad, per pad (ea.)  | 2            | 9,188.70               | 0.00      | 9,188.70  | 18,377.40        | 3,450.00             | 3,105.00  | 6,555.00  | 13,110.00        | 8,727.00               | 523.00    | 9,250.00  | 18,500.00        |
| L6   | Foundation, capacitor bank, per pad (ea.)   | 1            | 12,863.72              | 0.00      | 12,863.72 | 12,863.72        | 6,900.00             | 4,600.00  | 11,500.00 | 11,500.00        | 12,772.00              | 523.00    | 13,295.00 | 13,295.00        |
| L7   | Addition or deletion of 1 cubic yard of concrete and rebar for a pier type foundation (cu. yd.)   | 1            | 578.72                 | 0.00      | 578.72    | 578.72           | 496.80               | 331.20    | 828.00    | 828.00           | 2,141.00               |           | 2,141.00  | 2,141.00         |
| L8   | Addition or deletion of 1 cubic yard of concrete and rebar for a slab type foundation (cu. yd.)   | 1            | 578.72                 | 0.00      | 578.72    | 578.72           | 345.00               | 230.00    | 575.00    | 575.00           | 2,108.00               |           | 2,108.00  | 2,108.00         |
| O1   | Personnel grounding platform (ea.)  | 4            | 207.90                 | 10.14     | 218.04    | 872.16           | 345.00               | 57.50     | 402.50    | 1,610.00         | 138.00                 | 425.00    | 563.00    | 2,252.00         |
| T1   | Testing, 69 kV circuit breaker (ea.)  | 2            | 3,460.95               | 0.00      | 3,460.95  | 6,921.90         | 4,025.00             | 0.00      | 4,025.00  | 8,050.00         | 3,281.00               |           | 3,281.00  | 6,562.00         |
| T2   | Testing, 69 kV capacitor bank (ea.)   | 1            | 2,048.72               | 0.00      | 2,048.72  | 2,048.72         | 5,175.00             | 0.00      | 5,175.00  | 5,175.00         | 3,281.00               |           | 3,281.00  | 3,281.00         |
|  |   |              | TOTAL PART 2:          |           |           |                  | TOTAL PART 2:        |           |           |                  | TOTAL PART 2:          |           |           |                  |
|  |   |              | 110,120.33             |           |           |                  | 146,394.96           |           |           |                  | 189,809.00             |           |           |                  |
| <b>PART 3: 69 kV TRANSMISSION LINE IMPROVEMENTS</b>    |   |              |                        |           |           |                  |                      |           |           |                  |                        |           |           |                  |
| DBS-1  | Direct-Buried Steel Pole, Str #1 (ea.)  | 1            | 3,736.02               | 12,583.24 | 16,319.26 | 16,319.26        | 5,851.20             | 22,692.50 | 28,543.70 | 28,543.70        | 16,147.00              | 20,704.00 | 36,851.00 | 36,851.00        |
| DBS-2  | Direct-Buried Steel Pole, Str #2 (ea.)  | 1            | 3,690.72               | 11,556.77 | 15,247.49 | 15,247.49        | 5,851.20             | 21,242.50 | 27,093.70 | 27,093.70        | 16,147.00              | 19,333.00 | 35,480.00 | 35,480.00        |
| TS-4SX   | 69 kV Vertical Deadend Corner, Steel Pole 3Ø (ea.)  | 2            | 2,516.89               | 540.26    | 3,057.15  | 6,114.30         | 1,545.60             | 1,261.50  | 2,807.10  | 5,614.20         | 1,784.00               | 1,567.00  | 3,351.00  | 6,702.00         |
| TM-1   | 69 kV Phase Conductor Deadend, 1Ø (ea.)   | 6            | 365.33                 | 336.80    | 702.13    | 4,212.78         | 1,545.60             | 275.50    | 1,821.10  | 10,926.60        | 960.00                 | 816.00    | 1,776.00  | 10,656.00        |
| TM-1A  | 69 kV Phase Conductor Deadend w/ Anchor Shackles, 1Ø (ea.)  | 3            | 365.34                 | 336.80    | 702.14    | 2,106.42         | 1,545.60             | 275.50    | 1,821.10  | 5,463.30         | 1,097.00               | 849.00    | 1,946.00  | 5,838.00         |
| TM-2   | OHGW Conductor Deadend (ea.)  | 3            | 137.73                 | 149.54    | 287.27    | 861.81           | 1,545.60             | 246.50    | 1,792.10  | 5,376.30         | 665.00                 | 523.00    | 1,188.00  | 3,564.00         |
| TM-3   | OPGW Conductor Deadend (ea.)  | 2            | 276.42                 | 371.96    | 648.38    | 1,296.76         | 1,545.60             | 377.00    | 1,922.60  | 3,845.20         | 665.00                 | 653.00    | 1,318.00  | 2,636.00         |
| 2-266 ACS  | 69 kV Phase Conductor, T2 266 ACSR, Partndge (Mft.)   | 1            | 1,323.11               | 194.70    | 1,517.81  | 2,124.93         | 7,728.00             | 7,250.00  | 14,978.00 | 20,969.20        | 7,953.00               | 3,917.00  | 11,870.00 | 16,618.00        |
| 3/8 EHS  | OHGW Conductor, 3/8", 7 str., Extra High Strength Steel (Mft.)  | 1            | 1,171.67               | 0.83      | 1,172.50  | 703.50           | 2,318.40             | 1,740.00  | 4,058.40  | 2,435.04         | 6,580.00               | 2,611.00  | 9,191.00  | 5,514.60         |
| SPG  | Steel Pole Ground (ea.)   | 2            | 210.80                 | 45.02     | 255.82    | 511.64           | 772.80               | 725.00    | 1,497.80  | 2,995.60         | 548.00                 | 392.00    | 940.00    | 1,880.00         |
| RC   | Remove & Re-install Conductor, OPGW & T2-266 (as req'd)   | 1            | 2,732.51               | 60.86     | 2,793.37  | 2,793.37         | 6,182.40             | 0.00      | 6,182.40  | 6,182.40         | 9,052.00               | 1,959.00  | 11,011.00 | 11,011.00        |
| RP   | Remove structure and pole top assembly (ea.)  | 2            | 274.70                 | 34.77     | 309.47    | 618.94           | 9,991.20             | 0.00      | 9,991.20  | 19,982.40        | 6,904.00               |           | 6,904.00  | 13,808.00        |
|  |   |              | TOTAL PART 3:          |           |           |                  | TOTAL PART 3:        |           |           |                  | TOTAL PART 3:          |           |           |                  |
|  |   |              | 52,911.20              |           |           |                  | 139,427.64           |           |           |                  | 150,558.60             |           |           |                  |
| <b>PART 4: CAPACITOR BANK ADDITION AT CLARK STREET</b> |   |              |                        |           |           |                  |                      |           |           |                  |                        |           |           |                  |
| A1   | Steel, 69 kV 45° bus support, Contractor Furnished, single leg (ea.)  | 1            | 207.63                 | 7,131.10  | 7,338.73  | 7,338.73         | 2,318.40             | 2,490.90  | 4,809.30  | 4,809.30         | 1,625.00               | 6,191.00  | 7,816.00  | 7,816.00         |
| A2-REM   | Removal of existing steel, 69 kV GOAB switch support, double leg, low at West Sub (ea.)   | 1            | 372.93                 | 0.00      | 372.93    | 372.93           | 722.80               | 0.00      | 722.80    | 722.80           | 1,099.00               |           | 1,099.00  | 1,099.00         |
| B1-REM   | Removal of existing switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on existing switch stand at West Sub (ea.) | 1            | 661.02                 | 0.00      | 661.02    | 661.02           | 1,545.60             | 0.00      | 1,545.60  | 1,545.60         | 1,374.00               |           | 1,374.00  | 1,374.00         |
| C1   | Remove and replace capacitor bank lighting arrester (ea.)   | 3            | 371.68                 | 1,143.33  | 1,515.01  | 4,545.03         | 386.40               | 1,305.00  | 1,691.40  | 5,074.20         | 824.00                 | 980.00    | 1,804.00  | 5,412.00         |
| D1   | Bus work, jumpers, insulators, connectors, cables, etc. at Clark St. Sub (as req'd.)  | 1            | 9,429.28               | 2,993.88  | 12,423.16 | 12,423.16        | 7,728.00             | 2,885.50  | 10,613.50 | 10,613.50        | 4,326.00               | 9,845.00  | 14,171.00 | 14,171.00        |
| E1   | Remove/relocate existing sync circuit breaker, 69 kV, 3Ø, SF6, with steel stand to Clark St. Sub (ea.)  | 1            | 2,814.17               | 1,204.97  | 4,019.14  | 4,019.14         | 4,636.80             | 0.00      | 4,636.80  | 4,636.80         | 3,323.00               | 409.00    | 3,732.00  | 3,732.00         |
| E2   | Remove/relocate existing capacitor bank with steel stand to Clark St. Sub (ea.)   | 1            | 8,915.82               | 167.85    | 9,083.67  | 9,083.67         | 6,182.40             | 0.00      | 6,182.40  | 6,182.40         | 5,245.00               | 2,236.00  | 7,481.00  | 7,481.00         |
| G1   | Control panel at Clark St. Sub (ea.)  | 1            | 249.04                 | 0.00      | 249.04    | 249.04           | 772.80               | 0.00      | 772.80    | 772.80           | 687.00                 | 131.00    | 818.00    | 818.00           |
| K1   | Conduit, 2" PVC at Clark St. Sub (ft.)  | 10           | 30.02                  | 1.77      | 31.79     | 317.90           | 85.33                | 6.56      | 91.89     | 918.90           | 19.40                  | 7.31      | 26.71     | 267.10           |
| K2   | Conduit, 4" PVC at Clark St. Sub (ft.)  | 60           | 18.80                  | 5.03      | 23.83     | 1,429.80         | 30.82                | 9.25      | 40.07     | 2,404.20         | 15.47                  | 5.05      | 20.52     | 1,231.20         |
| L1   | Foundation, 69 kV circuit breaker pad, per pad at Clark St. Sub (ea.)   | 1            | 9,188.72               | 0.00      | 9,188.72  | 9,188.72         | 3,450.00             | 2,532.00  | 5,982.00  | 5,982.00         | 8,730.00               | 523.00    | 9,253.00  | 9,253.00         |
| L2   | Foundation, capacitor bank pad, at Clark St. Sub (ea.)  | 1            | 12,863.72              | 0.00      | 12,863.72 | 12,863.72        | 6,900.00             | 4,832.00  | 11,732.00 | 11,732.00        | 12,772.00              | 627.00    | 13,399.00 | 13,399.00        |
| L3   | Foundation, 69 kV 45° bus support, per leg (ea.)  | 1            | 2,363.72               | 0.00      | 2,363.72  | 2,363.72         | 902.75               | 707.25    | 1,610.00  | 1,610.00         | 4,332.00               |           | 4,332.00  | 4,332.00         |
| L4-REM   | Removal of 69 kV GOAB switch foundation, per pier at West Sub (ea.)   | 2            | 1,366.20               | 0.00      | 1,366.20  | 2,732.40         | 2,875.00             | 0.00      | 2,875.00  | 5,750.00         | 3,937.00               |           | 3,937.00  | 7,874.00         |
| L5-REM   | Removal of 69 kV sync circuit breaker foundation at West Sub (ea.)  | 1            | 3,938.72               | 0.00      | 3,938.72  | 3,938.72         | 1,725.00             | 0.00      | 1,725.00  | 1,725.00         | 7,874.00               |           | 7,874.00  | 7,874.00         |

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.                                 | Name and Description of Construction Unit  | No. of Units | Primoris Aevenia, Inc.                  |          |           |                  | Harold K. Scholz Co.                    |           |           |                  | The Ryan Company, Inc.                  |           |            |                  |
|--|--|--------------|---|----------|-----------|------------------|---|-----------|-----------|------------------|---|-----------|------------|------------------|
|  |  |              | Bid Security:                           |          |           |                  | Bid Security:                           |           |           |                  | Bid Security:                           |           |            |                  |
|  |  |              | Labor                                   | Material | L & M     | Ext. Price L & M | Labor                                   | Material  | L & M     | Ext. Price L & M | Labor                                   | Material  | L & M      | Ext. Price L & M |
| L6-REM                                   | Removal of capacitor bank foundation at West Sub (ea.)   | 1            | 4,201.22                                | 0.00     | 4,201.22  | 4,201.22         | 2,300.00                                | 0.00      | 2,300.00  | 2,300.00         | 11,810.00                               | 11,810.00 | 11,810.00  | 11,810.00        |
| O1                                       | Connections to existing ground grid at Clark St. Sub (as req'd.)   | 1            | 1,024.78                                | 447.61   | 1,472.39  | 1,472.39         | 2,120.60                                | 2,160.50  | 4,281.10  | 4,281.10         | 1,483.00                                | 1,191.00  | 2,674.00   | 2,674.00         |
| O2-REM                                   | Removal of existing personnel grounding platform at West Sub (ea.)   | 2            | 125.11                                  | 0.00     | 125.11    | 250.22           | 772.80                                  | 0.00      | 772.80    | 1,545.60         | 69.00                                   | 69.00     | 69.00      | 138.00           |
| R1                                       | (2) Conductor #12, 2/C-#12 at Clark St. Sub (ft.)  | 85           | 3.01                                    | 0.37     | 3.38      | 287.30           | 3.86                                    | 1.29      | 5.15      | 437.75           | 0.97                                    | 0.46      | 1.43       | 121.55           |
| R2                                       | (2) Conductor #10, 2/C-#10 at Clark St. Sub (ft.)  | 325          | 3.02                                    | 0.52     | 3.54      | 1,150.50         | 3.86                                    | 0.81      | 4.67      | 1,517.75         | 0.97                                    | 0.66      | 1.63       | 529.75           |
| R3                                       | (2) Conductor #6, 2/C-#6 at Clark St. Sub (ft.)  | 220          | 2.69                                    | 0.00     | 2.69      | 591.80           | 3.09                                    | 2.87      | 5.96      | 1,311.20         | 0.97                                    | 3.27      | 4.24       | 932.80           |
| R4                                       | (3) Conductor #10, 3/C-#10 at Clark St. Sub (ft.)  | 220          | 3.18                                    | 0.89     | 4.07      | 895.40           | 3.09                                    | 1.23      | 4.32      | 950.40           | 0.97                                    | 0.98      | 1.95       | 429.00           |
| R5                                       | (4) Conductor #12, 4/C-#12 at Clark St. Sub (ft.)  | 60           | 3.27                                    | 0.73     | 4.00      | 240.00           | 7.73                                    | 2.07      | 9.80      | 588.00           | 0.97                                    | 0.79      | 1.76       | 105.60           |
| R6                                       | (4) Conductor #10, 4/C-#10 at Clark St. Sub (ft.)  | 940          | 2.86                                    | 0.96     | 3.82      | 3,590.80         | 2.32                                    | 1.74      | 4.06      | 3,816.40         | 0.97                                    | 1.11      | 2.08       | 1,955.20         |
| R7                                       | (7) Conductor #12, 7/C-#12 at Clark St. Sub (ft.)  | 210          | 3.52                                    | 1.82     | 5.34      | 1,121.40         | 3.09                                    | 1.64      | 4.73      | 993.30           | 0.97                                    | 1.96      | 2.93       | 615.30           |
| R8                                       | (12) Conductor #12, 12/C-#12 at Clark St. Sub (ft.)  | 690          | 4.42                                    | 2.04     | 6.46      | 4,457.40         | 3.86                                    | 2.33      | 6.19      | 4,271.10         | 0.97                                    | 2.29      | 3.26       | 1,249.00         |
| R9                                       | (4) Conductor #10 Shielded, 4/C-#10SH at Clark St. Sub (ft.)   | 210          | 3.68                                    | 0.49     | 4.17      | 875.70           | 3.86                                    | 2.16      | 6.02      | 1,264.20         | 0.97                                    | 0.98      | 1.95       | 409.50           |
| T1                                       | Testing, 69 kV circuit breaker (ea.)   | 1            | 4,090.97                                | 0.00     | 4,090.97  | 4,090.97         | 6,325.00                                | 0.00      | 6,325.00  | 6,325.00         | 3,281.00                                |           | 3,281.00   | 3,281.00         |
| T2                                       | Testing, 69 kV capacitor bank (ea.)  | 1            | 2,048.72                                | 0.00     | 2,048.72  | 2,048.72         | 6,325.00                                | 0.00      | 6,325.00  | 6,325.00         | 3,281.00                                |           | 3,281.00   | 3,281.00         |
|  |  |              | TOTAL PART 4:                           |          |           |                  | TOTAL PART 4:                           |           |           |                  | TOTAL PART 4:                           |           |            |                  |
|  |  |              | 96,801.52                               |          |           |                  | 100,406.30                              |           |           |                  | 114,969.40                              |           |            |                  |
| <b>PART 5: DISTRIBUTION IMPROVEMENTS</b> |  |              |   |          |           |                  |   |           |           |                  |   |           |            |                  |
| A1                                       | Steel, 14'-0" tall stand for relocated circuit switcher (ea.)  | 1            | 332.54                                  | 0.00     | 332.54    | 332.54           | 3,091.20                                | 13,456.00 | 16,547.20 | 16,547.20        | 2,844.00                                | 11,635.00 | 14,479.00  | 14,479.00        |
| E1                                       | Relocate existing 69 kV circuit switcher (as req'd.)   | 1            | 1,398.45                                | 167.82   | 1,566.27  | 1,566.27         | 7,728.00                                | 0.00      | 7,728.00  | 7,728.00         | 3,187.00                                | 539.00    | 3,726.00   | 3,726.00         |
| G1                                       | Control panel (ea.)  | 2            | 248.32                                  | 486.04   | 734.36    | 1,468.72         | 772.80                                  | 0.00      | 772.80    | 1,545.60         | 687.00                                  | 131.00    | 818.00     | 1,636.00         |
| G2                                       | Switchgear (as req'd)  | 1            | 8,247.66                                | 7,216.99 | 15,464.65 | 15,464.65        | 11,592.00                               | 0.00      | 11,592.00 | 11,592.00        | 5,493.00                                | 7,833.00  | 13,326.00  | 13,326.00        |
| G3                                       | Remove and replace switchgear panel door "B1" (ea.)  | 1            | 1,983.56                                | 0.00     | 1,983.56  | 1,983.56         | 2,318.40                                | 0.00      | 2,318.40  | 2,318.40         | 483.00                                  | 653.00    | 1,136.00   | 1,136.00         |
| G4                                       | Remove and replace switchgear panel door "B2-B6" (ea.)   | 5            | 1,983.57                                | 0.00     | 1,983.57  | 9,917.85         | 2,318.40                                | 0.00      | 2,318.40  | 11,592.00        | 483.00                                  | 653.00    | 1,136.00   | 5,680.00         |
| G5                                       | Remove and replace switchgear panel door "B7" (ea.)  | 1            | 1,983.56                                | 0.00     | 1,983.56  | 1,983.56         | 2,318.40                                | 0.00      | 2,318.40  | 2,318.40         | 483.00                                  | 653.00    | 1,136.00   | 1,136.00         |
| G6                                       | Remove and replace switchgear panel door "B8" (ea.)  | 1            | 1,983.56                                | 0.00     | 1,983.56  | 1,983.56         | 2,318.40                                | 0.00      | 2,318.40  | 2,318.40         | 483.00                                  | 653.00    | 1,136.00   | 1,136.00         |
| G7                                       | Panel modifications, diesel plant (as req'd)   | 1            | 3,965.80                                | 42.60    | 4,008.40  | 4,008.40         | 1,545.60                                | 0.00      | 1,545.60  | 1,545.60         | 2,572.00                                | 3,264.00  | 5,836.00   | 5,836.00         |
| H1                                       | Relocate existing 10 MVA power transformer (as req'd.)   | 1            | 6,752.91                                | 242.30   | 6,995.21  | 6,995.21         | 15,166.20                               | 0.00      | 15,166.20 | 15,166.20        | 28,724.00                               |           | 28,724.00  | 28,724.00        |
| L1                                       | Foundation, circuit switcher, per leg (ea.)  | 1            | 4,726.22                                | 0.00     | 4,726.22  | 4,726.22         | 2,898.00                                | 1,932.00  | 4,830.00  | 4,830.00         | 7,641.00                                |           | 7,641.00   | 7,641.00         |
| L2                                       | Foundation, transformer pad with oil containment (ea.)   | 1            | 31,763.72                               | 0.00     | 31,763.72 | 31,763.72        | 23,000.00                               | 14,375.00 | 37,375.00 | 37,375.00        | 128,360.00                              | 9,922.00  | 138,282.00 | 138,282.00       |
| O1                                       | Personnel grounding platform (ea.)   | 1            | 208.55                                  | 40.56    | 249.11    | 249.11           | 772.80                                  | 0.00      | 772.80    | 772.80           | 138.00                                  | 425.00    | 563.00     | 563.00           |
| Q1                                       | Power cable, 15 kV, (12) 750 kcmil insulated Cu. and (4) 350 bare Cu., 600 V, neutral with terminations on both ends (ft.) | 700          | 90.39                                   | 190.12   | 280.51    | 196,357.00       | 38.64                                   | 241.91    | 280.55    | 196,385.00       | 45.82                                   | 202.34    | 248.16     | 173,712.00       |
| Q2                                       | Power cable, 15 kV, (6) 350 kcmil insulated Cu. and (2) 4/0 bare Cu., 600 V, neutral with terminations on both ends (ft.)  | 170          | 41.37                                   | 70.29    | 111.66    | 18,982.20        | 77.28                                   | 105.75    | 183.03    | 31,115.10        | 34.19                                   | 74.07     | 108.26     | 18,404.20        |
| Q3-REM                                   | Removal of existing power cable (lot)  | 1            | 47,393.93                               | 0.00     | 47,393.93 | 47,393.93        | 4,636.80                                | 0.00      | 4,636.80  | 4,636.80         | 4,019.00                                |           | 4,019.00   | 4,019.00         |
| T1                                       | Testing, 69 kV, 10 MVA power transformer (ea.)   | 1            | 4,925.72                                | 0.00     | 4,925.72  | 4,925.72         | 7,475.00                                | 0.00      | 7,475.00  | 7,475.00         | 12,303.00                               |           | 12,303.00  | 12,303.00        |
| T2                                       | Testing, 69 kV circuit switcher (ea.)  | 1            | 4,090.97                                | 0.00     | 4,090.97  | 4,090.97         | 5,175.00                                | 0.00      | 5,175.00  | 5,175.00         | 3,281.00                                |           | 3,281.00   | 3,281.00         |
| T3                                       | Testing, 750 & 350 power cable and 350 & 4/0 neutral cable (lot)   | 1            | 9,020.72                                | 0.00     | 9,020.72  | 9,020.72         | 2,318.40                                | 0.00      | 2,318.40  | 2,318.40         | 12,304.05                               |           | 12,304.05  | 12,304.05        |
|  |  |              | TOTAL PART 5:                           |          |           |                  | TOTAL PART 5:                           |           |           |                  | TOTAL PART 5:                           |           |            |                  |
|  |  |              | 363,213.91                              |          |           |                  | 362,754.90                              |           |           |                  | 447,324.25                              |           |            |                  |
|  |  |              | <b>TOTAL PARTS 1, 2, 3, 4, &amp; 5:</b> |          |           |                  | <b>TOTAL PARTS 1, 2, 3, 4, &amp; 5:</b> |           |           |                  | <b>TOTAL PARTS 1, 2, 3, 4, &amp; 5:</b> |           |            |                  |
|  |  |              | <b>\$1,807,151.88</b>                   |          |           |                  | <b>\$2,008,554.00</b>                   |           |           |                  | <b>\$2,443,979.30</b>                   |           |            |                  |

= Corrected Amount

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.                                     | Name and Description of Construction Unit   | No. of Units | Brink Constructors, Inc. |            |            |             | Hooper Corporation |           |            |             | B & B Electrical |            |             |             |
|--|---|--------------|--------------------------|------------|------------|-------------|--------------------|-----------|------------|-------------|------------------|------------|-------------|-------------|
|  |   |              | Bid Security:            |            |            | Ext. Price  | Bid Security:      |           |            | Ext. Price  | Bid Security:    |            |             | Ext. Price  |
|  |   |              | Labor                    | Material   | L & M      |             | Labor              | Material  | L & M      |             | Labor            | Material   | L & M       |             |
| <b>PART 1: 69 kV SUBSTATION IMPROVEMENTS</b> |   |              |                          |            |            |             |                    |           |            |             |                  |            |             |             |
| A1   | Steel, 69 kV deadend structure (ea.)  | 3            | \$6,342.00               | \$0.00     | \$6,342.00 | \$19,026.00 | \$7,380.00         | \$0.00    | \$7,380.00 | \$22,140.00 | \$24,669.41      | \$1,860.68 | \$26,530.09 | \$79,590.27 |
| A2   | Steel, 69 kV GOAB switch support, double leg, low (ea.)   | 4            | 906.00                   | 0.00       | 906.00     | 3,624.00    | 2,013.00           | 0.00      | 2,013.00   | 8,052.00    | 2,072.97         | 0.00       | 2,072.97    | 8,291.89    |
| A3   | Steel, 69 kV bus support, single leg, straight, low (ea.)   | 2            | 302.00                   | 0.00       | 302.00     | 604.00      | 537.00             | 0.00      | 537.00     | 1,074.00    | 2,103.91         | 0.00       | 2,103.91    | 4,207.82    |
| A4   | Steel, 69 kV 45° bus support, single leg (ea.)  | 3            | 453.00                   | 0.00       | 453.00     | 1,359.00    | 1,073.00           | 0.00      | 1,073.00   | 3,219.00    | 2,062.66         | 0.00       | 2,062.66    | 6,187.98    |
| A5   | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 3            | 453.00                   | 0.00       | 453.00     | 1,359.00    | 1,342.00           | 0.00      | 1,342.00   | 4,026.00    | 2,062.66         | 0.00       | 2,062.66    | 6,187.98    |
| A6   | Steel, lightning shield mast (ea.)  | 5            | 906.00                   | 0.00       | 906.00     | 4,530.00    | 2,415.00           | 0.00      | 2,415.00   | 12,075.00   | 3,093.99         | 498.70     | 3,592.69    | 17,963.45   |
| A7-REM                                       | Removal of existing steel, 69 kV deadend structure (ea.)  | 2            | 9,199.51                 | 0.00       | 9,199.51   | 18,399.02   | 4,026.00           | 0.00      | 4,026.00   | 8,052.00    | 8,291.89         | 0.00       | 8,291.89    | 16,583.78   |
| A8-REM                                       | Removal of existing steel, 69 kV GOAB switch support, double leg, low (ea.)   | 2            | 673.75                   | 0.00       | 673.75     | 1,347.50    | 2,684.00           | 0.00      | 2,684.00   | 5,368.00    | 1,051.96         | 0.00       | 1,051.96    | 2,103.92    |
| A9-REM                                       | Removal of existing steel, 69 kV, 3Ø, PT support, double leg (ea.)  | 1            | 517.01                   | 0.00       | 517.01     | 517.01      | 1,073.00           | 0.00      | 1,073.00   | 2,146.00    | 990.08           | 0.00       | 990.08      | 990.08      |
| A10-REM                                      | Removal of existing steel, lightning shield mast (ea.)  | 2            | 1,347.51                 | 0.00       | 1,347.51   | 2,695.02    | 1,342.00           | 0.00      | 1,342.00   | 2,684.00    | 1,051.96         | 0.00       | 1,051.96    | 2,103.92    |
| B1   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new or existing switch stand (ea.)              | 10           | 4,943.60                 | 0.00       | 4,943.60   | 49,436.00   | 8,050.00           | 0.00      | 8,050.00   | 80,500.00   | 6,361.24         | 39.67      | 6,400.91    | 64,009.10   |
| B2   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.)                     | 3            | 5,018.01                 | 0.00       | 5,018.01   | 15,054.03   | 8,050.00           | 0.00      | 8,050.00   | 24,150.00   | 6,352.99         | 37.78      | 6,390.77    | 19,172.31   |
| B3-REM                                       | Removal of existing switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on existing switch stand (ea.) | 8            | 2,334.75                 | 0.00       | 2,334.75   | 18,678.00   | 2,684.00           | 0.00      | 2,684.00   | 21,472.00   | 3,124.93         | 0.00       | 3,124.93    | 24,999.44   |
| C1   | 72 kV lightning arrester, 1Ø, station class (ea.)   | 9            | 308.20                   | 0.00       | 308.20     | 2,773.80    | 470.00             | 0.00      | 470.00     | 4,230.00    | 838.81           | 0.00       | 838.81      | 7,549.29    |
| C2-REM                                       | Removal of existing 72 kV lightning arrester, 1Ø, station class (ea.)   | 9            | 308.20                   | 0.00       | 308.20     | 2,773.80    | 268.00             | 0.00      | 268.00     | 2,412.00    | 412.53           | 0.00       | 412.53      | 3,712.77    |
| D1   | Bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1            | 156,285.00               | 202,991.58 | 359,276.58 | 359,276.58  | 152,827.00         | 83,585.00 | 236,412.00 | 236,412.00  | 151,729.23       | 53,695.37  | 205,424.60  | 205,424.60  |
| D2-REM                                       | Removal of existing bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1            | 21,291.00                | 0.00       | 21,291.00  | 21,291.00   | 6,037.96           | 0.00      | 6,037.96   | 6,037.96    | 8,291.89         | 0.00       | 8,291.89    | 8,291.89    |
| E1   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 3            | 2,033.02                 | 0.00       | 2,033.02   | 6,099.06    | 2,683.00           | 942.00    | 3,625.00   | 10,875.00   | 17,215.80        | 3,410.00   | 20,625.80   | 61,877.40   |
| E2   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on existing foundation (ea.)   | 2            | 2,126.02                 | 0.00       | 2,126.02   | 4,252.04    | 2,818.00           | 942.00    | 3,760.00   | 7,520.00    | 11,605.80        | 110.00     | 11,715.80   | 23,491.60   |
| E3-REM                                       | Removal of existing circuit breaker, 69 kV, 3Ø, SF6 with steel stand (ea.)  | 3            | 2,107.42                 | 0.00       | 2,107.42   | 6,322.26    | 1,342.00           | 0.00      | 1,342.00   | 4,026.00    | 4,895.24         | 110.00     | 5,005.24    | 15,015.72   |
| G1   | Control panel (ea.)   | 5            | 1,359.00                 | 9.06       | 1,368.06   | 6,840.30    | 1,610.00           | 59.00     | 1,669.00   | 8,345.00    | 3,093.99         | 66.12      | 3,160.11    | 15,008.55   |
| G2   | Sync panel (ea.)  | 1            | 1,510.00                 | 9.06       | 1,519.06   | 1,519.06    | 1,610.00           | 59.00     | 1,669.00   | 1,669.00    | 1,485.11         | 28.34      | 1,513.45    | 1,513.45    |
| G3-REM                                       | Removal of control panel (ea.)  | 7            | 772.50                   | 0.00       | 772.50     | 5,407.50    | 806.00             | 0.00      | 806.00     | 5,642.00    | 424.32           | 64.77      | 489.09      | 3,423.63    |
| H1   | PT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on separate steel stand (ea.)                                | 4            | 453.00                   | 423.52     | 876.52     | 3,506.08    | 4,294.00           | 2,707.00  | 7,001.00   | 28,004.00   | 4,393.46         | 2,203.07   | 6,596.53    | 26,386.12   |
| H2   | Relocation of existing 3Ø PTs, 69 kV, outdoor, with one new common junction box and miscellaneous equipment mounted on separate steel stand (ea.)     | 1            | 755.00                   | 0.00       | 755.00     | 755.00      | 5,099.00           | 2,707.00  | 7,806.00   | 7,806.00    | 3,712.79         | 1,955.13   | 5,667.92    | 5,667.92    |
| J1   | Fiber splice box, outdoors (ea.)  | 2            | 1,812.00                 | 2,573.19   | 4,385.19   | 8,770.38    | 1,342.00           | 2,590.00  | 3,932.00   | 7,864.00    | 1,978.39         | 1,589.28   | 3,567.67    | 7,135.34    |
| J2   | 24 fiber cable (ft.)  | 1245         | 3.02                     | 0.91       | 3.93       | 4,892.85    | 1.54               | 1.23      | 2.77       | 3,448.65    | 18.39            | 6.81       | 25.20       | 31,374.00   |
| J3   | Fiber termination (ea.)   | 192          | 65.74                    | 16.76      | 82.50      | 15,840.00   | 38.00              | 0.00      | 38.00      | 7,296.00    | 218.69           | 53.86      | 272.55      | 82,329.60   |
| J4   | Fiber jumpers and comm cables, install only (lot)   | 1            | 9,362.00                 | 0.00       | 9,362.00   | 9,362.00    | 9,056.00           | 159.00    | 9,215.00   | 9,215.00    | 3,485.09         | 0.00       | 3,485.09    | 3,485.09    |
| K1   | Conduit, 2" PVC (ft.)   | 1450         | 30.20                    | 4.53       | 34.73      | 50,358.50   | 28.01              | 4.35      | 32.36      | 46,922.00   | 108.80           | 10.22      | 119.02      | 172,579.00  |
| K2   | Conduit, 4" PVC (ft.)   | 1100         | 15.10                    | 8.83       | 23.93      | 26,323.00   | 24.28              | 7.00      | 31.28      | 34,408.00   | 23.64            | 10.53      | 34.17       | 37,587.00   |
| K3   | Power ductbank, (4) 5" PVC conduits installed 36" below subgrade (ft.)  | 222          | 45.30                    | 8.94       | 54.24      | 12,041.28   | 54.88              | 67.33     | 122.21     | 27,130.62   | 84.78            | 47.28      | 132.06      | 29,317.32   |
| K4   | Power ductbank, (4) 5" PVC conduits installed 24" below subgrade (ft.)  | 167          | 75.50                    | 15.66      | 91.16      | 15,223.72   | 58.17              | 65.83     | 124.00     | 20,708.00   | 85.70            | 46.05      | 131.75      | 22,062.25   |
| K5   | Power ductbank, (2) 5" PVC conduits (ft.)   | 101          | 75.50                    | 19.51      | 95.01      | 9,596.01    | 48.36              | 54.89     | 103.25     | 10,428.25   | 95.08            | 42.43      | 137.51      | 13,886.51   |
| K6   | Pedestrian rated cable trench (36" W x 16 1/4" D) with concrete lid (ft.)   | 60           | 151.00                   | 217.46     | 368.46     | 22,107.60   | 119.00             | 153.00    | 272.00     | 16,320.00   | 198.68           | 33.35      | 232.03      | 13,921.60   |
| K7   | HS20 drive over cable trench (43 1/2" W x 20" D) with fiberlite lid (ft.)   | 94           | 226.50                   | 317.62     | 544.12     | 51,147.28   | 127.00             | 251.00    | 378.00     | 35,532.00   | 194.06           | 32.98      | 227.04      | 21,341.76   |
| K8   | Cable trench drainage system, 4" HDPE drain tile, pea rock (ft.)  | 225          | 4.53                     | 2.83       | 7.36       | 1,656.00    | 27.43              | 28.77     | 56.20      | 12,645.00   | 41.45            | 15.00      | 56.45       | 12,701.25   |
| K9   | Pipe bollard with chain (ea.)   | 7            | 151.00                   | 67.17      | 218.17     | 1,527.19    | 1,073.00           | 707.00    | 1,780.00   | 12,460.00   | 120.00           | 145.00     | 265.00      | 1,855.00    |
| L1   | Foundation, 69 kV deadend structure, per leg (ea.)  | 6            | 9,249.56                 | 4,673.57   | 13,923.13  | 83,538.78   | 8,400.00           | 4,400.00  | 12,800.00  | 76,800.00   | 10,000.00        | 4,100.00   | 14,100.00   | 84,600.00   |
| L2   | Foundation, 69 kV GOAB switch support, low, per leg (ea.)   | 8            | 1,452.09                 | 571.84     | 2,023.93   | 16,191.44   | 1,100.00           | 604.00    | 1,704.00   | 13,632.00   | 5,650.00         | 1,000.00   | 6,650.00    | 53,200.00   |
| L3   | Foundation, 69 kV bus support, single leg, straight, low, per leg (ea.)   | 2            | 1,452.09                 | 571.84     | 2,023.93   | 4,047.86    | 1,100.00           | 604.00    | 1,704.00   | 3,408.00    | 5,650.00         | 1,000.00   | 6,650.00    | 13,300.00   |
| L4   | Foundation, 69 kV 45° bus support structure, per leg (ea.)  | 3            | 1,565.82                 | 631.36     | 2,197.18   | 6,591.54    | 1,200.00           | 690.00    | 1,890.00   | 5,670.00    | 5,650.00         | 1,000.00   | 6,650.00    | 19,950.00   |
| L5   | Foundation, 69 kV PT support structure, per leg (ea.)   | 5            | 1,509.49                 | 600.54     | 2,110.03   | 10,550.15   | 1,150.00           | 614.00    | 1,764.00   | 8,820.00    | 5,650.00         | 1,000.00   | 6,650.00    | 33,250.00   |
| L6   | Foundation, 69 kV circuit breaker pad, per pad (ea.)  | 3            | 13,410.88                | 3,292.86   | 16,703.74  | 50,111.22   | 13,000.00          | 3,662.00  | 16,662.00  | 49,986.00   | 5,775.00         | 1,430.00   | 7,205.00    | 21,615.00   |
| L7   | Addition or deletion of 1 cubic yard of concrete and rebar for a pier type foundation (cu. yd.)   | 2            | 772.80                   | 331.62     | 1,104.42   | 2,208.84    | 650.00             | 320.00    | 970.00     | 1,940.00    | 130.00           | 200.00     | 330.00      | 660.00      |
| L8   | Addition or deletion of 1 cubic yard of concrete and rebar for a slab type foundation (cu. yd.)   | 2            | 1,210.78                 | 290.17     | 1,500.95   | 3,001.90    | 950.00             | 293.00    | 1,243.00   | 2,486.00    | 180.00           | 195.00     | 375.00      | 750.00      |
| L9-REM                                       | Removal of 69 kV deadend foundation, per pier (ea.)   | 10           | 12,080.00                | 871.20     | 12,951.20  | 129,512.00  | 3,354.00           | 0.00      | 3,354.00   | 33,540.00   | 3,200.00         | 440.00     | 3,640.00    | 36,400.00   |
| L10-REM                                      | Removal of 69 kV GOAB switch foundation, per pier (ea.)   | 4            | 3,926.00                 | 295.74     | 4,221.74   | 16,886.96   | 2,684.00           | 0.00      | 2,684.00   | 10,736.00   | 2,750.00         | 220.00     | 2,970.00    | 11,880.00   |
| L11-REM                                      | Removal of 69 kV circuit breaker foundation (ea.)   | 1            | 34,763.00                | 497.68     | 35,260.68  | 35,260.68   | 2,684.00           | 0.00      | 2,684.00   | 2,684.00    | 4,950.00         | 990.00     | 5,940.00    | 5,940.00    |
| L12-REM                                      | Removal of 69 kV PT foundation, per pier (ea.)  | 2            | 2,869.00                 | 382.92     | 3,251.92   | 6,503.84    | 2,103.00           | 0.00      | 2,103.00   | 4,206.00    | 2,750.00         | 220.00     | 2,970.00    | 5,940.00    |

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



| Unit No.   | Name and Description of Construction Unit   | No. of Units | Brink Constructors, Inc. |           |            |            | Hooper Corporation |           |            |            | B & B Electrical |            |            |            |
|--|---|--------------|--------------------------|-----------|------------|------------|--------------------|-----------|------------|------------|------------------|------------|------------|------------|
|  |   |              | Bid Security:            |           | Ext. Price |            | Bid Security:      |           | Ext. Price |            | Bid Security:    |            | Ext. Price |            |
|  |   |              | Labor                    | Material  | L & M      | L & M      | Labor              | Material  | L & M      | L & M      | Labor            | Material   | L & M      | L & M      |
| L13-REM  | Removal of shield mast foundation (ea.)   | 2            | 15,100.00                | 1,121.74  | 16,221.74  | 32,443.48  | 3,354.00           | 3,354.00  | 6,708.00   | 3,200.00   | 440.00           | 3,640.00   | 7,280.00   |            |
| M1   | Excavation and Embankment (cu. yd.)   | 640          | 5.68                     | 10.63     | 16.31      | 10,438.40  | 11.17              | 11.17     | 22.34      | 6.70       | 11.00            | 17.70      | 11,328.00  |            |
| M2   | 12" Subgrade preparation (sq. yd.)  | 4170         | 2.15                     | 2.55      | 4.70       | 19,599.00  | 3.30               | 3.30      | 13,761.00  | 1.76       | 0.00             | 1.76       | 7,339.20   |            |
| M3   | Water Service, Trenched, PVC, 6" (ln. ft.)  | 455          | 13.67                    | 36.56     | 50.23      | 22,854.65  | 23.65              | 23.65     | 47.30      | 21,521.50  | 50.00            | 84.00      | 60,970.00  |            |
| M4   | Intake Type 511 (ea.)   | 1            | 3,887.19                 | 4,676.76  | 8,563.95   | 8,563.95   | 3,025.00           | 3,025.00  | 6,050.00   | 12,100.00  | 2,860.00         | 14,960.00  | 14,960.00  |            |
| M5   | PCC pavement, 7" thick (sq. yd.)  | 750          | 13.46                    | 35.71     | 49.17      | 36,877.50  | 28.24              | 28.24     | 56.48      | 42,360.00  | 53.60            | 54.20      | 80,850.00  |            |
| M6   | 3" Layer of Crushed Rock Surfacing (ton)  | 425          | 10.91                    | 25.51     | 36.42      | 15,478.50  | 16.50              | 16.50     | 33.00      | 14,025.00  | 20.20            | 19.70      | 16,957.50  |            |
| M7   | 3" Layer of IDOT Macadam Stone Base (ton)   | 395          | 9.84                     | 21.26     | 31.10      | 12,284.50  | 13.75              | 13.75     | 27.50      | 10,862.50  | 20.20            | 15.85      | 14,239.75  |            |
| M8   | Seeding, fertilizing, and mulching (as req'd.)  | 1            | 1,613.76                 | 4,039.02  | 5,652.78   | 5,652.78   | 2,613.00           | 2,613.00  | 5,226.00   | 7,700.00   | 4,290.00         | 11,990.00  | 11,990.00  |            |
| M9   | Silt Fence/Ditch Check (ln. ft.)  | 310          | 3.76                     | 2.98      | 6.74       | 2,089.40   | 1.93               | 1.93      | 3.86       | 1,196.60   | 9.90             | 2.30       | 3,782.00   |            |
| M10  | Retaining Wall, 8" Thick (ln. ft.)  | 50           | 78.03                    | 191.32    | 269.35     | 13,467.50  | 123.75             | 123.75    | 247.50     | 167.20     | 77.00            | 244.20     | 12,210.00  |            |
| M11-REM  | Pavement Removal (sq. yd.)  | 705          | 6.66                     | 8.50      | 15.16      | 10,687.80  | 11.00              | 11.00     | 7,755.00   | 16.72      | 9.25             | 25.97      | 18,308.85  |            |
| N1   | Substation fence and gates (as req'd.)  | 1            | 6,908.39                 | 7,644.59  | 14,552.98  | 14,552.98  | 14,575.00          | 14,575.00 | 29,150.00  | 11,000.00  | 27,500.00        | 38,500.00  | 38,500.00  |            |
| N2-REM   | Removal of existing substation fence and gates (as req'd.)  | 1            | 1,661.59                 | 0.00      | 1,661.59   | 1,661.59   | 4,025.00           | 4,025.00  | 4,025.00   | 3,190.00   | 220.00           | 3,410.00   | 3,410.00   |            |
| O1   | Ground grid, rods, connections, and sacrificial anodes (as req'd.)  | 1            | 58,994.24                | 22,386.58 | 81,380.82  | 81,380.82  | 64,311.00          | 38,735.00 | 103,046.00 | 92,577.40  | 41,227.84        | 133,805.24 | 133,805.24 |            |
| O2   | Personnel grounding platform (ea.)  | 7            | 302.00                   | 0.00      | 302.00     | 2,114.00   | 470.00             | 0.00      | 470.00     | 2,231.52   | 939.82           | 3,171.34   | 27,199.38  |            |
| O3-REM   | Removal of existing personnel grounding platform (ea.)  | 2            | 151.00                   | 0.00      | 151.00     | 302.00     | 269.00             | 0.00      | 269.00     | 185.64     | 0.00             | 185.64     | 371.28     |            |
| P1   | Exterior area flood lighting package (as req'd.)  | 1            | 6,040.00                 | 11,623.33 | 17,663.33  | 17,663.33  | 24,152.00          | 22,363.00 | 46,515.00  | 19,058.77  | 3,145.22         | 22,204.19  | 22,204.19  |            |
| P2   | Cable trench system (as req'd.)   | 1            | 10,872.00                | 8,348.34  | 19,220.34  | 19,220.34  | 1,610.00           | 2,119.00  | 3,729.00   | 15,841.22  | 11,900.82        | 27,742.04  | 27,742.04  |            |
| P3   | Battery bank (ea.)  | 1            | 8,154.00                 | 15,227.90 | 23,381.90  | 23,381.90  | 10,063.00          | 26,482.00 | 36,545.00  | 24,628.15  | 4,108.62         | 28,736.77  | 28,736.77  |            |
| P4   | Battery charger (ea.)   | 1            | 981.50                   | 6,489.38  | 7,470.88   | 7,470.88   | 2,684.00           | 6,473.00  | 9,157.00   | 2,846.47   | 28.34            | 2,874.81   | 2,874.81   |            |
| P5   | DC panel (ea.)  | 1            | 528.50                   | 2,609.44  | 3,137.94   | 3,137.94   | 1,610.00           | 5,296.00  | 6,906.00   | 1,906.15   | 56.67            | 2,036.82   | 2,036.82   |            |
| P6   | DC junction box (ea.)   | 1            | 1,510.00                 | 645.70    | 2,155.70   | 2,155.70   | 1,073.00           | 1,177.00  | 2,250.00   | 1,608.87   | 1,898.46         | 3,507.33   | 3,507.33   |            |
| P7   | Battery disconnect (ea.)  | 1            | 755.00                   | 676.33    | 1,431.33   | 1,431.33   | 537.00             | 1,412.00  | 1,949.00   | 1,732.63   | 3,116.88         | 4,849.51   | 4,849.51   |            |
| P8   | Panel modifications, AC and DC panels (as req'd)  | 1            | 1,283.50                 | 941.28    | 2,224.78   | 2,224.78   | 2,013.00           | 942.00    | 2,955.00   | 1,113.84   | 2,691.85         | 3,805.69   | 3,805.69   |            |
| P9-REM   | Control building removals (as req'd.)   | 1            | 11,430.02                | 9.00      | 11,439.02  | 11,439.02  | 21,334.00          | 471.00    | 21,805.00  | 38,991.61  | 9,778.51         | 48,770.12  | 48,770.12  |            |
| Q1   | 1/0 Al. primary station power cable (ft.)   | 70           | 15.10                    | 12.50     | 27.60      | 1,932.00   | 46.77              | 21.59     | 68.36      | 4,785.20   | 22.98            | 26.31      | 48.29      | 3,430.38   |
| Q2   | 4/0-4/0-2/0 Al. triplex secondary station power cable (ft.)   | 220          | 7.55                     | 2.45      | 10.00      | 2,200.00   | 8.05               | 4.37      | 12.42      | 2,732.40   | 27.56            | 7.99       | 35.55      | 7,821.00   |
| R1   | (2) Conductor #12, 2/C-#12 (ft.)  | 750          | 9.06                     | 0.35      | 9.41       | 7,057.50   | 5.92               | 0.84      | 6.76       | 5,070.00   | 18.15            | 2.68       | 20.83      | 15,621.90  |
| R2   | (2) Conductor #10, 2/C-#10 (ft.)  | 6850         | 4.53                     | 0.45      | 4.98       | 34,113.00  | 2.32               | 0.65      | 2.97       | 20,344.50  | 7.77             | 1.83       | 9.60       | 66,760.00  |
| R3   | (3) Conductor #10, 3/C-#10 (ft.)  | 2275         | 3.02                     | 0.67      | 3.69       | 8,394.75   | 1.91               | 0.93      | 2.84       | 6,461.00   | 6.47             | 2.17       | 8.64       | 19,658.00  |
| R4   | (3) Conductor #8, 3/C-#8 (ft.)  | 195          | 3.02                     | 1.45      | 4.47       | 871.65     | 2.27               | 1.86      | 4.13       | 805.35     | 10.79            | 3.05       | 13.84      | 2,698.80   |
| R5   | (4) Conductor #12, 4/C-#12 (ft.)  | 570          | 9.06                     | 0.69      | 9.75       | 5,557.50   | 6.12               | 1.07      | 7.19       | 4,098.30   | 15.85            | 2.49       | 18.34      | 10,453.80  |
| R6   | (4) Conductor #10, 4/C-#10 (ft.)  | 8880         | 3.02                     | 0.82      | 3.84       | 34,099.20  | 2.64               | 1.06      | 3.70       | 32,856.00  | 5.64             | 1.97       | 7.61       | 67,876.80  |
| R7   | (7) Conductor #12, 7/C-#12 (ft.)  | 205          | 75.50                    | 1.52      | 77.02      | 15,789.10  | 48.17              | 4.77      | 52.94      | 10,852.70  | 51.92            | 6.50       | 58.42      | 11,976.10  |
| R8   | (12) Conductor #12, 12/C-#12 (ft.)  | 9015         | 9.06                     | 1.70      | 10.76      | 97,001.40  | 5.80               | 0.47      | 6.27       | 56,524.05  | 17.93            | 5.13       | 23.06      | 107,865.90 |
| R9-REM   | Removal of control cable (lot)  | 1            | 22,650.00                | 0.00      | 22,650.00  | 22,650.00  | 16,101.21          | 0.00      | 16,101.21  | 8,291.89   | 56.67            | 8,348.56   | 8,348.56   |            |
| S1   | Overhead cable, (1) 3/8" EHS shielding wire (ft.)   | 410          | 7.65                     | 0.82      | 8.47       | 3,472.70   | 10.47              | 4.31      | 14.78      | 6,059.80   | 3.50             | 2.00       | 5.50       | 2,255.00   |
| T1   | Testing, 69 kV circuit breaker (ea.)  | 5            | 6,516.60                 | 2,125.80  | 8,642.40   | 43,212.00  | 10,141.00          | 0.00      | 10,141.00  | 50,705.00  | 4,878.40         | 600.00     | 5,478.40   | 27,392.00  |
| T2   | Testing, fiber equipment (lot)  | 1            | 2,427.80                 | 0.00      | 2,427.80   | 2,427.80   | 4,092.00           | 0.00      | 4,092.00   | 4,092.00   | 3,341.51         | 0.00       | 3,341.51   | 3,341.51   |
| T3   | Testing, battery bank (lot)   | 1            | 6,830.40                 | 1,062.90  | 7,893.30   | 7,893.30   | 7,942.00           | 0.00      | 7,942.00   | 7,942.00   | 954.00           | 221.00     | 1,175.00   | 1,175.00   |
| U1   | Mobilization (as req'd.)  | 1            | 118,222.94               | 0.00      | 118,222.94 | 118,222.94 | 527,747.00         | 0.00      | 527,747.00 | 527,747.00 | 380,055.00       | 45,100.00  | 425,155.00 | 425,155.00 |
|  |   |              | TOTAL PART 1:            |           |            |            | TOTAL PART 1:      |           |            |            | TOTAL PART 1:    |            |            |            |
|  |   |              | 1,934,164.99             |           |            |            | 2,160,324.19       |           |            |            | 2,821,066.94     |            |            |            |
| <b>PART 2: 69 kV SUBSTATION IMPROVEMENTS RED ROCK TERMINAL</b> |   |              |                          |           |            |            |                    |           |            |            |                  |            |            |            |
| A1   | Steel, 69 kV deadend structure (ea.)  | 1            | 5,285.00                 | 0.00      | 5,285.00   | 5,285.00   | 7,380.00           | 0.00      | 7,380.00   | 7,380.00   | 36,799.68        | 1,867.01   | 38,666.69  | 38,666.69  |
| A2   | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 1            | 453.00                   | 0.00      | 453.00     | 453.00     | 1,342.00           | 0.00      | 1,342.00   | 1,342.00   | 2,080.80         | 0.00       | 2,080.80   | 2,080.80   |
| A3   | Steel, 69 kV GOAB switch support, double leg, high (ea.)  | 3            | 906.00                   | 0.00      | 906.00     | 2,718.00   | 2,013.00           | 0.00      | 2,013.00   | 6,039.00   | 2,080.80         | 0.00       | 2,080.80   | 6,242.40   |
| A4   | Steel, 69 kV bus support, single leg, straight, high (ea.)  | 1            | 302.00                   | 0.00      | 302.00     | 302.00     | 537.00             | 0.00      | 537.00     | 537.00     | 2,080.80         | 0.00       | 2,080.80   | 2,080.80   |
| A5   | Steel, 69 kV 45° bus support, single leg (ea.)  | 1            | 453.00                   | 0.00      | 453.00     | 453.00     | 1,074.00           | 0.00      | 1,074.00   | 1,074.00   | 2,080.80         | 0.00       | 2,080.80   | 2,080.80   |
| B1   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new switch stand (ea.)      | 3            | 5,382.01                 | 0.00      | 5,382.01   | 16,146.03  | 8,051.00           | 0.00      | 8,051.00   | 24,153.00  | 6,369.88         | 38.60      | 6,408.48   | 19,225.44  |
| B2   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.) | 1            | 5,169.01                 | 0.00      | 5,169.01   | 5,169.01   | 8,051.00           | 0.00      | 8,051.00   | 8,051.00   | 6,366.13         | 38.33      | 6,404.46   | 6,404.46   |
| C1   | 72 kV lightning arrester, 1Ø, station class (ea.)   | 3            | 270.93                   | 0.00      | 270.93     | 812.79     | 470.00             | 0.00      | 470.00     | 1,410.00   | 832.32           | 0.00       | 832.32     | 2,496.96   |
| E1   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 2            | 2,335.02                 | 0.00      | 2,335.02   | 4,670.04   | 2,684.00           | 942.00    | 3,626.00   | 7,252.00   | 17,209.63        | 3,400.00   | 20,609.63  | 41,219.26  |
| E2   | Capacitor bank with reactors and steel stand (as req'd.)  | 1            | 14,345.00                | 36.25     | 14,381.25  | 14,381.25  | 13,082.00          | 589.00    | 13,671.00  | 13,774.79  | 1,951.46         | 15,726.25  | 15,726.25  |            |





| Unit No.                                 | Name and Description of Construction Unit  | No. of Units | Brink Constructors, Inc.     |           |            |            | Hooper Corporation |           |            |            | B & B Electrical             |           |           |            |                |       |       |  |                              |  |  |  |                |  |  |  |
|--|--|--------------|------------------------------|-----------|------------|------------|--------------------|-----------|------------|------------|------------------------------|-----------|-----------|------------|----------------|-------|-------|--|------------------------------|--|--|--|----------------|--|--|--|
|  |  |              | Bid Security:                |           |            | Ext. Price | Bid Security:      |           |            | Ext. Price | Bid Security:                |           |           | Ext. Price |                |       |       |  |                              |  |  |  |                |  |  |  |
|  |  |              | Labor                        | Material  | L & M      |            | L & M              | Labor     | Material   |            | L & M                        | L & M     | Labor     |            | Material       | L & M | L & M |  |                              |  |  |  |                |  |  |  |
| L6-REM                                   | Removal of capacitor bank foundation at West Sub (ea.)   | 1            | 2,869.00                     | 497.68    | 3,366.68   | 3,366.68   | 805.00             | 0.00      | 805.00     | 805.00     | 4,950.00                     | 1,000.00  | 5,950.00  | 5,950.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
| O1                                       | Connections to existing ground grid at Clark St. Sub (as req'd.)   | 1            | 2,340.50                     | 168.58    | 2,509.08   | 2,509.08   | 2,076.00           | 1,295.00  | 3,371.00   | 3,371.00   | 6,964.48                     | 1,460.71  | 8,425.19  | 8,425.19   |                |       |       |  |                              |  |  |  |                |  |  |  |
| O2-REM                                   | Removal of existing personnel grounding platform at West Sub (ea.)   | 2            | 151.00                       | 0.00      | 151.00     | 302.00     | 134.00             | 0.00      | 134.00     | 268.00     | 206.78                       | 0.00      | 206.78    | 413.56     |                |       |       |  |                              |  |  |  |                |  |  |  |
| R1                                       | (2) Conductor #12, 2/C-#12 at Clark St. Sub (ft.)  | 85           | 9.06                         | 0.35      | 9.41       | 799.85     | 3.47               | 0.80      | 4.27       | 362.95     | 18.44                        | 2.70      | 21.14     | 1,796.90   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R2                                       | (2) Conductor #10, 2/C-#10 at Clark St. Sub (ft.)  | 325          | 4.53                         | 0.45      | 4.98       | 1,618.50   | 2.81               | 0.80      | 3.61       | 1,173.25   | 8.67                         | 1.92      | 10.59     | 3,441.75   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R3                                       | (2) Conductor #6, 2/C-#6 at Clark St. Sub (ft.)  | 220          | 3.02                         | 1.42      | 4.44       | 976.80     | 2.81               | 3.56      | 6.37       | 1,401.40   | 10.01                        | 4.48      | 14.49     | 3,187.56   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R4                                       | (3) Conductor #10, 3/C-#10 at Clark St. Sub (ft.)  | 220          | 3.02                         | 0.67      | 3.69       | 811.80     | 2.38               | 1.24      | 3.62       | 796.40     | 6.56                         | 2.17      | 8.73      | 1,920.60   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R5                                       | (4) Conductor #12, 4/C-#12 at Clark St. Sub (ft.)  | 60           | 27.18                        | 0.76      | 27.94      | 1,676.40   | 15.88              | 1.96      | 17.84      | 1,070.40   | 36.39                        | 4.27      | 40.66     | 2,439.80   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R6                                       | (4) Conductor #10, 4/C-#10 at Clark St. Sub (ft.)  | 940          | 3.02                         | 0.82      | 3.84       | 3,609.60   | 3.28               | 1.11      | 4.39       | 4,126.60   | 8.31                         | 2.20      | 10.51     | 9,879.40   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R7                                       | (7) Conductor #12, 7/C-#12 at Clark St. Sub (ft.)  | 210          | 4.17                         | 1.16      | 5.33       | 1,119.30   | 4.54               | 2.79      | 7.33       | 1,539.30   | 10.72                        | 3.19      | 13.91     | 2,921.10   |                |       |       |  |                              |  |  |  |                |  |  |  |
| R8                                       | (12) Conductor #12, 12/C-#12 at Clark St. Sub (ft.)  | 690          | 6.04                         | 1.69      | 7.73       | 5,333.70   | 5.13               | 2.18      | 7.31       | 5,043.90   | 14.12                        | 4.85      | 18.97     | 13,088.30  |                |       |       |  |                              |  |  |  |                |  |  |  |
| R9                                       | (4) Conductor #10 Shielded, 4/C-#10SH at Clark St. Sub (ft.)   | 210          | 3.02                         | 1.64      | 4.66       | 978.60     | 3.39               | 1.49      | 4.88       | 1,024.80   | 7.47                         | 5.64      | 13.11     | 2,793.10   |                |       |       |  |                              |  |  |  |                |  |  |  |
| T1                                       | Testing, 69 kV circuit breaker (ea.)   | 1            | 3,943.70                     | 2,125.80  | 6,069.50   | 6,069.50   | 11,483.00          | 0.00      | 11,483.00  | 11,483.00  | 7,492.00                     | 600.00    | 8,092.00  | 8,092.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
| T2                                       | Testing, 69 kV capacitor bank (ea.)  | 1            | 3,412.25                     | 1,594.35  | 5,006.60   | 5,006.60   | 11,483.00          | 0.00      | 11,483.00  | 11,483.00  | 2,944.00                     | 85.00     | 3,029.00  | 3,029.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
|  |  |              | TOTAL PART 4:                |           |            |            | 117,865.33         |           |            |            | TOTAL PART 4:                |           |           |            | 133,138.40     |       |       |  | TOTAL PART 4:                |  |  |  | 214,218.66     |  |  |  |
| <b>PART 5: DISTRIBUTION IMPROVEMENTS</b> |  |              |                              |           |            |            |                    |           |            |            |                              |           |           |            |                |       |       |  |                              |  |  |  |                |  |  |  |
| A1                                       | Steel, 14'-0" tall stand for relocated circuit switcher (ea.)  | 1            | 453.00                       | 0.00      | 453.00     | 453.00     | 1,610.00           | 4,120.00  | 5,730.00   | 5,730.00   | 2,000.00                     | 2,750.00  | 4,750.00  | 4,750.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
| E1                                       | Relocate existing 69 kV circuit switcher (as req'd.)   | 1            | 4,077.00                     | 0.00      | 4,077.00   | 4,077.00   | 8,051.00           | 0.00      | 8,051.00   | 8,051.00   | 3,138.64                     | 0.00      | 3,138.64  | 3,138.64   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G1                                       | Control panel (ea.)  | 2            | 1,510.00                     | 9.06      | 1,519.06   | 3,038.12   | 1,610.00           | 59.00     | 1,669.00   | 3,338.00   | 1,861.28                     | 35.62     | 1,896.90  | 3,793.80   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G2                                       | Switchgear (as req'd)  | 1            | 7,550.00                     | 1,693.79  | 9,243.79   | 9,243.79   | 14,760.00          | 706.00    | 15,466.00  | 15,466.00  | 45,644.81                    | 7,200.00  | 52,844.81 | 52,844.81  |                |       |       |  |                              |  |  |  |                |  |  |  |
| G3                                       | Remove and replace switchgear panel door "B1" (ea.)  | 1            | 302.00                       | 0.00      | 302.00     | 302.00     | 3,354.00           | 353.00    | 3,707.00   | 3,707.00   | 1,678.80                     | 35.62     | 1,714.42  | 1,714.42   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G4                                       | Remove and replace switchgear panel door "B2-B6" (ea.)   | 5            | 302.00                       | 0.00      | 302.00     | 1,510.00   | 3,354.00           | 353.00    | 3,707.00   | 18,535.00  | 1,664.21                     | 28.50     | 1,692.71  | 8,483.55   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G5                                       | Remove and replace switchgear panel door "B7" (ea.)  | 1            | 302.00                       | 0.00      | 302.00     | 302.00     | 3,354.00           | 353.00    | 3,707.00   | 3,707.00   | 1,678.80                     | 35.62     | 1,714.42  | 1,714.42   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G6                                       | Remove and replace switchgear panel door "BX" (ea.)  | 1            | 302.00                       | 0.00      | 302.00     | 302.00     | 3,354.00           | 353.00    | 3,707.00   | 3,707.00   | 1,678.80                     | 35.62     | 1,714.42  | 1,714.42   |                |       |       |  |                              |  |  |  |                |  |  |  |
| G7                                       | Panel modifications, diesel plant (as req'd)   | 1            | 604.00                       | 0.00      | 604.00     | 604.00     | 2,683.00           | 235.00    | 2,918.00   | 2,918.00   | 3,321.11                     | 35.62     | 3,356.73  | 3,356.73   |                |       |       |  |                              |  |  |  |                |  |  |  |
| H1                                       | Relocate existing 10 MVA power transformer (as req'd.)   | 1            | 10,808.93                    | 1,947.23  | 12,756.16  | 12,756.16  | 38,101.00          | 0.00      | 38,101.00  | 38,101.00  | 26,521.03                    | 100.00    | 26,621.03 | 26,621.03  |                |       |       |  |                              |  |  |  |                |  |  |  |
| L1                                       | Foundation, circuit switcher, per leg (ea.)  | 1            | 2,690.40                     | 1,189.39  | 3,879.79   | 3,879.79   | 2,205.00           | 1,519.00  | 3,724.00   | 3,724.00   | 5,850.00                     | 1,450.00  | 7,300.00  | 7,300.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
| L2                                       | Foundation, transformer pad with oil containment (ea.)   | 1            | 79,475.60                    | 22,325.15 | 101,800.75 | 101,800.75 | 75,647.00          | 26,334.00 | 101,981.00 | 101,981.00 | 22,200.00                    | 13,200.00 | 35,400.00 | 35,400.00  |                |       |       |  |                              |  |  |  |                |  |  |  |
| O1                                       | Personnel grounding platform (ea.)   | 1            | 302.00                       | 0.00      | 302.00     | 302.00     | 470.00             | 0.00      | 470.00     | 470.00     | 1,501.45                     | 110.00    | 1,611.45  | 1,611.45   |                |       |       |  |                              |  |  |  |                |  |  |  |
| Q1                                       | Power cable, 15 kV, (12) 750 kcmil insulated Cu. and (4) 350 bare Cu., 600 V, neutral with terminations on both ends (ft.) | 700          | 33.22                        | 275.70    | 308.92     | 216,244.00 | 74.37              | 338.00    | 412.37     | 288,659.00 | 352.81                       | 458.81    | 811.62    | 568,134.00 |                |       |       |  |                              |  |  |  |                |  |  |  |
| Q2                                       | Power cable, 15 kV, (6) 350 kcmil insulated Cu. and (2) 4/0 bare Cu., 600 V, neutral with terminations on both ends (ft.)  | 170          | 19.63                        | 70.36     | 89.99      | 15,298.30  | 94.71              | 143.39    | 238.10     | 40,477.00  | 159.51                       | 203.88    | 363.39    | 61,776.30  |                |       |       |  |                              |  |  |  |                |  |  |  |
| Q3-REM                                   | Removal of existing power cable (lot)  | 1            | 10,872.00                    | 0.00      | 10,872.00  | 10,872.00  | 16,101.00          | 0.00      | 16,101.00  | 16,101.00  | 31,203.88                    | 71.24     | 31,275.12 | 31,275.12  |                |       |       |  |                              |  |  |  |                |  |  |  |
| T1                                       | Testing, 69 kV, 10 MVA power transformer (ea.)   | 1            | 9,409.20                     | 2,125.80  | 11,535.00  | 11,535.00  | 11,483.00          | 0.00      | 11,483.00  | 11,483.00  | 10,144.00                    | 1,805.00  | 11,949.00 | 11,949.00  |                |       |       |  |                              |  |  |  |                |  |  |  |
| T2                                       | Testing, 69 kV circuit switcher (ea.)  | 1            | 2,883.75                     | 0.00      | 2,883.75   | 2,883.75   | 5,741.00           | 0.00      | 5,741.00   | 5,741.00   | 5,072.00                     | 600.00    | 5,672.00  | 5,672.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
| T3                                       | Testing, 750 & 350 power cable and 350 & 4/0 neutral cable (lot)   | 1            | 1,438.21                     | 0.00      | 1,438.21   | 1,438.21   | 11,483.00          | 0.00      | 11,483.00  | 11,483.00  | 9,514.00                     | 170.00    | 9,684.00  | 9,684.00   |                |       |       |  |                              |  |  |  |                |  |  |  |
|  |  |              | TOTAL PART 5:                |           |            |            | 396,841.87         |           |            |            | TOTAL PART 5:                |           |           |            | 583,379.00     |       |       |  | TOTAL PART 5:                |  |  |  | 840,813.69     |  |  |  |
|  |  |              | TOTAL PARTS 1, 2, 3, 4, & 5: |           |            |            | 42,837,094.74      |           |            |            | TOTAL PARTS 1, 2, 3, 4, & 5: |           |           |            | \$3,211,519.79 |       |       |  | TOTAL PARTS 1, 2, 3, 4, & 5: |  |  |  | \$4,304,489.66 |  |  |  |

= Corrected Amount

**BID TABULATION**

WEST SUBSTATION MODIFICATIONS  
 CITY OF PELLA, IOWA  
 DGR Project No. 414943  
 Bid Letting: April 21, 2016 - 1:30 p.m.



|  |   | Integrated Power Co. |               |           |            |                  |
|--|---|----------------------|---------------|-----------|------------|------------------|
| Unit No.                                     | Name and Description of Construction Unit   | No. of Units         | Bid Security: |           |            | Ext. Price L & M |
|  |   |                      | Labor         | Material  | L & M      |                  |
| <b>PART 1: 69 kV SUBSTATION IMPROVEMENTS</b> |   |                      |               |           |            |                  |
| A1   | Steel, 69 kV deadend structure (ea.)  | 3                    | \$1,130.00    | \$50.00   | \$1,180.00 | \$3,540.00       |
| A2   | Steel, 69 kV GOAB switch support, double leg, low (ea.)   | 4                    | 510.00        | 50.00     | 560.00     | 2,240.00         |
| A3   | Steel, 69 kV bus support, single leg, straight, low (ea.)   | 2                    | 340.00        | 50.00     | 390.00     | 780.00           |
| A4   | Steel, 69 kV 45° bus support, single leg (ea.)  | 3                    | 340.00        | 50.00     | 390.00     | 1,170.00         |
| A5   | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 3                    | 340.00        | 50.00     | 390.00     | 1,170.00         |
| A6   | Steel, lightning shield mast (ea.)  | 5                    | 1,350.00      | 50.00     | 1,400.00   | 7,000.00         |
| A7-REM                                       | Removal of existing steel, 69 kV deadend structure (ea.)  | 2                    | 1,020.00      | 0.00      | 1,020.00   | 2,040.00         |
| A8-REM                                       | Removal of existing steel, 69 kV GOAB switch support, double leg, low (ea.)   | 2                    | 680.00        | 0.00      | 680.00     | 1,360.00         |
| A9-REM                                       | Removal of existing steel, 69 kV, 3Ø, PT support, double leg (ea.)  | 1                    | 330.00        | 0.00      | 330.00     | 330.00           |
| A10-REM                                      | Removal of existing steel, lightning shield mast (ea.)  | 2                    | 1,330.00      | 0.00      | 1,330.00   | 2,660.00         |
| B1   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new or existing switch stand (ea.)              | 10                   | 2,810.00      | 130.00    | 2,940.00   | 29,400.00        |
| B2   | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.)                     | 3                    | 2,810.00      | 130.00    | 2,940.00   | 8,820.00         |
| B3-REM                                       | Removal of existing switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on existing switch stand (ea.) | 8                    | 2,810.00      | 0.00      | 2,810.00   | 22,480.00        |
| C1   | 72 kV lightning arrester, 1Ø, station class (ea.)   | 9                    | 340.00        | 25.00     | 365.00     | 3,285.00         |
| C2-REM                                       | Removal of existing 72 kV lightning arrester, 1Ø, station class (ea.)   | 9                    | 340.00        | 0.00      | 340.00     | 3,060.00         |
| D1   | Bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1                    | 37,380.00     | 77,220.00 | 114,600.00 | 114,600.00       |
| D2-REM                                       | Removal of existing bus work, jumpers, insulators, connectors, dampening cables, etc. (as req'd.)   | 1                    | 9,750.00      | 0.00      | 9,750.00   | 9,750.00         |
| E1   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 3                    | 4,940.00      | 325.00    | 5,265.00   | 15,795.00        |
| E2   | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on existing foundation (ea.)   | 2                    | 4,940.00      | 325.00    | 5,265.00   | 10,530.00        |
| E3-REM                                       | Removal of existing circuit breaker, 69 kV, 3Ø, SF6 with steel stand (ea.)  | 3                    | 4,940.00      | 0.00      | 4,940.00   | 14,820.00        |
| G1   | Control panel (ea.)   | 5                    | 1,340.00      | 195.00    | 1,535.00   | 7,675.00         |
| G2   | Sync panel (ea.)  | 1                    | 1,470.00      | 325.00    | 1,795.00   | 1,795.00         |
| G3-REM                                       | Removal of control panel (ea.)  | 7                    | 1,620.00      | 0.00      | 1,620.00   | 11,340.00        |
| H1   | PT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on separate steel stand (ea.)                                | 4                    | 1,350.00      | 130.00    | 1,480.00   | 5,920.00         |
| H2   | Relocation of existing 3Ø PTs, 69 kV, outdoor, with one new common junction box and miscellaneous equipment mounted on separate steel stand (ea.)     | 1                    | 1,520.00      | 130.00    | 1,650.00   | 1,650.00         |
| J1   | Fiber splice box, outdoors (ea.)  | 2                    | 340.00        | 3,770.00  | 4,110.00   | 8,220.00         |
| J2   | 24 fiber cable (ft.)  | 1245                 | 4.90          | 4.50      | 9.40       | 11,703.00        |
| J3   | Fiber termination (ea.)   | 192                  | 32.50         | 32.50     | 65.00      | 12,480.00        |
| J4   | Fiber jumpers and comm cables, install only (lot)   | 1                    | 3,380.00      | 6,850.00  | 10,230.00  | 10,230.00        |
| K1   | Conduit, 2" PVC (ft.)   | 1450                 | 4.50          | 3.25      | 7.75       | 11,237.50        |
| K2   | Conduit, 4" PVC (ft.)   | 1100                 | 5.80          | 4.55      | 10.35      | 11,385.00        |
| K3   | Power ductbank, (4) 5" PVC conduits installed 36" below subgrade (ft.)  | 222                  | 64.00         | 78.00     | 142.00     | 31,524.00        |
| K4   | Power ductbank, (4) 5" PVC conduits installed 24" below subgrade (ft.)  | 167                  | 68.00         | 65.00     | 133.00     | 22,211.00        |
| K5   | Power ductbank, (2) 5" PVC conduits (ft.)   | 101                  | 44.20         | 54.30     | 98.50      | 9,948.50         |
| K6   | Pedestrian rated cable trench (36" W x 16 1/4" D) with concrete lid (ft.)   | 60                   | 97.50         | 65.00     | 162.50     | 9,750.00         |
| K7   | HS20 drive over cable trench (43 1/2" W x 20" D) with fiberlite lid (ft.)   | 94                   | 130.00        | 130.00    | 260.00     | 24,440.00        |
| K8   | Cable trench drainage system, 4" HDPE drain tile, pea rock (ft.)  | 225                  | 97.50         | 19.50     | 117.00     | 26,325.00        |
| K9   | Pipe bollard with chain (ea.)   | 7                    | 520.00        | 520.00    | 1,040.00   | 7,280.00         |
| L1   | Foundation, 69 kV deadend structure, per leg (ea.)  | 6                    | 7,320.00      | 4,880.00  | 12,200.00  | 73,200.00        |
| L2   | Foundation, 69 kV GOAB switch support, low, per leg (ea.)   | 8                    | 975.00        | 660.00    | 1,635.00   | 13,080.00        |
| L3   | Foundation, 69 kV bus support, single leg, straight, low, per leg (ea.)   | 2                    | 940.00        | 660.00    | 1,600.00   | 3,200.00         |
| L4   | Foundation, 69 kV 45° bus support structure, per leg (ea.)  | 3                    | 1,020.00      | 800.00    | 1,820.00   | 5,460.00         |
| L5   | Foundation, 69 kV PT support structure, per leg (ea.)   | 5                    | 1,010.00      | 720.00    | 1,730.00   | 8,650.00         |
| L6   | Foundation, 69 kV circuit breaker pad, per pad (ea.)  | 3                    | 1,170.00      | 830.00    | 2,000.00   | 6,000.00         |
| L7   | Addition or deletion of 1 cubic yard of concrete and rebar for a pier type foundation (cu. yd.)   | 2                    | 470.00        | 310.00    | 780.00     | 1,560.00         |
| L8   | Addition or deletion of 1 cubic yard of concrete and rebar for a slab type foundation (cu. yd.)   | 2                    | 470.00        | 310.00    | 780.00     | 1,560.00         |
| L9-REM                                       | Removal of 69 kV deadend foundation, per pier (ea.)   | 10                   | 4,110.00      | 1,400.00  | 5,510.00   | 55,100.00        |
| L10-REM                                      | Removal of 69 kV GOAB switch foundation, per pier (ea.)   | 4                    | 1,250.00      | 890.00    | 2,140.00   | 8,560.00         |
| L11-REM                                      | Removal of 69 kV circuit breaker foundation (ea.)   | 1                    | 1,680.00      | 850.00    | 2,530.00   | 2,530.00         |
| L12-REM                                      | Removal of 69 kV PT foundation, per pier (ea.)  | 2                    | 1,150.00      | 290.00    | 1,440.00   | 2,880.00         |



|               |  | Integrated Power Co. |            |           |            |              |
|---------------|--|----------------------|------------|-----------|------------|--------------|
|               |  | Bid Security:        |            |           |            |              |
| Unit No.      | Name and Description of Construction Unit                          | No. of Units         | Labor      |           |            | Ext. Price   |
|               |  |                      | Labor      | Matenal   | L & M      | L & M        |
| L13-REM       | Removal of shield mast foundation (ea.)                            | 2                    | 4,180.00   | 1,560.00  | 5,740.00   | 11,480.00    |
| M1            | Excavation and Embankment (cu. yd.)                                | 640                  | 40.00      | 12.00     | 52.00      | 33,280.00    |
| M2            | 12" Subgrade preparation (sq. yd.)                                 | 4170                 | 22.10      | 19.50     | 41.60      | 173,472.00   |
| M3            | Water Service, Trenched, PVC, 6" (ln. ft.)                         | 455                  | 39.00      | 19.50     | 58.50      | 26,617.50    |
| M4            | Intake Type 511 (ea.)  | 1                    | 6,500.00   | 3,252.00  | 9,752.00   | 9,752.00     |
| M5            | PCC pavement, 7" thick (sq. yd.)                                   | 750                  | 65.00      | 46.80     | 111.80     | 83,850.00    |
| M6            | 3" Layer of Crushed Rock Surfacing (ton)                           | 425                  | 15.60      | 28.60     | 44.20      | 18,785.00    |
| M7            | 3" Layer of IDOT Macadam Stone Base (ton)                          | 395                  | 15.60      | 28.60     | 44.20      | 17,459.00    |
| M8            | Seeding, fertilizing, and mulching (as req'd.)                     | 1                    | 4,550.00   | 1,950.00  | 6,500.00   | 6,500.00     |
| M9            | Silt Fence/Ditch Check (ln. ft.)                                   | 310                  | 26.00      | 9.10      | 35.10      | 10,881.00    |
| M10           | Retaining Wall, 8" Thick (ln. ft.)                                 | 50                   | 260.00     | 84.50     | 344.50     | 17,225.00    |
| M11-REM       | Pavement Removal (sq. yd.)   | 705                  | 58.50      | 35.10     | 93.60      | 65,988.00    |
| N1            | Substation fence and gates (as req'd.)                             | 1                    | 6,880.00   | 6,880.00  | 13,760.00  | 13,760.00    |
| N2-REM        | Removal of existing substation fence and gates (as req'd.)         | 1                    | 1,390.00   | 0.00      | 1,390.00   | 1,390.00     |
| O1            | Ground grid, rods, connections, and sacrificial anodes (as req'd.) | 1                    | 47,830.00  | 47,860.00 | 95,690.00  | 95,690.00    |
| O2            | Personnel grounding platform (ea.)                                 | 7                    | 240.00     | 990.00    | 1,230.00   | 8,610.00     |
| O3-REM        | Removal of existing personnel grounding platform (ea.)             | 2                    | 490.00     | 0.00      | 490.00     | 980.00       |
| P1            | Exterior area flood lighting package (as req'd.)                   | 1                    | 5,070.00   | 21,450.00 | 26,520.00  | 26,520.00    |
| P2            | Cable trench system (as req'd.)                                    | 1                    | 98.00      | 98.00     | 196.00     | 196.00       |
| P3            | Battery bank (ea.)   | 1                    | 6,680.00   | 13,850.00 | 20,530.00  | 20,530.00    |
| P4            | Battery charger (ea.)  | 1                    | 860.00     | 1,920.00  | 2,780.00   | 2,780.00     |
| P5            | DC panel (ea.)   | 1                    | 1,340.00   | 2,320.00  | 3,660.00   | 3,660.00     |
| P6            | DC junction box (ea.)  | 1                    | 1,310.00   | 2,300.00  | 3,610.00   | 3,610.00     |
| P7            | Battery disconnect (ea.)   | 1                    | 850.00     | 1,160.00  | 2,010.00   | 2,010.00     |
| P8            | Panel modifications, AC and DC panels (as req'd)                   | 1                    | 2,700.00   | 1,530.00  | 4,230.00   | 4,230.00     |
| P9-REM        | Control building removals (as req'd.)                              | 1                    | 18,100.00  | 1,300.00  | 19,400.00  | 19,400.00    |
| Q1            | 1/0 Al. primary station power cable (ft.)                          | 70                   | 3.90       | 13.00     | 16.90      | 1,183.00     |
| Q2            | 4/0-4/0-2/0 Al. triplex secondary station power cable (ft.)        | 220                  | 7.15       | 45.50     | 52.65      | 11,583.00    |
| R1            | (2) Conductor #12, 2/C-#12 (ft.)                                   | 750                  | 1.30       | 1.95      | 3.25       | 2,437.50     |
| R2            | (2) Conductor #10, 2/C-#10 (ft.)                                   | 6850                 | 1.30       | 2.30      | 3.60       | 24,660.00    |
| R3            | (3) Conductor #10, 3/C-#10 (ft.)                                   | 2275                 | 1.60       | 2.60      | 4.20       | 9,555.00     |
| R4            | (3) Conductor #8, 3/C-#8 (ft.)                                     | 195                  | 1.65       | 2.65      | 4.30       | 838.50       |
| R5            | (4) Conductor #12, 4/C-#12 (ft.)                                   | 570                  | 2.05       | 2.75      | 4.80       | 2,736.00     |
| R6            | (4) Conductor #10, 4/C-#10 (ft.)                                   | 8880                 | 1.95       | 2.85      | 4.80       | 42,624.00    |
| R7            | (7) Conductor #12, 7/C-#12 (ft.)                                   | 205                  | 2.60       | 3.60      | 6.20       | 1,271.00     |
| R8            | (12) Conductor #12, 12/C-#12 (ft.)                                 | 9015                 | 3.25       | 3.65      | 6.90       | 62,203.50    |
| R9-REM        | Removal of control cable (lot)                                     | 1                    | 14,650.00  | 0.00      | 14,650.00  | 14,650.00    |
| S1            | Overhead cable, (1) 3/8" EHS shielding wire (ft.)                  | 410                  | 5.40       | 1.50      | 6.90       | 2,829.00     |
| T1            | Testing, 69 kV circuit breaker (ea.)                               | 5                    | 14,040.00  | 4,810.00  | 18,850.00  | 94,250.00    |
| T2            | Testing, fiber equipment (lot)                                     | 1                    | 14,040.00  | 4,810.00  | 18,850.00  | 18,850.00    |
| T3            | Testing, battery bank (lot)  | 1                    | 14,040.00  | 4,810.00  | 18,850.00  | 18,850.00    |
| U1            | Mobilization (as req'd.)   | 1                    | 116,600.00 | 21,400.00 | 138,000.00 | 138,000.00   |
| TOTAL PART 1: |  |                      |            |           |            | 1,786,900.00 |

**PART 2: 69 kV SUBSTATION IMPROVEMENTS RED ROCK TERMINAL**

|    |   |   |      |      |      |      |
|----|---|---|------|------|------|------|
| A1 | Steel, 69 kV deadend structure (ea.)  | 1 | 0.00 | 0.00 | 0.00 | 0.00 |
| A2 | Steel, 69 kV, 3Ø, PT support, single leg (ea.)  | 1 | 0.00 | 0.00 | 0.00 | 0.00 |
| A3 | Steel, 69 kV GOAB switch support, double leg, high (ea.)  | 3 | 0.00 | 0.00 | 0.00 | 0.00 |
| A4 | Steel, 69 kV bus support, single leg, straight, high (ea.)  | 1 | 0.00 | 0.00 | 0.00 | 0.00 |
| A5 | Steel, 69 kV 45° bus support, single leg (ea.)  | 1 | 0.00 | 0.00 | 0.00 | 0.00 |
| B1 | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new switch stand (ea.)      | 3 | 0.00 | 0.00 | 0.00 | 0.00 |
| B2 | Switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on new deadend structure (ea.) | 3 | 0.00 | 0.00 | 0.00 | 0.00 |
| C1 | 72 kV lightning arrester, 1Ø, station class (ea.)   | 1 | 0.00 | 0.00 | 0.00 | 0.00 |
| E1 | Circuit breaker, 69 kV, 3Ø, SF6 with steel stand on new foundation (ea.)  | 2 | 0.00 | 0.00 | 0.00 | 0.00 |
| E2 | Capacitor bank with reactors and steel stand (as req'd.)  | 1 | 0.00 | 0.00 | 0.00 | 0.00 |



|  |   | Integrated Power Co. |           |           |           |                  |
|--|---|----------------------|-----------|-----------|-----------|------------------|
|  |   | Bid Security:        |           |           |           |                  |
| Unit No.   | Name and Description of Construction Unit   | No. of Units         | Labor     | Material  | L & M     | Ext. Price L & M |
| G1   | Control panel (ea.)   | 2                    | 0.00      | 0.00      | 0.00      | 0.00             |
| H1   | PT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on separate steel stand (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| H2   | CT, 69 kV, outdoor, 3Ø, with one common junction box and miscellaneous equipment mounted on deadend H-frame (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L1   | Foundation, 69 kV deadend structure, per leg (ea.)  | 2                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L2   | Foundation, 69 kV GOAB switch support, high, per leg (ea.)  | 6                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L3   | Foundation, 69 kV bus support, high, per leg (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L4   | Foundation, 69 kV 45° bus support, per leg (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L5   | Foundation, 69 kV circuit breaker pad, per pad (ea.)  | 2                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L6   | Foundation, capacitor bank, per pad (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L7   | Addition or deletion of 1 cubic yard of concrete and rebar for a pier type foundation (cu. yd.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L8   | Addition or deletion of 1 cubic yard of concrete and rebar for a slab type foundation (cu. yd.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| O1   | Personnel grounding platform (ea.)  | 4                    | 0.00      | 0.00      | 0.00      | 0.00             |
| T1   | Testing, 69 kV circuit breaker (ea.)  | 2                    | 0.00      | 0.00      | 0.00      | 0.00             |
| T2   | Testing, 69 kV capacitor bank (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| TOTAL PART 2:  |   |                      |           |           |           |                  |
| <b>PART 3: 69 kV TRANSMISSION LINE IMPROVEMENTS</b>    |   |                      |           |           |           |                  |
| DBS-1  | Direct-Buried Steel Pole, Str #1 (ea.)  | 1                    | 16,240.00 | 20,860.00 | 37,100.00 | 37,100.00        |
| DBS-2  | Direct-Buried Steel Pole, Str #2 (ea.)  | 1                    | 16,240.00 | 20,860.00 | 37,100.00 | 37,100.00        |
| TS-4SX   | 69 kV Vertical Deadend Corner, Steel Pole 3Ø (ea.)  | 2                    | 4,460.00  | 14,560.00 | 19,020.00 | 38,040.00        |
| TM-1   | 69 kV Phase Conductor Deadend, 1Ø (ea.)   | 6                    | 360.00    | 1,740.00  | 2,100.00  | 12,600.00        |
| TM-1A  | 69 kV Phase Conductor Deadend w/ Anchor Schackle, 1Ø (ea.)  | 3                    | 360.00    | 1,380.00  | 1,740.00  | 5,220.00         |
| TM-2   | OHGW Conductor Deadend (ea.)  | 3                    | 520.00    | 1,260.00  | 1,780.00  | 5,340.00         |
| TM-3   | OPGW Conductor Deadend (ea.)  | 2                    | 520.00    | 1,260.00  | 1,780.00  | 3,560.00         |
| Z-266 ACS  | 69 kV Phase Conductor, T2 266 ACSR, Partridge (Mft.)  | 1                    | 9,040.00  | 6,460.00  | 15,500.00 | 21,700.00        |
| 3/8 EHS  | OHGW Conductor, 3/8", 7 str., Extra High Strength Steel (Mft.)  | 1                    | 5,220.00  | 2,480.00  | 8,700.00  | 5,220.00         |
| SPG  | Steel Pole Ground (ea.)   | 2                    | 3,610.00  | 3,610.00  | 7,220.00  | 14,440.00        |
| RC   | Remove & Re-install Conductor, OPGW & T2-266 (as req'd)   | 1                    | 4,740.00  | 0.00      | 4,740.00  | 4,740.00         |
| RP   | Remove structure and pole top assembly (ea.)  | 2                    | 7,020.00  | 0.00      | 7,020.00  | 14,040.00        |
| TOTAL PART 3:  |   |                      |           |           |           | 199,100.00       |
| <b>PART 4: CAPACITOR BANK ADDITION AT CLARK STREET</b> |   |                      |           |           |           |                  |
| A1   | Steel, 69 kV 45° bus support, Contractor Furnished, single leg (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| A2-REM   | Removal of existing steel, 69 kV GOAB switch support, double leg, low at West Sub (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| B1-REM   | Removal of existing switch, 69 kV, 3Ø, vertical break, group operated, with insulators and control hardware, installed on existing switch stand at West Sub (ea.) | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| C1   | Remove and replace capacitor bank lighting arrester (ea.)   | 3                    | 0.00      | 0.00      | 0.00      | 0.00             |
| D1   | Bus work, jumpers, insulators, connectors, cables, etc. at Clark St. Sub (as req'd)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| E1   | Remove/relocate existing sync circuit breaker, 69 kV, 3Ø, SF6, with steel stand to Clark St. Sub (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| E2   | Remove/relocate existing capacitor bank with steel stand to Clark St. Sub (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| G1   | Control panel at Clark St. Sub (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| K1   | Conduit, 2" PVC at Clark St. Sub (ft.)  | 10                   | 0.00      | 0.00      | 0.00      | 0.00             |
| K2   | Conduit, 4" PVC at Clark St. Sub (ft.)  | 60                   | 0.00      | 0.00      | 0.00      | 0.00             |
| L1   | Foundation, 69 kV circuit breaker pad, per pad at Clark St. Sub (ea.)   | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L2   | Foundation, capacitor bank pad, at Clark St. Sub (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L3   | Foundation, 69 kV 45° bus support, per leg (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L4-REM   | Removal of 69 kV GOAB switch foundation, per pier at West Sub (ea.)   | 2                    | 0.00      | 0.00      | 0.00      | 0.00             |
| L5-REM   | Removal of 69 kV sync circuit breaker foundation at West Sub (ea.)  | 1                    | 0.00      | 0.00      | 0.00      | 0.00             |



|  |  | Integrated Power Co. |       |          |       |                       |
|--|--|----------------------|-------|----------|-------|-----------------------|
|  |  | Bid Security:        |       |          |       |                       |
| Unit No.                                 | Name and Description of Construction Unit  | No. of Units         | Labor | Material | L & M | Ext. Price L & M      |
| L6-REM                                   | Removal of capacitor bank foundation at West Sub (ea.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| O1                                       | Connections to existing ground grid at Clark St. Sub (as req'd.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| O2-REM                                   | Removal of existing personnel grounding platform at West Sub (ea.)   | 2                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| R1                                       | (2) Conductor #12, 2/C-#12 at Clark St. Sub (ft.)  | 85                   | 0.00  | 0.00     | 0.00  | 0.00                  |
| R2                                       | (2) Conductor #10, 2/C-#10 at Clark St. Sub (ft.)  | 325                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R3                                       | (2) Conductor #6, 2/C-#6 at Clark St. Sub (ft.)  | 220                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R4                                       | (3) Conductor #10, 3/C-#10 at Clark St. Sub (ft.)  | 220                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R5                                       | (4) Conductor #12, 4/C-#12 at Clark St. Sub (ft.)  | 60                   | 0.00  | 0.00     | 0.00  | 0.00                  |
| R6                                       | (4) Conductor #10, 4/C-#10 at Clark St. Sub (ft.)  | 940                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R7                                       | (7) Conductor #12, 7/C-#12 at Clark St. Sub (ft.)  | 210                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R8                                       | (12) Conductor #12, 12/C-#12 at Clark St. Sub (ft.)  | 690                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| R9                                       | (4) Conductor #10 Shielded, 4/C-#10SH at Clark St. Sub (ft.)   | 210                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| T1                                       | Testing, 69 kV circuit breaker (ea.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| T2                                       | Testing, 69 kV capacitor bank (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| TOTAL PART 4:                            |  |                      |       |          |       |                       |
| <b>PART 5: DISTRIBUTION IMPROVEMENTS</b> |  |                      |       |          |       |                       |
| A1                                       | Steel, 14'-0" tall stand for relocated circuit switcher (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| E1                                       | Relocate existing 69 kV circuit switcher (as req'd.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G1                                       | Control panel (ea.)  | 2                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G2                                       | Switchgear (as req'd)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G3                                       | Remove and replace switchgear panel door "B1" (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G4                                       | Remove and replace switchgear panel door "B2-B6" (ea.)   | 5                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G5                                       | Remove and replace switchgear panel door "B7" (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G6                                       | Remove and replace switchgear panel door "BX" (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| G7                                       | Panel modifications, diesel plant (as req'd)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| H1                                       | Relocate existing 10 MVA power transformer (as req'd.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| L1                                       | Foundation, circuit switcher, per leg (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| L2                                       | Foundation, transformer pad with oil containment (ea.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| O1                                       | Personnel grounding platform (ea.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| Q1                                       | Power cable, 15 kV, (12) 750 kcmil insulated Cu. and (4) 350 bare Cu., 600 V, neutral with terminations on both ends (ft.) | 700                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| Q2                                       | Power cable, 15 kV, (6) 350 kcmil insulated Cu. and (2) 4/0 bare Cu., 600 V, neutral with terminations on both ends (ft.)  | 170                  | 0.00  | 0.00     | 0.00  | 0.00                  |
| Q3-REM                                   | Removal of existing power cable (lot)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| T1                                       | Testing, 69 kV, 10 MVA power transformer (ea.)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| T2                                       | Testing, 69 kV circuit switcher (ea.)  | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| T3                                       | Testing, 750 & 350 power cable and 350 & 4/0 neutral cable (lot)   | 1                    | 0.00  | 0.00     | 0.00  | 0.00                  |
| TOTAL PART 5:                            |  |                      |       |          |       |                       |
| <b>TOTAL PARTS 1, 2, 3, 4, &amp; 5:</b>  |  |                      |       |          |       | <b>\$1,986,000.00</b> |

= Corrected Amount

AGREEMENT  
BETWEEN OWNER AND CONTRACTOR  
FOR CONSTRUCTION CONTRACT (STIPULATED PRICE)

THIS AGREEMENT is by and between City of Pella, Iowa (“Owner”) and \_\_\_\_\_ (“Contractor”).

Owner and Contractor hereby agree as follows:

**ARTICLE 1 – WORK**

1.01 Contractor shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

The work consists of modification of a 69 kV substation, including concrete foundations, bus work, installation of steel structures, 69 kV switches, PT’s, and 69 kV circuit breakers.

**ARTICLE 2 – THE PROJECT**

2.01 The Project, of which the Work under the Contract Documents is a part, is generally described as follows:

The work consists of modification of a 69 kV substation, including concrete foundations, bus work, installation of steel structures, 69 kV switches, PT’s, and 69 kV circuit breakers.

**ARTICLE 3 – ENGINEER**

3.01 The Project has been designed by DGR Engineering.

3.02 The Owner has retained DGR Engineering (“Engineer”) to act as Owner’s representative, assume all duties and responsibilities, and have the rights and authority assigned to Engineer in the Contract Documents in connection with the completion of the Work in accordance with the Contract Documents.

**ARTICLE 4 – CONTRACT TIMES**

4.01 *Time of the Essence*

A. All time limits for Milestones, if any, Substantial Completion, and completion and readiness for final payment as stated in the Contract Documents are of the essence of the Contract.

4.02 *Contract Times: Dates*

A. The Work will be substantially completed on or before May 6, 2017, and completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before June 1, 2017.

#### 4.03 *Liquidated Damages*

- A. Contractor and Owner recognize that time is of the essence as stated in Paragraph 4.01 above and that Owner will suffer financial and other losses if the Work is not completed and Milestones not achieved within the times specified in Paragraph 4.02 above, plus any extensions thereof allowed in accordance with the Contract. The parties also recognize the delays, expense, and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by Owner if the Work is not completed on time. Accordingly, instead of requiring any such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty):
1. Substantial Completion: Contractor shall pay Owner \$500 for each day that expires after the time (as duly adjusted pursuant to the Contract) specified in Paragraph 4.02.A above for Substantial Completion until the Work is substantially complete.
  2. Completion of Remaining Work: After Substantial Completion, if Contractor shall neglect, refuse, or fail to complete the remaining Work within the Contract Time (as duly adjusted pursuant to the Contract) for completion and readiness for final payment, Contractor shall pay Owner \$500 for each day that expires after such time until the Work is completed and ready for final payment.
  3. Liquidated damages for failing to timely attain Substantial Completion and final completion are not additive and will not be imposed concurrently.

### **ARTICLE 5 – CONTRACT PRICE**

- 5.01 Owner shall pay Contractor for completion of the Work in accordance with the Contract Documents the amounts that follow, subject to adjustment under the Contract:
- A. For all Work, at the prices stated in Contractor's Bid, attached hereto as an exhibit.
  - B. For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work times the estimated quantity of that item as indicated in the Contractor's Bid.  
As provided in Paragraph 11.03 of the General Conditions, estimated quantities are not guaranteed, and determinations of actual quantities and classifications are to be made by Engineer as provided in Paragraph 9.07 of the General Conditions. Unit prices have been computed as provided in Paragraph 11.03 of the General Conditions.

## ARTICLE 6 – PAYMENT PROCEDURES

### 6.01 *Submittal and Processing of Payments*

- A. Contractor shall submit Applications for Payment in accordance with Article 15 of the General Conditions. Applications for Payment will be processed by Engineer as provided in the General Conditions.

### 6.02 *Progress Payments; Retainage*

- A. Owner shall make progress payments on account of the Contract Price on the basis of Contractor's Applications for Payment on or about the first day of each month during performance of the Work as provided in Paragraph 6.02.A.1 below, provided that such Applications for Payment have been submitted in a timely manner and otherwise meet the requirements of the Contract. All such payments will be measured by the Schedule of Values established as provided in the General Conditions (and in the case of Unit Price Work based on the number of units completed) or, in the event there is no Schedule of Values, as provided elsewhere in the Contract.
  - I. Prior to Substantial Completion, progress payments will be made in an amount equal to the percentage indicated below but, in each case, less the aggregate of payments previously made and less such amounts as Owner may withhold, including but not limited to liquidated damages, in accordance with the Contract
    - a. 95 percent of Work completed (with the balance being retainage); and
    - b. 0 percent (with the balance being retainage) of cost of materials and equipment not incorporated in the Work (but delivered, suitably stored, and accompanied by documentation satisfactory to Owner.

- B. Upon Substantial Completion, Owner shall pay an amount sufficient to increase total payments to Contractor to 95 percent of the Work completed, less such amounts set off by Owner pursuant to Paragraph 15.01.E of the General Conditions, and less 200 percent of Engineer's estimate of the value of Work to be completed or corrected as shown on the punch list of items to be completed or corrected prior to final payment.

### 6.03 *Final Payment*

- A. Upon final completion and acceptance of the Work in accordance with Paragraph 15.06 of the General Conditions, Owner shall pay the remainder of the Contract
- B. Price as recommended by Engineer as provided in said Paragraph 15.06.

## **ARTICLE 7 – INTEREST**

7.01 All amounts not paid when due shall bear interest at the rate of 7 percent per annum.

## **ARTICLE 8 – CONTRACTOR’S REPRESENTATIONS**

8.01 In order to induce Owner to enter into this Contract, Contractor makes the following representations:

- A. Contractor has examined and carefully studied the Contract Documents, and any data and reference items identified in the Contract Documents.
- B. Contractor has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and is satisfied as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Contractor is familiar with and is satisfied as to all Laws and Regulations that may affect cost, progress, and performance of the Work.
- D. Contractor has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or adjacent to the Site and all drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings, and (2) reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings. If no such reports have been made available to Contractor, Contractor agrees that none are required from Owner.
- E. Contractor has considered the information known to Contractor itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Contract Documents; and the Site-related reports and drawings identified in the Contract Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Contractor; and (3) Contractor’s safety precautions and programs.
- F. Based on the information and observations referred to in the preceding paragraph, Contractor agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.
- G. Contractor is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Contract Documents.

- H. Contractor has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Contractor has discovered in the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.
- I. The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
- J. Contractor's entry into this Contract constitutes an incontrovertible representation by Contractor that without exception all prices in the Agreement are premised upon performing and furnishing the Work required by the Contract Documents.

## ARTICLE 9 – CONTRACT DOCUMENTS

### 9.01 *Contents*

- A. The Contract Documents consist of the following:
  - 1. This Agreement (pages 1 to 8, inclusive).
  - 2. Performance bond (pages 1 to 2, inclusive).
  - 3. Payment bond (pages 1 to 2, inclusive).
  - 4. General Conditions (pages 1 to 65, inclusive).
  - 5. Supplementary Conditions (pages SC-1 to SC-8, inclusive).
  - 6. Specifications as listed in the table of contents of the Project Manual.
  - 7. Drawings (not attached but incorporated by reference) consisting of 83 sheets with each sheet bearing the following general title: West Substation or Clark Street Substation.
  - 8. Addenda (numbers \_\_\_ to \_\_\_, inclusive).
  - 9. Exhibits to this Agreement (enumerated as follows):
    - a. Contractor's Bid (pages \_\_\_ to \_\_\_, inclusive).
  - 10. The following which may be delivered or issued on or after the Effective Date of the Contract and are not attached hereto:
    - a. Notice to Proceed.
    - b. Work Change Directives.
    - c. Change Orders.

- d. Field Orders.
- B. The documents listed in Paragraph 9.01.A are attached to this Agreement (except as expressly noted otherwise above).
- C. There are no Contract Documents other than those listed above in this Article 9.
- D. The Contract Documents may only be amended, modified, or supplemented as provided in the General Conditions.

## **ARTICLE 10 – MISCELLANEOUS**

### *10.01 Terms*

- A. Terms used in this Agreement will have the meanings stated in the General Conditions and the Supplementary Conditions.

### *10.02 Assignment of Contract*

- A. Unless expressly agreed to elsewhere in the Contract, no assignment by a party hereto of any rights under or interests in the Contract will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation, money that may become due and money that is due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

### *10.03 Successors and Assigns*

- A. Owner and Contractor each binds itself, its successors, assigns, and legal representatives to the other party hereto, its successors, assigns, and legal representatives in respect to all covenants, agreements, and obligations contained in the Contract Documents.

### *10.04 Severability*

- A. Any provision or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

## 10.05 *Contractor's Certifications*

- A. Contractor certifies that it has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for or in executing the Contract. For the purposes of this Paragraph 10.05:
1. "corrupt practice" means the offering, giving, receiving, or soliciting of any thing of value likely to influence the action of a public official in the bidding process or in the Contract execution;
  2. "fraudulent practice" means an intentional misrepresentation of facts made (a) to influence the bidding process or the execution of the Contract to the detriment of Owner, (b) to establish Bid or Contract prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition;
  3. "collusive practice" means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish Bid prices at artificial, non-competitive levels; and
  4. "coercive practice" means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

IN WITNESS WHEREOF, Owner and Contractor have signed this Agreement.

This Agreement will be effective on \_\_\_\_\_(which is the Effective Date of the Contract)

OWNER:

CONTRACTOR:

City of Pella, IA

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

*(If Contractor is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.)*

Attest: \_\_\_\_\_

Attest: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Address for giving notices:

Address for giving notices:

City of Pella

825 Broadway

Pella, Iowa 50219

License

No.: \_\_\_\_\_

*(where applicable)*

*(If Owner is a corporation, attach evidence of authority to sign. If Owner is a public body, attach evidence of authority to sign and resolution or other documents authorizing execution of this Agreement.)*

- 1.1. Contract Documents: All the documents that comprise the agreement between the Owner and Contractor.
- 2. If this Bond is issued for an agreement between a contractor and subcontractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor
- 3. Modifications to this Bond are as follows:



THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

ITEM NO: D-2a & 2b

SUBJECT: Resolution Approving Plans, Specifications, Form of Contract, Estimate of Costs, Receiving Bids and Making Award of Materials for the West Central Underground Conversion Project

DATE: May 2, 2016

BACKGROUND: This resolution approves the plans, specifications, form of contract, and estimate of costs, accepts bids, and awards the material contracts for the West Central Underground Conversion Project. The area of the City associated with the project is the Central College area, bounded by Washington Street and University Street, between W. 1st Street and W. 5th Street. This project involves converting the existing 4.2 kV overhead distribution system to a 12.5 kV underground distribution system. By increasing voltages and placing the existing electric distribution line underground, reliability in this area will improve. As with past conversion projects, a contractor will install the underground conduit system and set the primary transformer pads, and City staff will install the primary and secondary cables. It should also be noted, there will also be homeowner expenses associated with this project as the homeowner will be responsible for connecting to the new electric underground lines. Depending on the customer's existing service, this cost could vary from a nominal amount up to \$1,000.

A bid opening for the project was conducted on April 26, 2016. Six bids were received and are summarized below.

| Description of Items Bid  | Bids Received | Low bidder | Bid Award           |
|---------------------------|---------------|------------|---------------------|
| 15 kV Primary Power Cable | 4             | WESCO      | \$30,334.50         |
| 600 V Secondary Cable     | 5             | Kriz-Davis | \$22,752.48         |
| Single-Phase Transformers | 5             | Resco      | \$37,225.30         |
| Transformer Box Pads      | 3             | Resco      | \$10,449.62         |
| Street Light Poles        | 5             | Irby       | \$26,577.60         |
| Street Light Luminaires   | 6             | Irby       | \$6,864.48          |
| <b>Total</b>              |               |            | <b>\$134,203.98</b> |

After reviewing the bid proposals, the project Engineer, DGR, recommends awarding the contracts as listed in the amount of \$134,203.98. The estimate for material was \$140,700.

Staff is requesting that Council approve the purchase of materials listed above in the amount of \$134,203.98 and authorize the Electric Distribution Superintendent to issue the notice to proceed once the agreements are in proper order and fully executed.

ATTACHMENTS: Resolution, Bid Summary, Engineer's Recommendation, Material Contract Form

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve resolution.

RESOLUTION NO. 5686

RESOLUTION APPROVING PLANS, SPECIFICATIONS, FORM OF CONTRACT,  
ESTIMATE OF COSTS, RECEIVING BIDS AND MAKING AWARD OF CONTRACTS  
FOR MATERIAL FOR THE WEST CENTRAL UNDERGROUND CONVERSION PROJECT

WHEREAS, the City of Pella owns and operates an electric utility that provides electricity to residents of the City of Pella and also to residents outside the City limits but within the service area boundary established by the State of Iowa; and,

WHEREAS, on the 25<sup>th</sup> day of April, 2016 plans, specifications, form of contract, and estimate of costs were filed with the Clerk for material for the West Central Underground Conversion Project; the material more specifically described as:

Six (6) separate bids consisting of the following electrical material:

- Bid No. 1 – 15 kV Primary Power Cable
- Bid No. 2 – 600 V Secondary Cable
- Bid No. 3 – Single-Phase Padmount Distribution Transformers
- Bid No. 4 – Transformer Box Pads
- Bid No. 5 – Street Light Poles
- Bid No. 6 – Street Light Luminaires

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PELLA,  
IOWA:

Section 1. That the said plans, specifications, form of contract and estimate of costs are hereby adopted, as described above and fully described in the contract documents, and awarded to suppliers as indicated below:

- Bid No. 1 – 15 kV Primary Power Cable – Wesco Distribution--\$30,334.50
- Bid No. 2 – 600 V Secondary Cable – Kriz-Davis Company--\$22,752.48
- Bid No. 3 – Single-Phase Padmount Distribution Transformers – Rural Electric Supply Cooperative DBA RESCO--\$37,225.30
- Bid No. 4 – Transformer Box Pads – Rural Electric Supply Cooperative DBA RESCO--\$10,449.62
- Bid No. 5 – Street Light Poles – Irby Utilities--\$26,577.60
- Bid No. 6 – Street Light Luminaires – Irby Utilities--\$6,864.48

Section 2. That the Mayor and Clerk are hereby directed to execute contract with the Suppliers for said material, said contract not to be binding on the City until all contract documents are in proper order and fully executed.

Section 3. The Electric Superintendent is authorized to issue the notice to proceed once Agreements are in proper order and fully executed.

PASSED and ADOPTED this 2<sup>nd</sup> day of May, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST: \_\_\_\_\_  
Ronda Brown, City Clerk

BID SUMMARY  
 FURNISHING ELECTRICAL MATERIALS  
 CITY OF PELLA  
 PELLA, IOWA

Bid Letting: April 26, 2016  
 1:30 p.m.  
 City Office

| Bidder and Address   | Bid Security            | Bid No. 1<br>16 KV Primary Power Cable                                   |   | Bid No. 2<br>800V Secondary Cable  |                             | Bid No. 3<br>Single Phase Transformers            |   |   | Bid No. 4<br>Transformer Box Pads |  | Bid No. 5<br>Street Light Poles |                            | Bid No. 6<br>Street Light Luminaires |                                |
|--|-------------------------|--|---|------------------------------------|-----------------------------|---|---|---|-----------------------------------|--|---------------------------------|----------------------------|--------------------------------------|--------------------------------|
|  |                         | Total Bid  | Manuf/Delivery  | Total Bid                          | Manuf/Delivery              | Total Base Price                                  | Evaluation Price                                  | Manuf/Delivery                                    | Total Bid                         | Manuf/Delivery                               | Total Bid                       | Manuf/Delivery             | Total Bid                            | Manuf/Delivery                 |
| Kriz Davis Co.<br>425 S Bell Ave<br>Ames, IA 50010         | 10%<br>Bid Bond         | \$35,470.50  | Kente<br>4-6 weeks  | \$22,752.48                        | Southwire<br>Stock- 4 weeks | \$56,385.79                                       |   | Cooper Power<br>9-10 weeks                        |                                   | Hubbell<br>4-6 weeks                         |                                 | Union Metal<br>8-10 weeks  | \$8,538.54                           | Cooper<br>4-6 weeks            |
| RESCO<br>933 SE Shurline Dr<br>Ankeny, IA 50021            | 10%<br>Bid Bond         | \$34,668.00<br>\$31,458.00   | Kente/Marmon<br>4-6 weeks<br>General Cable<br>Stock- 1 week | \$26,964.00                        | General Cable<br>8-9 weeks  | \$37,225.30<br>\$37,482.10                        | \$72,823.30<br>\$76,347.10                        | Ermco<br>9-11 weeks<br>Howard<br>6-8 weeks        | \$10,774.90<br>\$10,449.62        | Hubbell<br>3-4 weeks<br>Hubbell<br>3-4 weeks | \$28,087.50                     | Union Metal<br>8-10 weeks  | \$6,965.70                           | American Electric<br>4-6 weeks |
| IRBY Utilities<br>980 Lone Oak Rd<br>Eagan, MN 55121       | 10%<br>Bid Bond         | \$29,550.00<br>-doesn't meet spec-<br>\$28,050.00<br>-doesn't meet spec- | Southwire<br>1-2 weeks<br>Southwire<br>1-2 weeks            | \$23,180.00                        | Southwire<br>30-Jun         | \$40,781.34<br>-doesn't meet spec-<br>\$36,933.21 | \$71,362.34<br>-doesn't meet spec-<br>\$75,798.21 | Central Matoney<br>8 weeks<br>Howard<br>6-8 weeks | NO BID                            |  | \$26,577.60                     | Union Metal<br>8-10 weeks  | \$6,864.48                           | American Electric<br>4-6 weeks |
| WESCO<br>2301 Fleur Drive<br>Des Moines, IA 50321          | 10%<br>Bid Bond         | \$30,334.50<br>-subject to metals-                                       | Okonite<br>7/15/2016  | \$21,688.90<br>-doesn't meet spec- | Nexans<br>8-9 weeks         | \$35,275.33                                       | \$84,785.83                                       | ABB<br>8-9 weeks                                  | NO BID                            |  | \$27,458.34                     | Union Metal<br>10-11 weeks | \$7,120.74                           | American Electric              |
| Terry Durin Co<br>409 7th Ave SE<br>Cedar Rapids IA 52401  | 5%<br>Cashiers<br>Check | NO BID   |   | NO BID                             |                             | NO BID  |   |   | NO BID                            |  | NO BID                          |                            | \$9,880.92                           | Philips<br>Stock- 6 weeks      |
| Border States<br>2515 18th St SW<br>Cedar Rapids, IA 52404 | No Bid<br>Security      | Non Responsive Bid   |   |                                    |                             |   |   |   |                                   |  |                                 |                            |                                      |                                |



April 28, 2016

Nate Spurgeon  
(Via E-mail only)

**Re: Furnishing Electrical Materials - Award Recommendations  
West Central Conversion - 2016  
City of Pella, IA  
DGR Project No. 414953**

Dear Nate:

We have completed our review of the bids received on April 26, 2016 for the major materials needed for the distribution conversion project. A bid summary form is included with this letter. We will be sending a copy of the bid summary to all bidders.

**Bid #1 – Primary Power Cable:**

The six (6) bids that were received had a total base bid price range from \$28,050.00 to \$35,470.50. The lowest two bidders were not in compliance with the specifications. Therefore, we are recommending the third lowest bidder WESCO of Des Moines, IA at \$30,334.50. WESCO's bid includes cable manufactured by Okonite. Okonite was an approved manufacturer. We are therefore recommending that WESCO be awarded the contract for the primary cable for the purchase price amount of \$30,334.50.

Note that WESCO's bid is subject to metals escalation or de-escalation. The metals costs can be firmed up on day of order.

**Bid #2 – Secondary Cable:**

The four (4) bids that were received had a total base bid price range from \$21,688.90 to \$26,964.00. The lowest bidder was not in compliance with the specifications. Therefore, we are recommending the second lowest bidder Kriz Davis Co. of Ames, IA at \$22,752.48. Kriz Davis' bid includes secondary cable manufactured by Southwire. Southwire was an approved manufacturer. We are therefore recommending that Kriz Davis be awarded the contract for the secondary cable for the purchase price amount of \$22,752.48.

**Bid #3 – Single Phase Padmount Transformers:**

The six (6) bids that were received had a total evaluation bid price range from \$71,362.34 to \$98,539.29. The lowest bidder was not in compliance with the specifications. Therefore, we are recommending the second lowest bidder RESCO of Ankeny, IA at \$72,823.30. RESCO's bid includes transformers manufactured by Ermco. Ermco was an approved manufacturer. We are

Mr. Nate Spurgeon  
Page Two  
April 28, 2016

therefore recommending that RESCO be awarded the contract for the single phase transformers for the purchase price amount of \$37,225.30.

**Bid #4 – Fiberglass Box Pads:**

The three (3) bids that were received had a total base bid price range from \$10,449.62 to \$10,774.90 with RESCO of Ankeny, IA providing the low bid. RESCO's bid includes box pads manufactured by Hubbell Power Systems. Hubbell was an approved manufacturer. We are therefore recommending that RESCO be awarded the contract for the box pads for the purchase price amount of \$10,449.62.

**Bid #5 – Street Light Poles:**

The four (4) bids that were received had a total base bid price range from \$26,577.60 to \$28,087.50 with Irby Utilities of Eagan, MN providing the low bid. Irby's bid includes poles manufactured by Union Metal. Union Metal was an approved manufacturer. We are therefore recommending that Irby be awarded the contract for the street light poles for the purchase price amount of \$26,577.60.

**Bid #6 – Street Light Luminaires:**

The five (5) bids that were received had a total base bid price range from \$6,864.48 to \$9,880.92 with Irby Utilities of Eagan, MN providing the low bid. Irby's bid includes luminaires manufactured by American Electric Lighting. American Electric Lighting was an approved manufacturer. We are therefore recommending that Irby be awarded the contract for the street light luminaires for the purchase price amount of \$6,864.48.

The total value of all bids will be \$134,203.98, plus metals escalation/de-escalation for the primary cable.

Please pass our recommendations on to the Council, and let us know when these contracts have been awarded. We will then proceed with processing the Contract Documents. Feel free to contact us with any questions you or the Council may have.

Best Regards,

DGR Engineering



Dennis Haselhoff, P.E.  
DJH:spm

Enclosures

## MATERIAL AGREEMENT

THIS AGREEMENT made as of \_\_\_\_, 2016 between \_\_\_\_\_ (hereinafter called the "Supplier"), and City of Pella, Iowa (hereinafter called the "Owner"),

WITNESSETH, that the Supplier and the Owner for the considerations hereinafter named agree as follows:

1. **Scope of Work:** The Supplier agrees to sell and deliver to the Owner and the Owner agrees to purchase and receive from the Supplier the equipment under Bid No. \_\_\_\_\_, in strict accordance with the documents entitled "**Furnishing Electrical Materials**" for City of Pella, Iowa".
2. **The Contract Documents:** The Contract Documents shall consist of this written Agreement, Bid Proposal, Notice of Public Hearing and Letting, Instructions to Bidders, Addendums issued numbers \_\_\_\_\_, Insurance Policies and Certificates, General Requirements, Performance Bond, drawings and specifications, tests and engineering data, approved change orders, Supplier's Requests for Payment, and all addenda issued by the Owner prior to the awarding of the Contract (collectively, the "Contract Documents"). All of the Contract Documents listed in this Material Agreement are hereby incorporated by this reference as fully as if they were set out in this Agreement in full, all of which documents and instruments are incorporated by the signature of the parties hereto.
3. **Time of Completion:** The work to be performed under this contract shall be commenced upon execution of this Agreement and shall be fully completed by \_\_\_\_\_
4. **The Contract Sum:** The Owner shall pay the Supplier for the equipment, in current funds: The Owner shall pay to the Supplier for performance of the work encompassed by this Agreement, and the Supplier will accept as full compensation therefore the lump sum of \$ \_\_\_\_\_, subject to adjustment as provided by the Contract Documents, to be paid by progress payments in cash or its equivalent in the manner provided for in the Contract Documents.
5. **Payment:** Payment to the Supplier will be made on the basis of one hundred percent (100%) of the base bid within thirty (30) days of receipt of the materials in acceptable condition and associated invoice.
6. **Termination:** This Agreement may be terminated by either party upon seven (7) days written notice should the other party breach the terms of this Agreement.
7. **Assignment:** The Supplier shall not assign all of his rights or obligations under this Agreement without the express written consent of the Owner. Upon any assignment even though consented to by the Owner, the Supplier shall remain liable for the performance of the work under this Agreement.
8. **Partial Invalidity:** If any provisions of this Agreement are in violation of any statute or rule of law of the State of Iowa, then such provisions shall be deemed null and void to the

extent that they may be violative of law, but without invalidating the remaining provisions hereof.

9. **Waiver:** No waiver of any breach of any one of the agreements, terms conditions or covenants of this Agreement by the Owner shall be deemed or imply or constitute a waiver of any other agreement, term, condition or covenant of this Agreement. The failure of the Owner to insist on strict performance of any agreement, term, condition or covenant, herein set forth, shall not constitute or be construed as a waiver of the Owner's rights thereafter to enforce any other default; neither shall such failure to insist upon strict performance be deemed sufficient grounds to enable the Supplier to forego or subvert or otherwise disregard any other agreement, term, condition or covenant of this Agreement.
10. **Entire Agreement:** The within Agreement, together with the Contract Documents, constitute the entire agreement of the parties hereto. No modification, change, or alteration of the within Agreement shall be of any legal force or effect unless in writing, signed by all the parties.
11. **Counterparts:** This Agreement may be executed in several counterparts and each such counterpart shall be deemed an original.
12. **Governing Law:** Venue for any and all legal actions regarding or arising out of the transaction covered herein shall be solely in the District Court in and for Marion County, State of Iowa or the United States District Court for the Southern District of Iowa. This transaction shall be governed by the laws of the State of Iowa.
13. **Notices:** All notices, requests, demands and other communications given or to be given under this Agreement shall be in writing and shall be deemed to have been duly given when served if served personally, or on the second day after mailing if mailed by first class mail, registered or certified, postage prepaid, and properly addressed to the party to whom notice is to be given as set forth below.

If to Owner:

City of Pella  
825 Broadway  
Pella, IA 50219

If to Supplier:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

14. **Casualty Insurance:** Except when the risk of loss of the Equipment is with Owner, Supplier shall maintain on the Equipment insurance against loss or damage by fire, lightning and all other risks covered by the so-called extended coverage insurance endorsement in an amount equal to the full insurable value of the Equipment. Upon the request of Owner, Supplier shall deliver to Owner a certificate of insurance evidencing the insurance required by this section.
15. **Risk of Loss:** Risk of loss of the Equipment shall remain with Supplier until the Equipment has been unloaded, inspected, and accepted by the Owner or Owner's Representative, at which time risk of loss shall pass to Owner. Notwithstanding the foregoing, if Owner rejects the Equipment as non-conforming, risk of loss of the

Equipment shall be and remain with Supplier until Supplier corrects the non-conformity or Buyer accepts the Equipment.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their duly authorized representatives all as of the day and year first above written.

CITY OF PELLA, IOWA  
Owner

\_\_\_\_\_  
Supplier

By \_\_\_\_\_

By \_\_\_\_\_

ATTEST:

ATTEST:

By \_\_\_\_\_

By \_\_\_\_\_



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THE  
**CITY of PELLA**

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**STAFF MEMO TO COUNCIL**

ITEM NO: E-1

SUBJECT: Temporary Outdoor Service Area Extension for Billyjak's Saloon

DATE: May 2, 2016

**BACKGROUND:** Billyjak's Saloon, located at 514 ½ Main Street, has applied for a temporary outdoor service area extension on their Class C Liquor License for Friday, May 6, 2016 and Saturday, May 7, 2016 from 7:00 a.m. to 2:00 a.m. (Sunday). They have requested to fence off an area approximately 16 ft by 20 ft adjacent to their current outdoor service area in which they would block off two parking spaces on their property, which is allowable under the City Code on a short-term or temporary basis. To accommodate the outdoor service area, Billyjak's has proposed to remove the east end fencing of their current outdoor space so access to the enlarged service area is only through the bar. The fence surrounding the area will be eight foot tall.

Last year, Billyjak's had a one day temporary outdoor service area extension for Saturday of Tulip Time. Billyjak's practices were appropriate during that time. This year, they are requesting Friday as well as Saturday. It should be noted, the area is less than the size requested last year. In addition, five parking spaces were blocked off last year instead of two spaces in their current request.

As Council considers this request, it is important to note that parking in the downtown area during Tulip Time is at a premium and two parking spaces will be lost to accommodate this outdoor service area extension, which could place additional demands upon public parking. In addition, another factor to consider is this location is in close proximity to the Tulip Time parade route and staging areas.

The application has been completed online with the state along with the required dram shop insurance.

ATTACHMENTS: None

REPORT PREPARED BY: City Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Council decision.



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: E-2

SUBJECT: Special Event Permit Request for Tour de Toren

DATE: May 2, 2016

**BACKGROUND:** Bethany Christian Services, located at 617 Franklin, has requested a special event permit for a 24 hour event known as "Tour de Toren" to be held on Friday, May 20 starting at 5:00 pm and ending on Saturday, May 21 at 5:00 pm. Set-up/take down time would be 1-2 hours before and after the event.

As background, the Pella Tri Club has partnered with Bethany Christian Services over the past several years to complete AFRAID (A Fast Ride Across Iowa in a Day). This year, they want to ride the 24 hours on bike trainers on the Tulip Toren main platform. The bikers will see how many miles they can cover as they raise pledges based on mileage and raise awareness for Bethany Christian Services.

Bethany Christian Services also plans to have a food/hydration station for the riders and a table with Bethany brochures in the grassy area to the east of the Tulip Toren platform. They also would like to place a large vinyl banner between the Tulip Toren columns behind the riders.

The fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Application, Department Comments, Map

REPORT PREPARED BY: City Hall Staff

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve Special Event.



THE  
**CITY of PELLA**

**SPECIAL EVENTS APPLICATION**

Please make sure the application is complete before submitting it to City Hall. This includes the *fee payment* and the *\$1,000,000 insurance certificate*. The application should be submitted at least a month in advance of the event date.

|                             |                          |           |                            |
|-----------------------------|--------------------------|-----------|----------------------------|
| <b>For Office Use Only:</b> |                          |           |                            |
| Date Received: 4/13/16      | Received by: [Signature] | Fee: \$20 | Insurance Certificate: yes |

Name of Event: Tour de Toren

|   |  |
|---|--|
| Date of Application: 04/12/16   | Fee Paid: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No              |
| Attach Insurance Certificate (\$1,000,000 min) naming City of Pella "Also Insured". | Insurance Certificate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Make check payable to City of Pella   |  |

Describe the Event: (Purpose of event, activities planned, number of anticipated people in attendance, history/origin of event, etc.) (Attach additional page is needed.)

*The Pella Tri Club has partnered with Bethany Christian Services over the past several years to complete AFRID (A Fast Ride Across Iowa in A Day), but this year we're excited to focus on Pella for this 24-hours with Tour de Toren. The riders would ride their trainers throughout this time frame to see how many miles they can cover, raise pledges based on mileage, raise awareness for Bethany, etc.*

**PROMOTER AND CONTACT PERSON INFORMATION**

|  |  |
|--|--|
| Promoter's Name: Bethany Christian Services      | Contact Person: Leah Corland                     |
| Signature: [Signature] Executive Board Director  | Signature: [Signature]                           |
| Address: 617 Franklin St.<br>Pella, IA 50219     | Address: 617 Franklin St.<br>Pella, IA 50219     |
| Phone: (641) 628-3247 Cell Phone: (515) 729-3121 | Phone: (641) 628-3247 Cell Phone: (515) 729-3121 |

**EVENT INFORMATION**

DATE(S) AND TIME(S) OF EVENT: 5:00pm - May 20 until 5:00pm - May 21

DATE(S) AND TIME(S) OF SET-UP/TAKE DOWN: very minimal - 1-2 hours before and afterwards

LOCATION OF EVENT: Name streets, parks, area, etc and ATTACH map or drawing.  
*Just the main platform of the Tulip Toren.*

## EVENT INFORMATION (continued)

**DO STREETS NEED TO BE CLOSED?**  Yes  No If YES, list streets to be closed and indicate on map. Also list number of barricades needed.

| Street Name | Distance on Street | Date/ Time for Street Closings |         | # of Barricades |
|-------------|--------------------|--------------------------------|---------|-----------------|
|             |                    | Starting:                      | Ending: |                 |
|             |                    | Starting:                      | Ending: |                 |

**DO PARKING SPACES NEED TO BE RESERVED?**  Yes  No If spaces need to be roped off or reserved, please indicate below.

| Location | # of Cones |
|----------|------------|
|          |            |

**WILL SIGNAGE BE USED?**  Yes  No If Yes, complete the Special Event Signage Information Sheet.

**WILL POLICE OFFICERS OR RESERVES BE NEEDED?**  Yes  No If Yes, list number needed and for what length of time. You will be billed \$30 per hour per officer.

**WILL ADDITIONAL ELECTRICITY BE REQUIRED?**  Yes  No If Yes, complete the Special Event Electrical Information Sheet.

**WILL ANY OTHER CITY SERVICES BE NEEDED?**  Yes  No If Yes, list details.

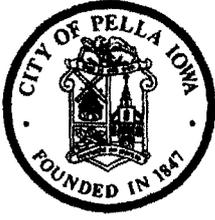
**COMPLETE LAYOUT OF THE CITY PROPERTY TO BE USED:**  Map  Drawing

If the map does not accurately show the area, then a drawing should be included. For example, the dimensions of the area to be used or a more detailed description of the area would be helpful. Please be reminded that if you are requesting the use of a park, the parking spaces around that area are not included in the permit, unless specifically requested.

**WILL THERE BE VENDOR BOOTHS?**  Yes  No If Yes, a list of the names of all vendors and a map showing the location and size of the vendor booths needs to be sent to City Hall prior to the date of the event as outlined in Sec 123.04 of the City Code (attached). The time requirement for submittal of this list is dependent upon the length and size of your event. For large events, please supply this information earlier than the one month recommendation.

**WILL ANY PART OF THE EVENT BE HELD ON PRIVATE PROPERTY?**  Yes  No If Yes, list the address of the property and have the property owner sign below giving their consent for use of their property for this special event.

| Property Owner | Address | Signature of Property Owner |
|----------------|---------|-----------------------------|
|                |         |                             |
|                |         |                             |



THE  
**CITY of PELLA**

**SPECIAL EVENTS--SIGNAGE INFORMATION SHEET**

**Information Required:**

Anyone that is planning to have temporary signage associated with a Special Event Permit will need to submit the following signage information along with the Special Event Permit Application.

|  |   |
|--|---|
| Type of Sign(s): <input type="checkbox"/> A-frame <input checked="" type="checkbox"/> banner <input type="checkbox"/> portable <input type="checkbox"/> sandwich board <input type="checkbox"/> traffic directional <input type="checkbox"/> vehicle mounted<br><input type="checkbox"/> window <input type="checkbox"/> other (please describe) |   |
| Size of Sign(s): <i>unsure but would be welcome to your advice.</i>  |   |
| Time of Sign Placement: <i>4 am - 05/20/16</i>   | Time of Sign Removal: <i>5:30 pm - 05/21/16</i> |
| Colors and Materials of Proposed Sign: <i>Bethany logo (green) reading "Bethany Christian Services presents"</i>   |   |
| Any Proposed Lighting: <i>none needed.</i>   |   |
| Proposed Location(s) of Signage: <i>behind the riders</i>  |   |

**Traffic Safety**

Signs shall not create a traffic hazard or impede vehicular or pedestrian traffic. Signs in the public right of way are prohibited unless expressly authorized by the Special Event Permit. The City of Pella reserves the right to require additional signage, which may be at the expense of the Special Event applicant, as determined for the safety and well being of the general public.

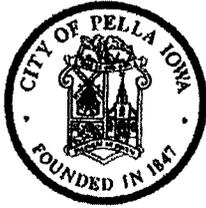
**Prompt Removal of Signs**

Temporary signs associated with a Special Event Permit must be removed immediately upon the termination of the event.

**Right of Approval/Denial**

The City of Pella reserves the right to approve or deny signage associated with Special Events and to determine the scheduling of such display if approved.





THE  
**CITY of PELLA**

**SPECIAL EVENTS--SIGNAGE INFORMATION SHEET**

**Information Required:**

Anyone that is planning to have temporary signage associated with a Special Event Permit will need to submit the following signage information along with the Special Event Permit Application.

|  |  |
|--|--|
| Type of Sign(s): <input type="checkbox"/> A-frame <input checked="" type="checkbox"/> banner <input type="checkbox"/> portable <input type="checkbox"/> sandwich board <input type="checkbox"/> traffic directional <input type="checkbox"/> vehicle mounted<br><input type="checkbox"/> window <input type="checkbox"/> other (please describe) |  |
| Size of Sign(s): <del>unsure but would be welcome to your advice.</del> - ~ 15 feet  |  |
| Time of Sign Placement: 4 pm - 05/20/16  | Time of Sign Removal: 5:30 pm - 05/21/16 |
| Colors and Materials of Proposed Sign: Bethany logo (green) reading "Bethany Christian Services presents<br>Tour de Toren" - Vinyl   |  |
| Any Proposed Lighting: none needed.  |  |
| Proposed Location(s) of Signage: behind the riders on the Toren platform between the<br>columns  |  |

**Traffic Safety**

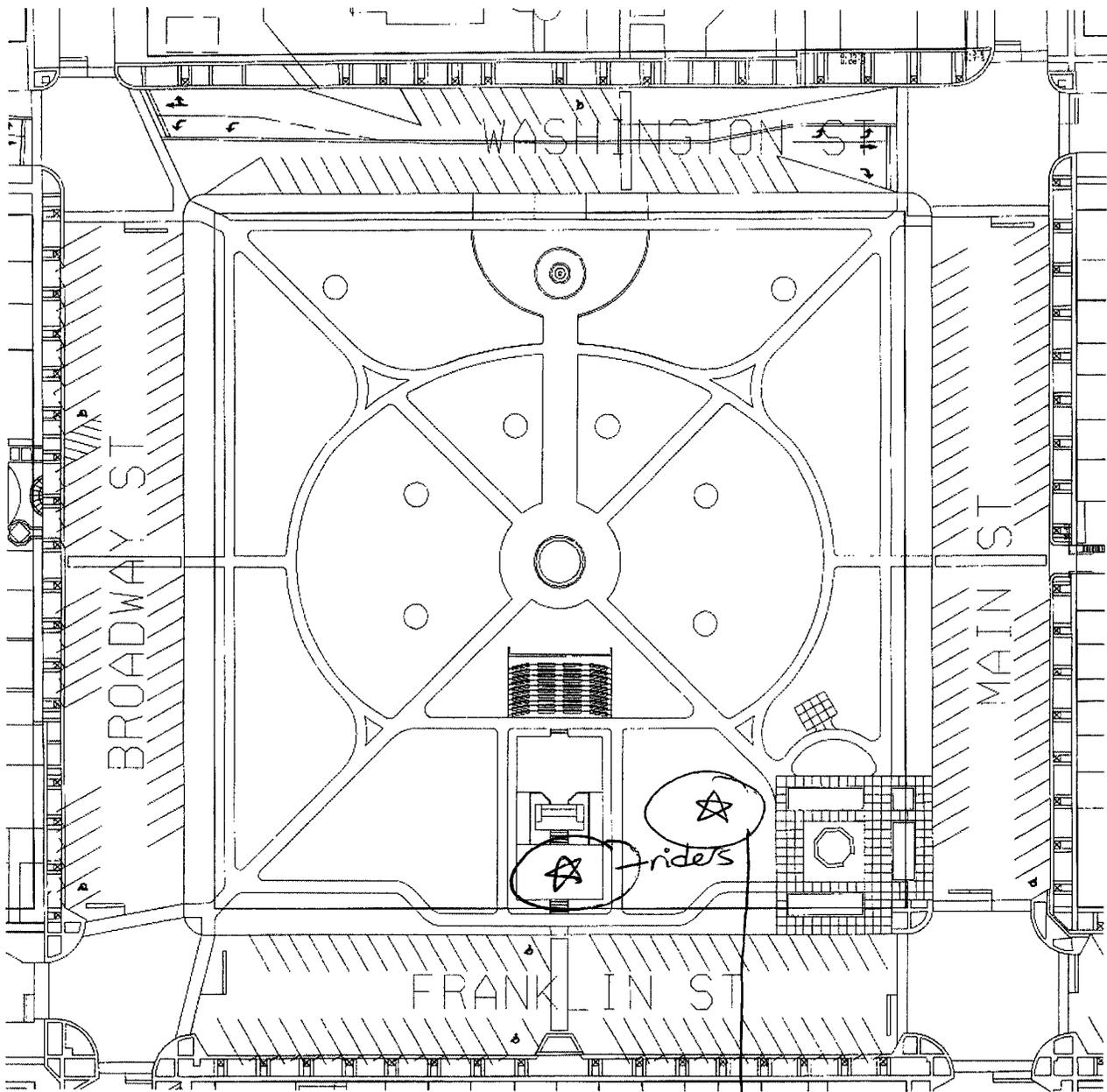
Signs shall not create a traffic hazard or impede vehicular or pedestrian traffic. Signs in the public right of way are prohibited unless expressly authorized by the Special Event Permit. The City of Pella reserves the right to require additional signage, which may be at the expense of the Special Event applicant, as determined for the safety and well being of the general public.

**Prompt Removal of Signs**

Temporary signs associated with a Special Event Permit must be removed immediately upon the termination of the event.

**Right of Approval/Denial**

The City of Pella reserves the right to approve or deny signage associated with Special Events and to determine the scheduling of such display if approved.



CEI  
F  
Pe

- food / hydration station
- Bethany table with brochures



## CITY OF PELLA SPECIAL EVENTS DEPARTMENT REVIEW

|            |                           |
|------------|---------------------------|
| [REDACTED] | Tour de Toren             |
|            | April 22, 2016            |
|            | Ronda Brown               |
|            | May 20-May 21             |
|            | Leah Garland 641-628-3247 |

[REDACTED]  
Recommend approval. RAB

[REDACTED]  
Recommend approval. DB

[REDACTED]  
Applicant needs to check with Parks Department for appropriate method of attachment to the Toren for the banner display. Recommend approval. GW

[REDACTED]  
Hook-up at Tulip Toren is provided by Parks Department. Recommend approval. DM

[REDACTED]  
Event coordinator should contact Parks Manager, Chandler Nunnikhoven, 230-0074 prior to the event to discuss banner attachment and electric. Recommend approval. JV



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THE  
**CITY of PELLA**  

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**STAFF MEMO TO COUNCIL**

ITEM NO. E-3a & 3b

SUBJECT: Chamber of Commerce Special Event "Thursdays in Pella"

DATE: May 2, 2016

**BACKGROUND:** The Pella Chamber of Commerce is requesting a Special Event Permit for "Thursdays in Pella" on Thursday nights from June 2 through July 28, 2015. The events are scheduled from 6:00-9:00 p.m. with set-up starting at 3:00 p.m. and take down until 9:00 p.m. Expected attendance is 1,000-1,500 each Thursday night.

Listed below are the proposed street closures for "Thursdays in Pella". It should be noted, the streets are proposed to be closed from 3:00-9:00 p.m. for each event.

|                       |         |   |
|-----------------------|---------|---|
| Family Fun            | June 2  | 700 Block of Franklin   |
| Paws in the Park      | June 9  | 800 Block of Main   |
| Who Let the Dads Out  | June 16 | 800 Block of Broadway   |
| Hometown Heroes       | June 23 | 700 Block of Franklin   |
| Care & Share Carnival | June 30 | Parking Spaces Only   |
| Color Me Pella        | July 7  | 800 Block of Broadway and 700 Block of Franklin                           |
| Game Night            | July 14 | Parking Spaces Only   |
| Go for the Gold!      | July 21 | 800 Block of Broadway   |
| Ag in the City        | July 28 | 800 Block of Broadway; 600 & 700 Blocks of Franklin;<br>800 Block of Main |

In addition, the Chamber has also requested that parking spaces on the west side of Main Street from Franklin Street north to approximately eight spaces north of the crosswalk and 4 spaces on the east side in front of Marion County Bank be closed each Thursday evening in June and July for food vendors. Also requested are 4-5 spaces on the north side of Franklin in front of the Windmill be closed on June 9, 16, 30; July 14 and 21.

All pertinent City Departments have reviewed this application and comments are attached. The appropriate fee and insurance certificate have been received, and approval is recommended.

ATTACHMENTS: Resolution, Application, Maps, Department Head Comments

REPORT PREPARED BY: Administration

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDED ACTION: Approve special event and resolution.

RESOLUTION NO. 5687

RESOLUTION TEMPORARILY CLOSING  
PUBLIC WAYS OR GROUNDS FOR THE SPECIAL EVENT KNOWN AS  
"THURSDAYS IN PELLA "

WHEREAS, Iowa Code Section 364.12 (2) states that a city shall keep all public grounds, streets, sidewalks, alleys, bridges, culverts, overpasses, underpasses, grade crossing separations and approaches, public ways, squares, and commons open, in repair, and free from nuisance, with the following exceptions"; and

WHEREAS, Iowa Code Section 364.12 (2) states that "Public ways and grounds may be temporarily closed by resolution"; and

WHEREAS, the Chamber has requested that parking spaces on the west side of Main Street from Franklin Street north to approximately eight spaces north of the crosswalk and 4 spaces on the east side of Main Street in front of Marion County Bank be closed each Thursday evening in June and July 2016 for food vendors.

WHEREAS, also requested are 4-5 spaces on the north side of Franklin in front of the Windmill be closed on June 9, 16, 30 and July 14 and 21.

WHEREAS, the Chamber of Commerce has requested the closing of the following streets for the purpose of the Special Event known as "Thursdays in Pella."

|                       |         |  |
|-----------------------|---------|--|
| Family Fun            | June 2  | 700 Block of Franklin  |
| Paws in the Park      | June 9  | 800 Block of Main  |
| Who Let the Dads Out  | June 16 | 800 Block of Broadway  |
| Hometown Heroes       | June 23 | 700 Block of Franklin  |
| Care & Share Carnival | June 30 | Parking Spaces Only  |
| Color Me Pella        | July 7  | 800 Block of Broadway and 700 Block of Franklin                        |
| Game Night            | July 14 | Parking Spaces Only  |
| Go for the Gold!      | July 21 | 800 Block of Broadway  |
| Ag in the City        | July 28 | 800 Block of Broadway; 600 & 700 Blocks of Franklin; 800 Block of Main |

NOW THEREFORE, BE IT RESOLVED pursuant to Iowa Code Section 364.12 (2), the City Council of the City of Pella does hereby temporarily close the streets and parking spaces as stated above.

PASSED AND ADOPTED this 2nd day of May 2016.

\_\_\_\_\_  
Jim Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk



THE  
**CITY of PELLA**

**SPECIAL EVENTS APPLICATION**

Please make sure the application is complete before submitting it to City Hall. This includes the *fee payment* and the *\$1,000,000 insurance certificate*. The application should be submitted at least a month in advance of the event date.

|                             |              |      |                        |
|-----------------------------|--------------|------|------------------------|
| <b>For Office Use Only:</b> |              |      |                        |
| Date Received:              | Received by: | Fee: | Insurance Certificate: |

|                |  |
|----------------|--|
| Name of Event: | <p style="font-size: 1.2em; margin: 0;">Thursdays in Pella</p> |
|----------------|--|

|   |  |
|---|--|
| Date of Application: <span style="font-size: 1.2em;">3/25/16</span>                 | Fee Paid: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No              |
| Attach Insurance Certificate (\$1,000,000 min) naming City of Pella "Also Insured". | Insurance Certificate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |

Describe the Event: (Purpose of event, activities planned, number of anticipated people in attendance, history/origin of event, etc.) (Attach additional page is needed.)

Each Thursday in June + July will feature family-friendly activities along with music + food in a festival-like atmosphere. Expected attendance at each night is approximately 1000-1500 people.

**PROMOTER AND CONTACT PERSON INFORMATION**

|  |   |
|--|---|
| Promoter's Name: Pella Chamber of Commerce     | Contact Person: Sarah Treff / Karen Eischen |
| Signature:                                     | Signature: <i>Sarah Treff</i>               |
| Address: 818 Washington St.<br>Pella, IA 50219 | Address:                                    |
| Phone: 628-2626                                | Cell Phone: 712-899-6860                    |
| <i>Sarah</i>                                   | <i>Karen</i>                                |

**EVENT INFORMATION**

|  |
|--|
| DATE(S) AND TIME(S) OF EVENT: June 2, 9, 16, 23, 30; July 7, 14, 21, 28  |
| DATE(S) AND TIME(S) OF SET-UP/TAKE DOWN: 3-9 pm  |
| LOCATION OF EVENT: Name streets, parks, area, etc and ATTACH map or drawing.<br>Central Park mainly (see attached for streets) |

## EVENT INFORMATION (continued)

**DO STREETS NEED TO BE CLOSED?**  Yes  No If YES, list streets to be closed and indicate on map. Also list number of barricades needed.

| Street Name         | Distance on Street | Date/ Time for Street Closings | # of Barricades |
|---------------------|--------------------|--------------------------------|-----------------|
| <i>See attached</i> |                    | Starting: _____ Ending: _____  |                 |
|                     |                    | Starting: _____ Ending: _____  |                 |

**DO PARKING SPACES NEED TO BE RESERVED?**  Yes  No If spaces need to be roped off or reserved, please indicate below.

| Location   | # of Cones |
|--|------------|
| <i>see attached (our office will block streets off if city can put out barricades)</i> |            |

**WILL SIGNAGE BE USED?**  Yes  No If Yes, complete the Special Event Signage Information Sheet.

**WILL POLICE OFFICERS OR RESERVES BE NEEDED?**  Yes  No If Yes, list number needed and for what length of time. You will be billed \$30 per hour per officer.

**WILL ADDITIONAL ELECTRICITY BE REQUIRED?**  Yes  No If Yes, complete the Special Event Electrical Information Sheet.

**WILL ANY OTHER CITY SERVICES BE NEEDED?**  Yes  No If Yes, list details.

*Barricades as indicated on attached maps; picnic tables for July 28 (see attached)  
12 Garbage cans (see map for placement), downtown sound system*

**COMPLETE LAYOUT OF THE CITY PROPERTY TO BE USED:**  Map  Drawing

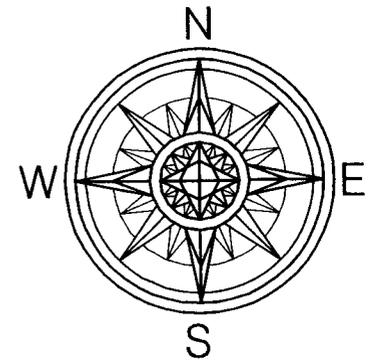
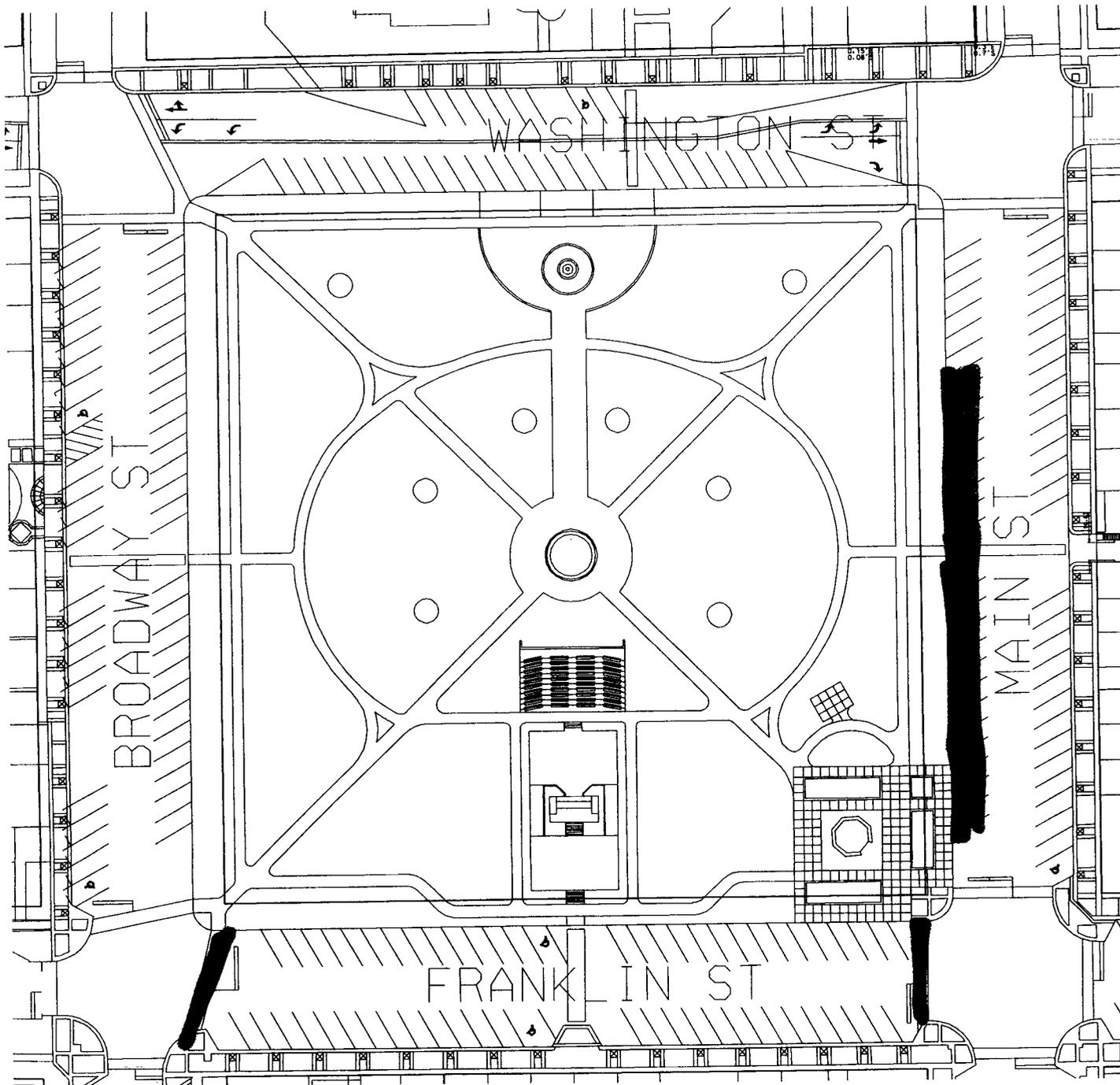
If the map does not accurately show the area, then a drawing should be included. For example, the dimensions of the area to be used or a more detailed description of the area would be helpful. Please be reminded that if you are requesting the use of a park, the parking spaces around that area are not included in the permit, unless specifically requested.

**WILL THERE BE VENDOR BOOTHS?**  Yes  No If Yes, a list of the names of all vendors and a map showing the location and size of the vendor booths needs to be sent to City Hall prior to the date of the event as outlined in Sec 123.04 of the City Code (attached). The time requirement for submittal of this list is dependent upon the length and size of your event. For large events, please supply this information earlier than the one month recommendation.

*see attachment A*

**WILL ANY PART OF THE EVENT BE HELD ON PRIVATE PROPERTY?**  Yes  No If Yes, list the address of the property and have the property owner sign below giving their consent for use of their property for this special event.

| Property Owner | Address | Signature of Property Owner |
|----------------|---------|-----------------------------|
|                |         |                             |
|                |         |                             |

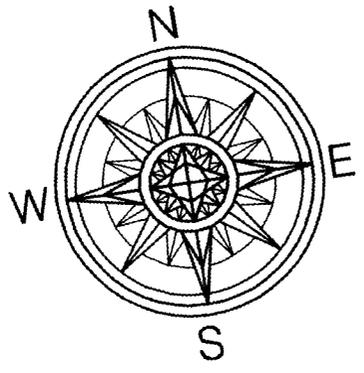
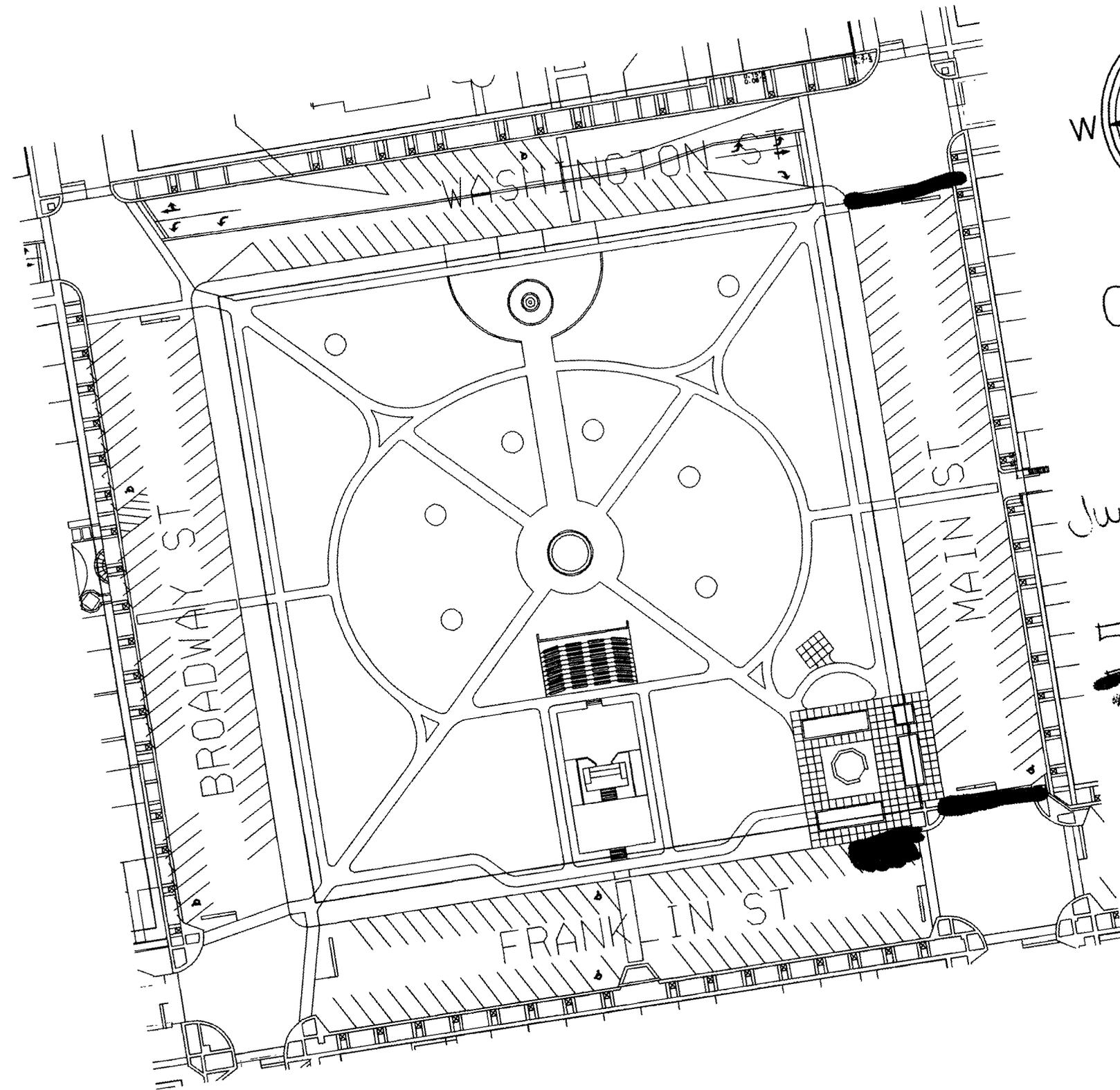


# CENTRAL PARK

Pella, Iowa

June 4th - Family  
fun for Everyone

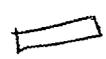
-  Street closure  
3-9pm
-  Barricades
-  Parking space  
closure 3-9pm

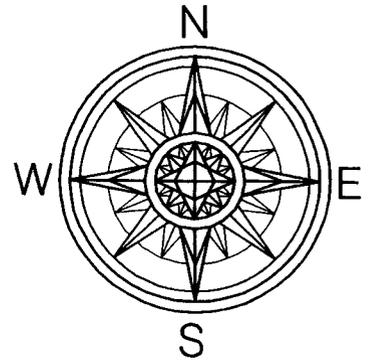
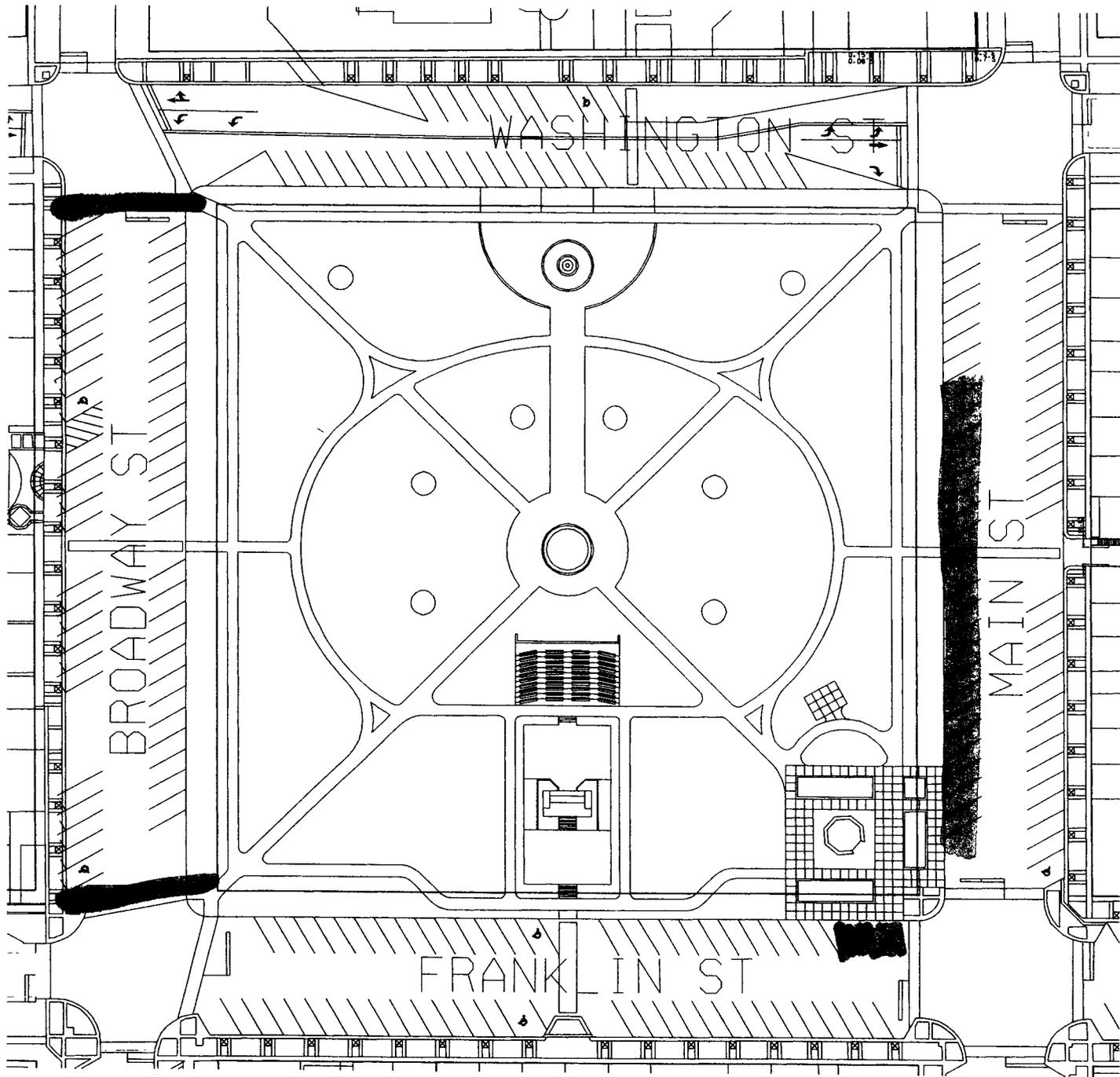


# CENTRAL PARK

Pella, Iowa

June 9 - Paws in the Park

-  Street closure 3-9 pm
-  parking space closure 3-9 pm
-  Barricades

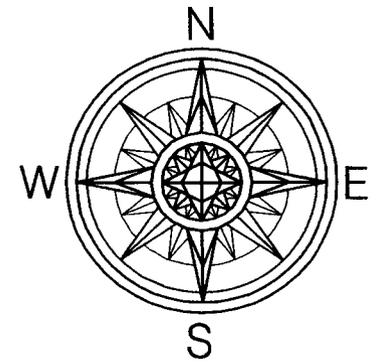
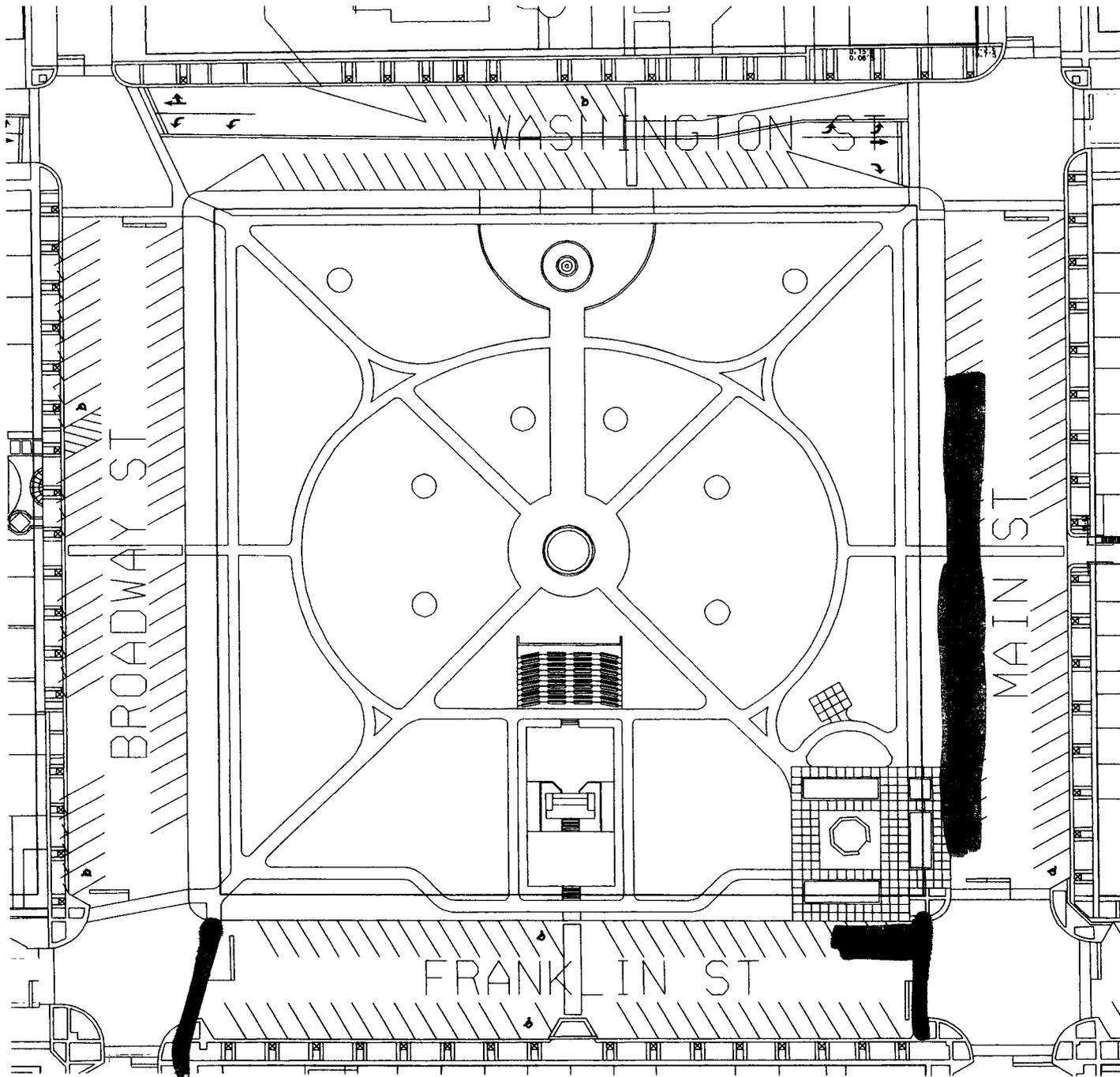


# CENTRAL PARK

Pella, Iowa

June 16 - Who Let the Dads Out?

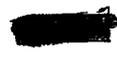
-  Street closure 3-9 pm
-  parking space closure 3-9 pm
-  Barricades

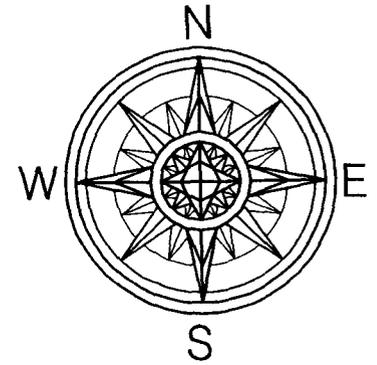
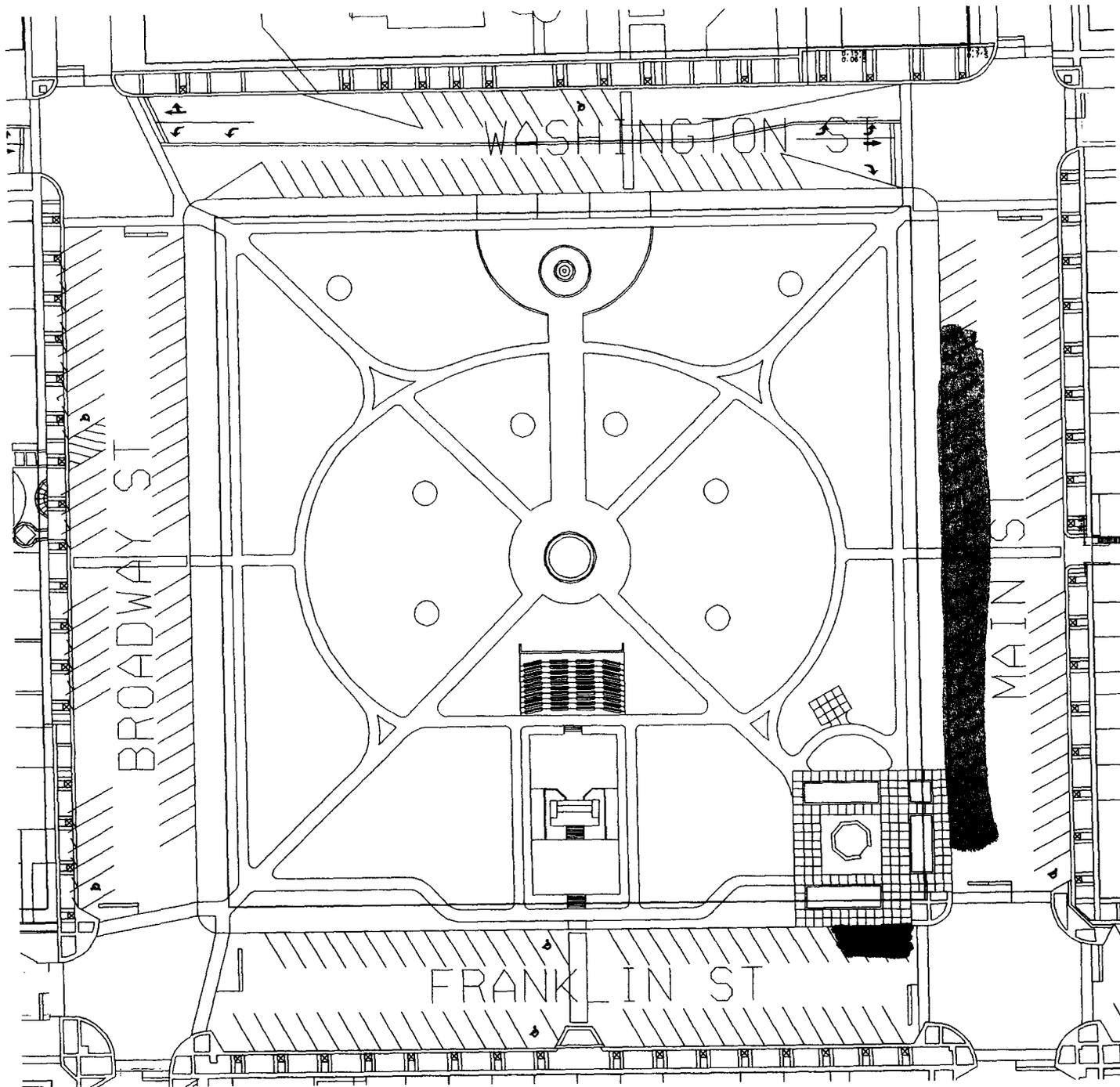


# CENTRAL PARK

Pella, Iowa

June 23 - Hometown  
Heroes

-  Street closure  
3-9 pm
-  parking spots  
closure 3-9pm
-  Barricades

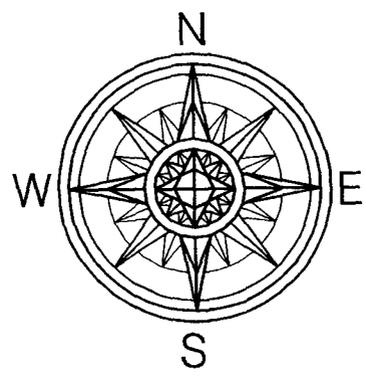
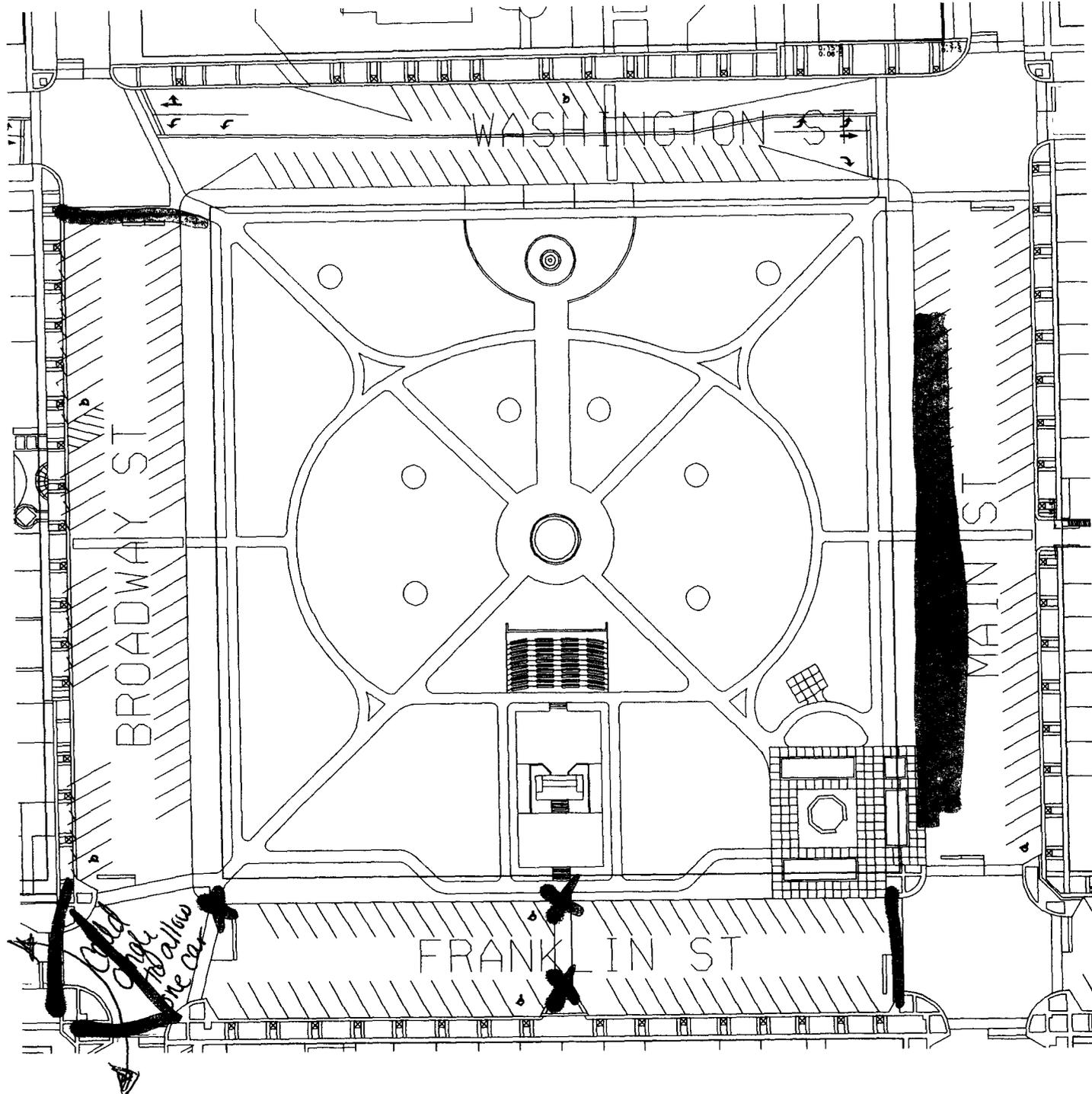


# CENTRAL PARK

Pella, Iowa

June 30 - Care &  
Share Carnival

- Street closure  
3-9 pm
- parking space  
closure 3-9 pm
- Barricades

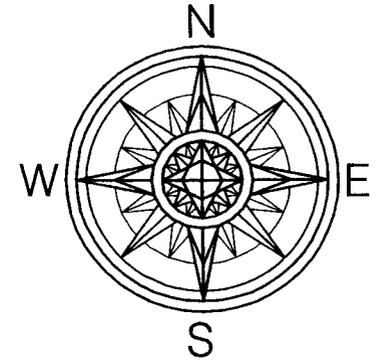
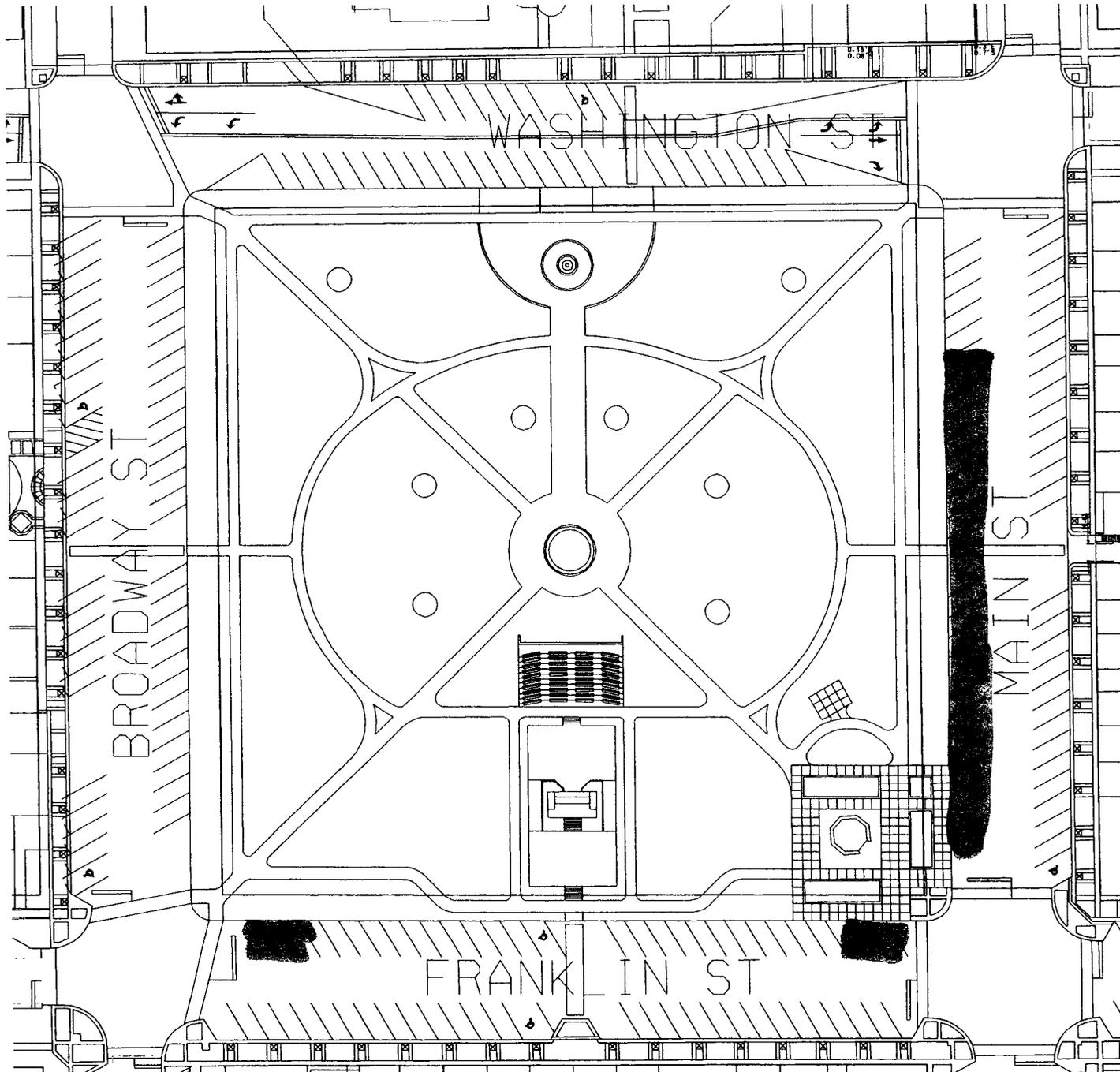


# CENTRAL PARK

Pella, Iowa

July 7 - Color Me Pella

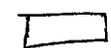
-  Street Closure 3-9 pm
-  Parking space Closure 3-9 pm
-  Remove stop sign & crosswalk signs 3-9 pm
-  Barricades

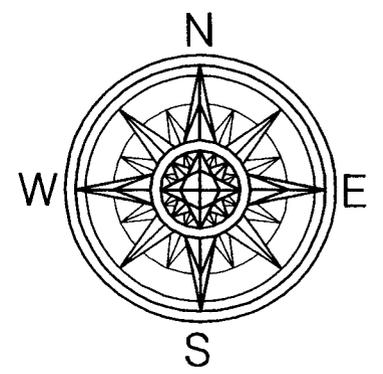
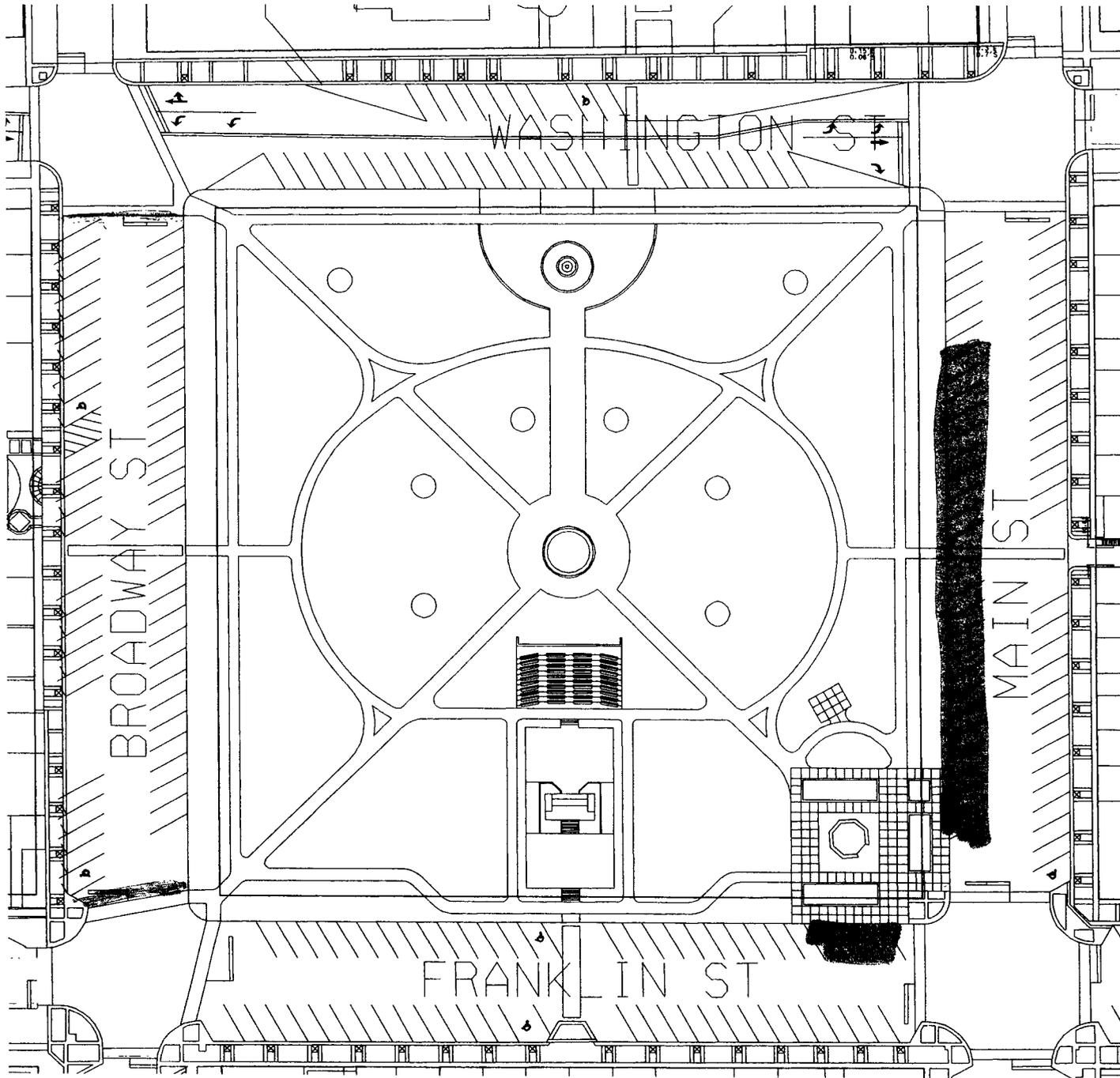


# CENTRAL PARK

Pella, Iowa

July 14 - Game Night

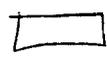
-  Street Closure 3-9 pm
-  Parking space Closure 3-9 pm
-  Barricades

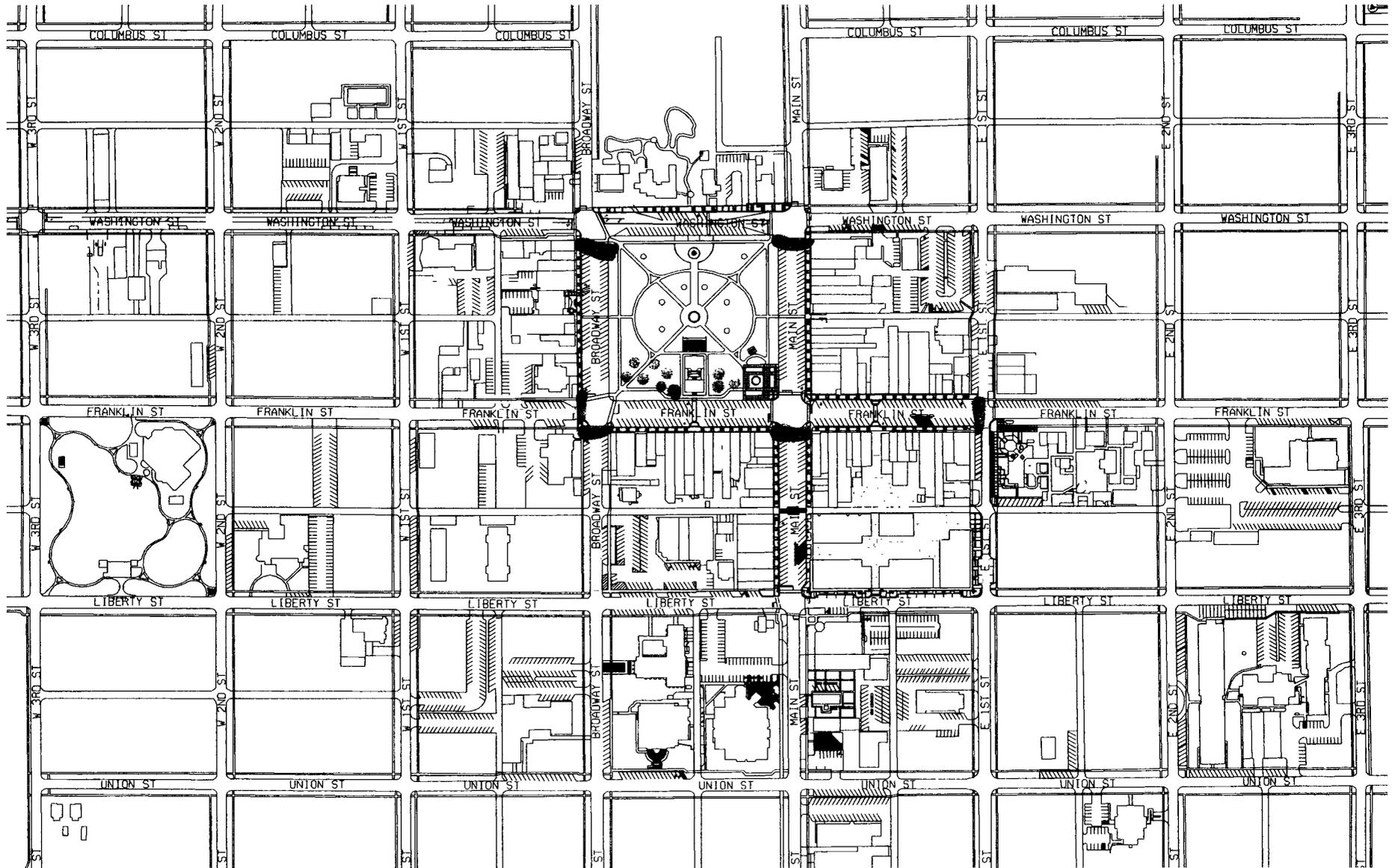


# CENTRAL PARK

Pella, Iowa

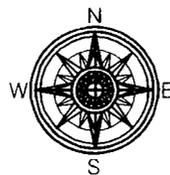
July 21- Go for the Gold!

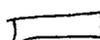
-  Street closure 3-9 pm
-  parking space closure 3-9 pm
-  Barricades

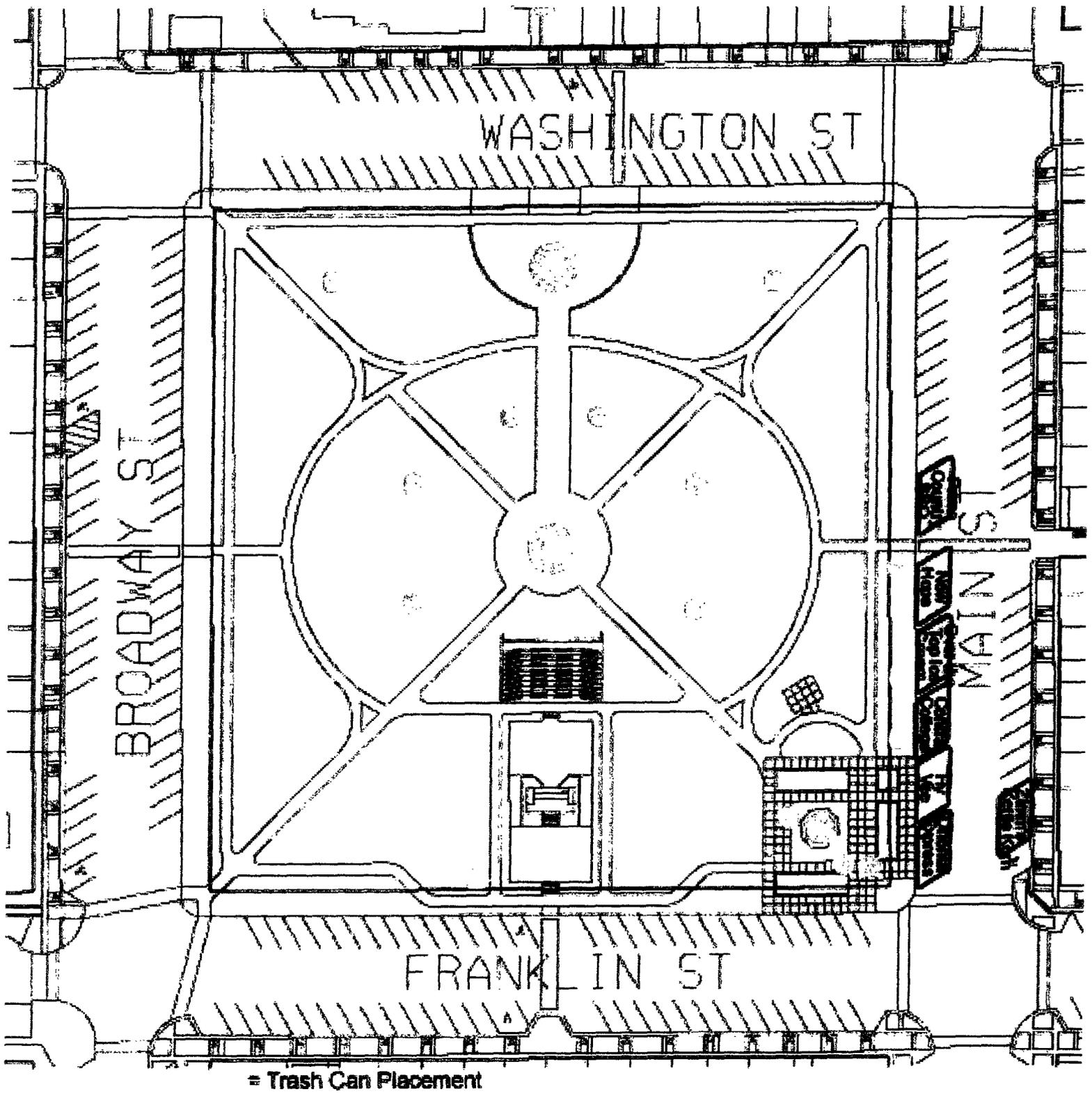


CENTRAL  
BUSINESS  
DISTRICT

Pella, Iowa



- July 28 - Ag In The City
-  street closure 3-9 pm
  -  Picnic Tables (10 tables)
  -  Barricades (4/intersection)



Attachment A - Food Vendors  
Trash can placement



## CITY OF PELLA SPECIAL EVENTS DEPARTMENT REVIEW

|            |                                    |
|------------|------------------------------------|
| [REDACTED] | Thursdays in Pella                 |
|            | April 22, 2016                     |
|            | Ronda Brown                        |
|            | Thursdays--June & July             |
|            | Karen Eischen 628-2626 or 780-5159 |

[REDACTED]

Recommend approval. RAB

[REDACTED]

Event coordinator to contact Doug Rigen @ 230-0084 a minimum of one day in advance of each Thursday event to confirm/coordinate barricades, cones, additional trash cans or other services requested. DB DR

[REDACTED]

Recommend approval. GW

[REDACTED]

Recommend approval. DM

[REDACTED]

Event coordinator to contact Chandler Nunnikhoven to arrange delivery and placement of picnic tables. Recommend approval. JV



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THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

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ITEM NO: H-1

SUBJECT: Amendments to the 2014 Pella Comprehensive Plan

DATE: May 2, 2016 (This item was tabled on April 19, 2016)

**BACKGROUND:**

A public hearing was held on April 19, 2016 on the amendments to the 2014 Pella Comprehensive Plan. Following the public hearing, the resolution to approve the amendments was tabled until further clarification could be provided to Council.

As background, the City of Pella is proposing amendments to the Future Land Use Map of the Comprehensive Plan for rezonings which have been approved since the 2014 Comprehensive Plan update. It should be noted, when the rezonings were approved by the Planning and Zoning Commission, there was direction to also amend the Future Use Land Map. As a result, this amendment is necessary to update the Future Use Land Map for the rezoning of various properties which have been previously approved by the Planning and Zoning Commission and the Pella City Council.

Included are the following:

- 1) Missouri River Energy Services for rezoning to amend the Future Land Use Map from Preserve to Light Industrial (Ordinance 900, approved 8-8-15)
- 2) Russ Van Wyk for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 901, approved 9-15-15)
- 3) Alan and Karla Morrison for rezoning to amend the Future Land Use Map from Medical and Assisted Living to High Density Residential (Ordinance 902, approved 9-15-15)
- 4) Marc Vande Noord for rezoning to amend the Future Land Use Map from Low Density Residential to Light Industrial (Ordinance 903, approved 11-17-15)

The Planning and Zoning Commission approved these amendments at their March 28, 2016 regular meeting.

ATTACHMENTS: Resolution

REPORT PREPARED BY: Planning and Zoning Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve resolution.

RESOLUTION NO. 5679

A RESOLUTION PROPOSING AMENDMENTS TO THE 2014 PELLA  
COMPREHENSIVE PLAN

WHEREAS, the Council of the City of Pella, Iowa, adopted the 2014 Pella Comprehensive Plan August 19, 2014; and,

WHEREAS, the Council of the City of Pella, Iowa, has reviewed recommended amendments to the 2014 Pella Comprehensive Plan which pertain to approved rezoning applications; and,

WHEREAS, the Council of the City of Pella, Iowa, adhering to recommendations of the 2014 Pella Comprehensive Plan to undertake yearly evaluation of the Plan; and,

WHEREAS, the Council of the City of Pella, Iowa, has identified certain areas on the Future Land Use Map, a technical subcomponent of the 2014 Pella Comprehensive Plan; and,

WHEREAS, the Council of the City of Pella, Iowa, desires to maintain the accuracy and relevancy of the 2014 Pella Comprehensive Plan until another full update is undertaken; and,

WHEREAS, the Planning and Zoning Commission after public hearing on March 28, 2016 recommended approval of the proposed amendments to the 2014 Comprehensive Plan.

NOW THEREFORE, BE IT RESOLVED, the areas described below shall amended the 2014 Pella Comprehensive Plan Future Land Use Map as follows:

Authorization – Ordinance 900  
Exhibit A – Legal Description and Map  
Area amended from Preserve to Light Industrial

Authorization – Ordinance 901  
Exhibit B – Legal Description and Map  
Area amended from Low Density Residential to Light Industrial

Authorization – Ordinance 902  
Exhibit C – Legal Description and Map  
Area amended from Medical and Assisted Living to High Density Residential

Authorization – Ordinance 903  
Exhibit D – Legal Description and Map  
Area amended from Low Density residential to Light Industrial

BE IT FURTHER RESOLVED that the Planning and Zoning Director shall hereby AMEND and RECORD the Resolution Number and date of passage of this Resolution on the Official Future Land Use Maps of the 2014 Pella Comprehensive Plan.

Passed and approved by the Council this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda M. Brown, City Clerk

Exhibit A

Legal Description: Lot Four (4) of Lot Three (3) of Lot "D" of the West Half of Section Twenty (20), Township Seventy-six (76) North, Range Eighteen (18) West of the 5<sup>th</sup> P.M., according to survey recorded in Book 97, page 266, Land Deed Record, Marion County, Iowa.

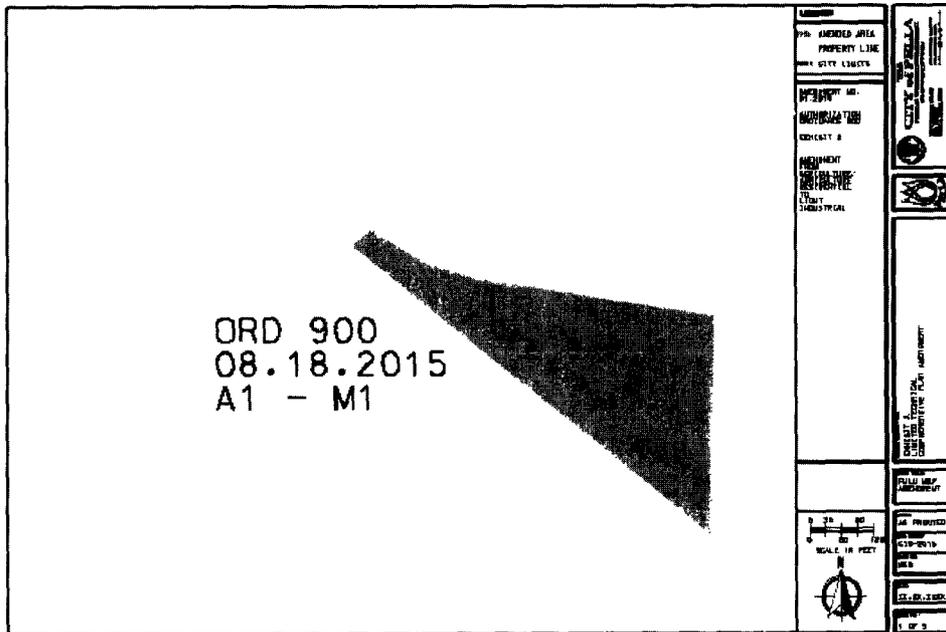


Exhibit B

Legal Description: Lot 11 in Block 20 in the part of the City of Pella, Iowa platted and known as South East Pella, Iowa

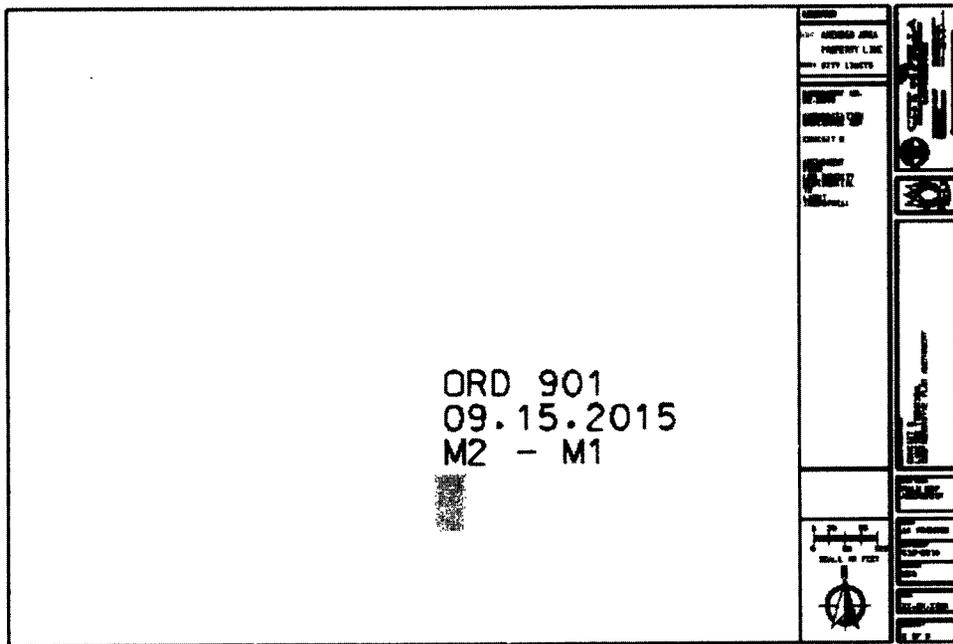
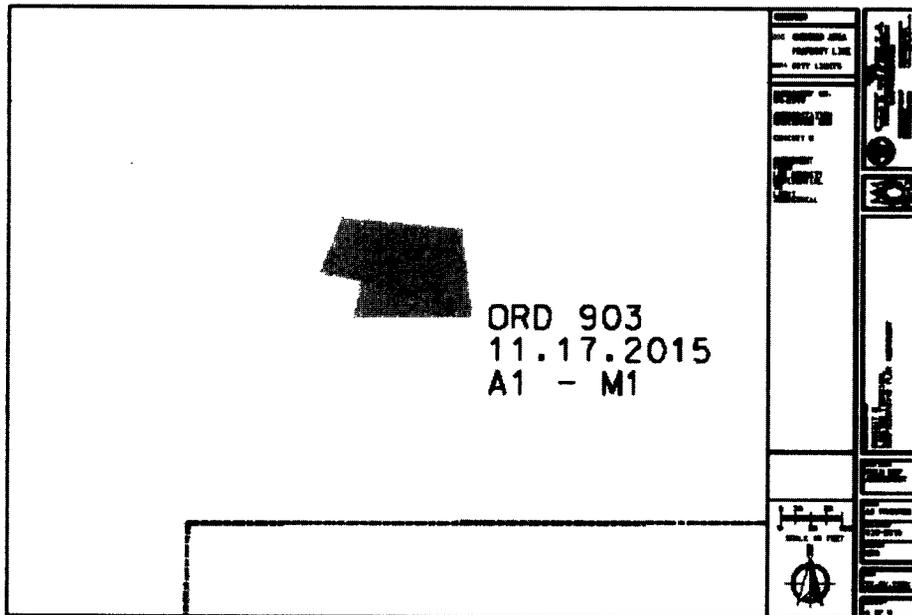
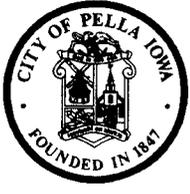




Exhibit D

Legal Description: Parcel H of Lot 2 of the South Half of the NE¼ of Section 34,  
Township 77 North, Range 18 West of the 5<sup>th</sup> PM, Marion County, Iowa





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THE  
**CITY of PELLA**  

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**STAFF MEMO TO COUNCIL**

ITEM NO: H-2

SUBJECT: Approval of Change Order #3 and Authorizing Final Payment to Schoon Construction for Work Associated with the East Washington Underground Conversion Project.

DATE: May 2, 2016

BACKGROUND: On June 16, 2015, Council awarded the contract for construction of the East Washington Street Underground Conversion Project to Schoon Construction, Inc. This resolution accepts Change Order #3 in the amount of \$12,858.10 and authorizes final payment to Schoon Construction in the amount of \$10,404.28.

The primary reason for Change Order #3 is a quantities adjustment of \$7,858.10 to reflect the materials installed for the project. In addition, approximately \$5,000 of this change order is for additional conduit for electrical underground conversions in the Oostpoort Alley area. As background, the project was originally planned and designed to leave all businesses south of the alley fed overhead until the City initiated future public infrastructure improvements in the area. During the course of the project, the Electric Department staff decided to have the contractor install additional electrical conduit which would allow some businesses to perform their underground conversions now rather than waiting for future projects in the area. Overall, staff believes this change enhanced aesthetics and improved reliability in the area.

All contractor work on this project has now been completed, and the engineer has submitted final documents including the Engineer's Statement of Final Completion. The final contract breakdown is listed below:

|  |                             |
|--|-----------------------------|
| Original Contract Price                | \$ 129,506.00               |
| Change Order #1 (Franklin Conversion): | 63,075.00                   |
| Change Order #2 (Quantities):          | 2,646.46                    |
| Change Order #3 (Quantities):          | <u>12,858.10</u>            |
| <b>Total Project Construction Cost</b> | <b><u>\$ 208,085.56</u></b> |

ATTACHMENTS: Resolution, Change Order #3, Engineer's Statement of Final Completion

REPORT PREPARED BY: Electric Department

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve resolution.

RESOLUTION NO. 5688

RESOLUTION ACCEPTING CHANGE ORDER NO. 3 AND AUTHORIZING FINAL  
PAYMENT TO SCHOON CONSTRUCTION, INC. FOR WORK ASSOCIATED  
WITH THE PROJECT KNOWN AS THE EAST WASHINGTON UNDERGROUND  
CONVERSION PROJECT

WHEREAS, on June 16, 2015, the City of Pella awarded the construction contract to Schoon Construction, Inc. of Grinnell, Iowa, for construction of work associated with the East Washington Underground Conversion Project; and,

WHEREAS, the Engineer for the project has reviewed final documents and issued an Engineer's Statement of Final Completion and Owners Acceptance of Contract Construction; and,

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF PELLA, IOWA:

Section 1. That Change Order No. 3 to the Contract Document with Schoon Construction, Inc. in the amount of \$12,858.10 for services relating to the East Washington Underground Conversion Project be approved; and,

Section 2. The work completed by Schoon Construction, Inc. is accepted by the City as having been fully completed in accordance with the said plans, specifications and contract documents. The total contract cost of the improvements payable under said contract was \$208,085.56; and,

Section 3. Final payment to Schoon Construction, Inc. for work completed is authorized in the amount of \$10,404.28.

PASSED AND APPROVED this 2<sup>nd</sup> day of May, 2016.

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James Mueller, Mayor

ATTEST:

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Ronda Brown,  
City Clerk

# Change Order

No. 3

Date of Issuance: April 25, 2016

Effective Date: April 25, 2016

|   |                      |                                 |
|---|----------------------|---------------------------------|
| Project: East Washington Street Electric Distribution Conversion  | Owner: City of Pella | Owner's Contract No.: ---       |
| Contract: East Washington Street Electric Distribution Conversion |                      | Date of Contract: June 16, 2015 |
| Contractor: Schoon Construction, Inc.                             |                      | Engineer's Project No.: 414950  |

**The Contract Documents are modified as follows upon execution of this Change Order:**

Description: Adjust contract unit quantities per Final Inventory Sheet.

**Attachments (list documents supporting change):**

Final Inventory Sheet

**CHANGE IN CONTRACT PRICE:**

**CHANGE IN CONTRACT TIMES:**

Original Contract Price:

\$ 129,506.00

[**Increase**] [~~Decrease~~] from previously approved Change Orders No. 1 to No. 2:

\$ 65,721.46

Contract Price prior to this Change Order:

\$ 195,227.46

[**Increase**] [~~Decrease~~] of this Change Order:

\$ 12,858.10

Contract Price incorporating this Change Order:

\$ 208,085.56

Original Contract Times:  Working days  Calendar days

Substantial completion (days or date): October 1, 2015

Ready for final payment (days or date): October 1, 2015

[**Increase**] [~~Decrease~~] from previously approved Change Orders No. 1 to No. 2:

Substantial completion (days): December 1, 2015

Ready for final payment (days): December 31, 2015

Contract Times prior to this Change Order:

Substantial completion (days or date): December 1, 2015

Ready for final payment (days or date): December 31, 2015

[**Increase**] [~~Decrease~~] of this Change Order:

Substantial completion (days or date): December 1, 2015

Ready for final payment (days or date): May 15, 2016

Contract Times with all approved Change Orders:

Substantial completion (days or date): December 1, 2015

Ready for final payment (days or date): May 15, 2016

RECOMMENDED:

By: [Signature]  
Engineer (Authorized Signature)

Date: 4-26-16

Approved by Funding Agency (if applicable):  
\_\_\_\_\_

ACCEPTED:

By: \_\_\_\_\_  
Owner (Authorized Signature)

Date: \_\_\_\_\_

ACCEPTED:

By: [Signature]  
Contractor (Authorized Signature)

Date: 4/26/16

Date: \_\_\_\_\_

**FINAL INVENTORY**

EAST WASHINGTON STREET ELECTRIC DISTRIBUTION CONVERSION - 2015  
 CITY OF PELLA - PELLA, IA  
 DGR Project Number 414950  
 Bid Date: June 9, 2015  
 Inventory Date: December 9, 2015



| UNIT NO.                       | NAME AND DESCRIPTION OF CONSTRUCTION UNIT              | UNIT PRICE |           |                   | QUANTITIES        |                | EXTENDED PRICE                 |                             | INCREASE/ (DECREASE)<br><br>(FINAL - ORIGINAL) |
|--------------------------------|--|------------|-----------|-------------------|-------------------|----------------|--------------------------------|-----------------------------|--|
|                                |  | LABOR      | MATERIALS | LABOR & MATERIALS | ORIGINAL QUANTITY | FINAL QUANTITY | ORIGINAL EXT. PRICE-LABOR-MAT. | FINAL EXT. PRICE-LABOR-MAT. |  |
| <b>ORIGINAL CONTRACT UNITS</b> |  |            |           |                   |                   |                |                                |                             |  |
| UD-4/0 TPLX                    | Secondary cable, 600 V, 2-#4/0, 1-#2/0 Str. Al. (Mft.) | \$1,000.00 | \$100.00  | \$1,100.00        | 5.700             | 4.142          | \$6,270.00                     | \$4,556.20                  | (\$1,713.80)                                   |
| UD-350 TPLX                    | Secondary cable, 600 V, 2-#350, 1-#4/0 Str. Al. (Mft.) | 1,100.00   | 100.00    | 1,200.00          | 1.280             | 1.307          | 1,536.00                       | 1,568.40                    | 32.40  |
| UD-350 QUAD                    | Secondary cable, 600 V, 3-#350, 1-#4/0 Str. Al. (Mft.) | 1,300.00   | 200.00    | 1,500.00          | 0.600             | 0.000          | 900.00                         | 0.00                        | (900.00)                                       |
| UG-BP                          | 1Ø transformer box pad (ea.)                           | 400.00     | 50.00     | 450.00            | 12                | 11             | 5,400.00                       | 4,950.00                    | (450.00)                                       |
| UG3-CP                         | 3Ø transformer concrete pad (ea.)                      | 650.00     | 200.00    | 850.00            | 2                 | 2              | 1,700.00                       | 1,700.00                    | 0.00   |
| USL-HH                         | Street light hand hole (ea.)                           | 175.00     | 0.00      | 175.00            | 8                 | 8              | 1,400.00                       | 1,400.00                    | 0.00   |
| UM33-PB-24X36                  | Pull box, 24"W x 36"L (ea.)                            | 400.00     | 0.00      | 400.00            | 11                | 17.5           | 4,400.00                       | 7,000.00                    | 2,600.00                                       |
| UR2-(24)                       | Trenching, 24" deep (Mft.)                             | 8,500.00   | 0.00      | 8,500.00          | 2.250             | 2.481          | 19,125.00                      | 21,088.50                   | 1,963.50                                       |
| UR2-(36)                       | Trenching, 36" deep (Mft.)                             | 9,000.00   | 0.00      | 9,000.00          | 0.820             | 0.697          | 7,380.00                       | 6,273.00                    | (1,107.00)                                     |
| UR2-(42)                       | Trenching, 42" deep (Mft.)                             | 10,000.00  | 0.00      | 10,000.00         | 0.070             | 0.183          | 700.00                         | 1,830.00                    | 1,130.00                                       |
| UR4-(1)1P                      | Conduit in trench, (1)1" (Mft.)                        | 700.00     | 600.00    | 1,300.00          | 0.260             | 0.231          | 338.00                         | 300.30                      | (37.70)  |
| UR4-(1)2P                      | Conduit in trench, (1)2" (Mft.)                        | 800.00     | 1,100.00  | 1,900.00          | 0.210             | 1.027          | 399.00                         | 1,951.30                    | 1,552.30                                       |
| UR4-(1)3P                      | Conduit in trench, (1)3" (Mft.)                        | 1,000.00   | 2,250.00  | 3,250.00          | 0.900             | 1.949          | 2,925.00                       | 6,334.25                    | 3,409.25                                       |
| UR5-(1)1P                      | Bore with conduit, (1)1" (Mft.)                        | 9,000.00   | 600.00    | 9,600.00          | 0.460             | 0.461          | 4,416.00                       | 4,425.60                    | 9.60   |
| UR5-(1)2P                      | Bore with conduit, (1)2" (Mft.)                        | 9,000.00   | 1,500.00  | 10,500.00         | 2.900             | 2.655          | 30,450.00                      | 27,877.50                   | (2,572.50)                                     |
| UR5-(2)2P                      | Bore with conduit, (2)2" (Mft.)                        | 10,000.00  | 1,500.00  | 11,500.00         | 0.130             | 0.268          | 1,495.00                       | 3,082.00                    | 1,587.00                                       |
| UR5-(6)2P                      | Bore with conduit, (6)2" (Mft.)                        | 16,000.00  | 7,000.00  | 23,000.00         | 0.080             | 0.000          | 1,840.00                       | 0.00                        | (1,840.00)                                     |
| UR5-(1)3P                      | Bore with conduit, (1)3" (Mft.)                        | 15,000.00  | 3,000.00  | 18,000.00         | 0.820             | 0.939          | 14,760.00                      | 16,902.00                   | 2,142.00                                       |
| UR6-(24)                       | Bore without conduit, 24" deep (Mft.)                  | 8,500.00   | 0.00      | 8,500.00          | 0.550             | 0.379          | 4,675.00                       | 3,221.50                    | (1,453.50)                                     |
| UR8-(6)                        | Core drill, 6" diameter (ea.)                          | 400.00     | 0.00      | 400.00            | 7.000             | 0.000          | 2,800.00                       | 0.00                        | (2,800.00)                                     |
| UR9-D                          | Deep crossing (Mft.)                                   | 12,000.00  | 0.00      | 12,000.00         | 0.020             | 0.000          | 240.00                         | 0.00                        | (240.00)                                       |
| UR9-S                          | Shallow crossing (Mft.)                                | 30,000.00  | 1,000.00  | 31,000.00         | 0.020             | 0.000          | 620.00                         | 0.00                        | (620.00)                                       |
| UR-LDS                         | Lawn damage seeding (Mft.)                             | 1,000.00   | 500.00    | 1,500.00          | 3.060             | 2.902          | 4,590.00                       | 4,353.00                    | (237.00)                                       |
| ASP-REM                        | Asphalt pavement removal (sq. yd.)                     | 60.00      | 0.00      | 60.00             | 11.0              | 43.4           | 660.00                         | 2,604.00                    | 1,944.00                                       |
| ASP-REP                        | Asphalt replacement (ton)                              | 400.00     | 100.00    | 500.00            | 2.5               | 12.7           | 1,250.00                       | 6,350.00                    | 5,100.00                                       |
| PCC-REM                        | Concrete pavement removal (sq. yd.)                    | 125.00     | 0.00      | 125.00            | 1.0               | 37.0           | 125.00                         | 4,625.00                    | 4,500.00                                       |
| PCC-REP                        | Portland cement concrete replacement (cu. yd.)         | 335.00     | 225.00    | 560.00            | 0.2               | 0.7            | 112.00                         | 392.00                      | 280.00   |
| MOB                            | Mobilization (as req'd)                                | 9,000.00   | 0.00      | 9,000.00          | 1                 | 1              | 9,000.00                       | 9,000.00                    | 0.00   |

ORIGINAL CONTRACT PRICE: 129,506.00 141,784.55 12,278.55

**CHANGE ORDER #1 UNITS**

|               |  |           |          |           |       |       |           |           |            |
|---------------|--|-----------|----------|-----------|-------|-------|-----------|-----------|------------|
| UD-4/0 TPLX   | Secondary cable, 600 V, 2-#4/0, 1-#2/0 Str. Al. (Mft.) | 1,000.00  | 100.00   | 1,100.00  | 1.950 | 2.024 | 2,145.00  | 2,226.40  | 81.40      |
| UD-350 TPLX   | Secondary cable, 600 V, 2-#350, 1-#4/0 Str. Al. (Mft.) | 1,100.00  | 100.00   | 1,200.00  | 0.770 | 0.747 | 924.00    | 896.40    | (27.60)    |
| UG-BP         | 1Ø transformer box pad (ea.)                           | 400.00    | 50.00    | 450.00    | 7     | 6     | 3,150.00  | 2,700.00  | (450.00)   |
| USL-HH        | Street light hand hole (ea.)                           | 175.00    | 0.00     | 175.00    | 4     | 4     | 700.00    | 700.00    | 0.00       |
| UM33-PB-24X36 | Pull box, 24"W x 36"L (ea.)                            | 400.00    | 0.00     | 400.00    | 10    | 11.5  | 4,000.00  | 4,600.00  | 600.00     |
| UR2-(24)      | Trenching, 24" deep (Mft.)                             | 8,500.00  | 0.00     | 8,500.00  | 0.790 | 0.518 | 6,715.00  | 4,403.00  | (2,312.00) |
| UR4-(1)1P     | Conduit in trench, (1)1" (Mft.)                        | 700.00    | 600.00   | 1,300.00  | 0.020 | 0.168 | 26.00     | 218.40    | 192.40     |
| UR4-(1)3P     | Conduit in trench, (1)3" (Mft.)                        | 1,000.00  | 2,250.00 | 3,250.00  | 0.370 | 0.249 | 1,202.50  | 809.25    | (393.25)   |
| UR5-(1)1P     | Bore with conduit, (1)1" (Mft.)                        | 9,000.00  | 600.00   | 9,600.00  | 0.200 | 0.089 | 1,920.00  | 854.40    | (1,065.60) |
| UR5-(1)2P     | Bore with conduit, (1)2" (Mft.)                        | 9,000.00  | 1,500.00 | 10,500.00 | 2.615 | 3.146 | 27,457.50 | 33,033.00 | 5,575.50   |
| UR5-(2)2P     | Bore with conduit, (2)2" (Mft.)                        | 10,000.00 | 1,500.00 | 11,500.00 | 0.105 | 0.105 | 0.00      | 1,207.50  | 1,207.50   |
| UR5-(1)3P     | Bore with conduit, (1)3" (Mft.)                        | 15,000.00 | 3,000.00 | 18,000.00 | 0.400 | 0.498 | 7,200.00  | 8,964.00  | 1,764.00   |
| UR6-(24)      | Bore without conduit, 24" deep (Mft.)                  | 8,500.00  | 0.00     | 8,500.00  | 0.450 | 0.182 | 3,825.00  | 1,547.00  | (2,278.00) |
| UR8-(6)       | Core drill, 6" diameter (ea.)                          | 400.00    | 0.00     | 400.00    | 6.000 | 0.708 | 2,400.00  | 283.20    | (2,116.80) |
| UR-LDS        | Lawn damage seeding (Mft.)                             | 1,000.00  | 500.00   | 1,500.00  | 0.940 | 0.708 | 1,410.00  | 1,062.00  | (348.00)   |
| PCC-REM       | Concrete pavement removal (sq. yd.)                    | 125.00    | 0.00     | 125.00    | 1.2   | 1.2   | 0.00      | 150.00    | 150.00     |

CHANGE ORDER #1 PRICE: 63,075.00 63,654.55 579.55

|     |                 |  |  |          |   |   |          |          |      |
|-----|-----------------|--|--|----------|---|---|----------|----------|------|
| CO2 | Change Order #2 |  |  | 2,646.46 | 1 | 1 | 2,646.46 | 2,646.46 | 0.00 |
|-----|-----------------|--|--|----------|---|---|----------|----------|------|

TOTAL PRICE: \$195,227.46 \$208,085.56 \$12,858.10

**ENGINEER'S STATEMENT OF FINAL COMPLETION  
AND  
OWNER'S ACCEPTANCE OF CONTRACT CONSTRUCTION**

TO: City of Pella  
825 Broadway  
Pella, IA 50219

East Washington Street Electric Distribution Conversion - 2015  
PROJECT DESIGNATION

I, the undersigned Engineer of the above designated project, do hereby state that:

1. The construction provided for pursuant to Construction Contract No. 414950, dated 5-15-15, including all approved amendments and change orders, (hereinafter called the "Project") between City of Pella, Pella, IA ("Owner") and Schoon Construction, Inc., Grinnell, IA ("Contractor") has been completed as of 12-9-15 and to the best of my knowledge, information and belief, based on observations made during the period of construction, is in substantial compliance with the provisions of the Construction Contract, including all plans, specifications and drawings, and modifications thereof.

To the best of my knowledge, information and belief,

2. Defects in workmanship and materials reported during the period of construction of the Project have been corrected.

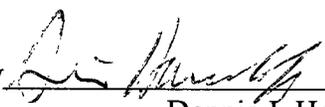
3. The total cost of the project as completed is two hundred eight thousand, eighty-five and 56/100-----dollars (\$ 208,085.56).

4. The Final Inventory attached hereto and made a part hereof is a complete and accurate summary of the work performed in accordance with the Construction Contract.

Accepted:

DGR Engineering

City of Pella, IA  
Owner

By   
Dennis J. Haselhoff, P.E.

By \_\_\_\_\_

Title Project Manager

Date \_\_\_\_\_

Date 3-7-16

Attest \_\_\_\_\_



THE  
**CITY of PELLA**  
STAFF MEMO TO COUNCIL

ITEM NO: I-1

SUBJECT: Amending Chapter 171 Schedule of Rates and Fees

DATE: May 2, 2016 (3rd Reading)

BACKGROUND: This proposed ordinance includes changes to the City's returned electronic payment and returned check fee, false alarm fees, and peddlers/transient merchant fees. The following is additional information utilized in developing the proposed fee structure for each of the three sections.

**False Alarm Fees – Chapter 124:** The following is false alarm rate information obtained from surveyed communities.

| <u># False Alarms</u> | <u>Pella</u> | <u>Oskaloosa</u> | <u>Knoxville</u> | <u>Pleasant Hill</u> | <u>W. Des Moines*</u> | <u>Clive</u> |
|-----------------------|--------------|------------------|------------------|----------------------|-----------------------|--------------|
| 1 \$                  | -            | \$ -             | \$ -             | \$ 25                | \$ -                  | \$ -         |
| 2 \$                  | -            | \$ -             | \$ -             | \$ 50                | \$ -                  | \$ -         |
| 3 \$                  | 15           | \$ 25            | \$ -             | \$ 50                | \$ -                  | \$ 75        |
| 4 \$                  | 15           | \$ 50            | \$ -             | \$ 75                | \$ 50                 | \$ 100       |
| 5 \$                  | 15           | \$ 100           | \$ -             | \$ 75                | \$ 100                | \$ 150       |
| 6 \$                  | 30           | \$ 100           | \$ -             | \$ 75                | \$ 100                | \$ 150       |
| 7 \$                  | 30           | \$ 100           | \$ -             | \$ 100               | \$ 100                | \$ 150       |
| 8 \$                  | 30           | \$ 100           | \$ -             | \$ 100               | \$ 100                | \$ 150       |
| 9 \$                  | 30           | \$ 100           | \$ 25            | \$ 100               | \$ 100                | \$ 150       |
| 10 \$                 | 30           | \$ 100           | \$ 25            | \$ 200               | \$ 100                | \$ 150       |
| 11+ \$                | 60           | \$ 100           | \$ 25            | \$ 200               | \$ 100                | \$ 150       |

\*also has monthly monitoring fee

Based on the surveyed numbers and the City's desire to cover costs associated with false alarms as well as put in place incentives to avoid repeated false alarms, the proposed ordinance includes the following rates:

- First and Second False Alarm: No Charge
- Third through Fifth False Alarm: \$50.00 Each
- Fifth through Tenth False Alarm: \$100.00 Each
- Eleventh and thereafter: \$150.00 Each

Staff believes these rates are consistent with other surveyed communities in our region and will also ensure alarm users put an emphasis on eliminating repeated false alarms.

**Peddler Permit, Transient Merchant Permit – Chapter 122:** The following are peddler/transient merchant permit fees obtained from surveyed communities.

| <b>Peddler Permit</b>           | <b>Pella</b> | <b>Oskaloosa</b> | <b>Creston</b> | <b>Urbandale</b> | <b>Knoxville</b> | <b>Grinnell</b> | <b>W. Des Moines*</b> |
|---------------------------------|--------------|------------------|----------------|------------------|------------------|-----------------|-----------------------|
| <b>Application Fee</b>          | \$ 25        | \$ 25            | \$ 10          | n/a              | n/a              | n/a             | \$ 100.00             |
| <b>Daily Permit</b>             | \$ 5         | \$ 5             | \$ 50          | \$ 25            | n/a              | \$ 25           | \$ 20.00              |
| <b>Weekly Permit</b>            | \$ 15        | \$ 15            | \$ 150         | \$ 75            | n/a              | n/a             | \$ 100.00             |
| <b>Monthly Permit</b>           | \$ 30        | \$ 30            | n/a            | n/a              | n/a              | n/a             | n/a                   |
| <b>90 Days</b>                  | n/a          | n/a              | n/a            | \$ 500           | n/a              | n/a             | n/a                   |
| <b>Seasonal Permit/6 Months</b> | \$ 50        | n/a              | \$ 500         | n/a              | n/a              | n/a             | n/a                   |
| <b>1 year</b>                   | n/a          | n/a              | \$ 1,000       | n/a              | \$ 105           | n/a             | n/a                   |

In addition, the Pella City Code states that for a business who has been classified as a transient merchant during the previous two consecutive years, there shall be no fee, provided the business meets the following criteria:

1. The business has not changed its name, ownership or location during the previous two consecutive years.
2. The business has not changed the goods, wares, property, services or merchandise offered for sale during the previous two consecutive years.
3. The business has not had its permit revoked or suspended during the previous two consecutive years.

In order to ensure equitable treatment for those who operate brick and mortar businesses within the city limits and also to ensure administrative and enforcement time is recovered, the proposed ordinance amends the fee of peddler and transient merchant permits to the following:

|                  |          |
|------------------|----------|
| Application Fee: | \$ 25.00 |
| Daily Permit:    | \$ 25.00 |
| Weekly Permit:   | \$ 75.00 |
| Monthly Permit:  | \$150.00 |
| Seasonal Permit: | \$300.00 |

Also, the proposed ordinance removes the exception for those merchants who have operated for two consecutive years.

**Returned Electronic Payment or Returned Check – Chapter 9:** The City’s current returned fee policy charges residents a \$13.00 fee when the City is notified of a returned electronic payment or returned check. Given the bank fees and, more importantly, the staff time necessary to process insufficient funds notifications, the proposed ordinance amends Chapter 9 of the Pella City Code to include the following:

**9.05 Insufficient Funds Fee**

The charge for a returned electronic payment or a returned check shall be the maximum amount allowed under Iowa Code Chapter 554.3512.

The current maximum for insufficient funds fees as set by State Code Chapter 554.3512 is \$30, which would be adjusted in the future when and if State Code is ever amended.

ATTACHMENTS: Ordinance

REPORT PREPARED BY: Finance Director

REPORT REVIEWED BY: CITY ADMINISTRATOR  
CITY CLERK

RECOMMENDATION: Approve ordinance.

ORDINANCE NO. 908

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF PELLA, IOWA  
CHAPTER 171 SCHEDULE OF RATES AND FEES

Be it Enacted by the City Council of the City of Pella, Iowa:

**SECTION 1: TEXT AMENDMENT:** Section 1B. Chapter 9 Fees: (Administrative Fees and Charges), is hereby amended by deleting the section in its entirety and replacing the section with the following:

| <b><u>Description</u></b>                                   | <b><u>Fee</u></b>   |
|---|---|
| 24-Hour Disconnect Notice Posting                           | \$25.00 each  |
| Administrative Fee Added to the Sale and/or Resale of Goods | 15% of cost   |
| Engineering Fees for Development                            | Cost passed on to developer                                 |
| Deposit – Commercial Accounts                               | Largest monthly bill prior 12 months                        |
| Deposit – Residential Accounts                              | Largest monthly bill prior 12 months                        |
| Returned Check/Insufficient Funds                           | The maximum amount allowed under Iowa Code Chapter 554.3512 |

**SECTION 2: TEXT AMENDMENT:** Section 14. Chapter 122 Fees: (Peddlers, Transient Merchants), is hereby amended by deleting the section in its entirety and replacing the section with the following:

| <b><u>Description</u></b> | <b><u>Fee</u></b> |
|---------------------------|-------------------|
| Application Fee           | \$25.00           |
| Daily Permit              | \$25.00           |
| Weekly Permit             | \$75.00           |
| Monthly Permit            | \$150.00          |
| Seasonal Permit           | \$300.00          |

**SECTION 3: TEXT AMENDMENT:** Section 16. Chapter 124 Fees: (False Alarm), is hereby amended by deleting the section in its entirety and replacing the section with the following:

| <b><u>Description</u></b>  | <b><u>Fee</u></b> |
|--|-------------------|
| First and second false alarm   | No Charge         |
| Third through fifth false alarm  | \$50.00 each      |
| Sixth through tenth false alarm  | \$100.00 each     |
| Eleventh and every false alarm thereafter  | \$150.00 each     |
| alarm users with over fifteen false alarms per calendar year will be required to pay \$150.00 for each false alarm for the next calendar year until the number of false alarms is reduced to fifteen for a calendar year |                   |

**SECTION 4: REPEALER.** All ordinances or portions of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

**SECTION 5: SEVERABILITY CLAUSE.** If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**SECTION 6: WHEN EFFECTIVE.** This Ordinance shall be in effect after its final passage, approval and publication as provided by law.

**PASSED, ADOPTED AND APPROVED** by the Council of the City of Pella, Iowa, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
James Mueller, Mayor

ATTEST:

\_\_\_\_\_  
Ronda Brown, City Clerk

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| Invoice                                     | Description                    | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|---|--------------------------------|--------------|------------|------------|--------|--------------------|
| <b>ALLIANT-IES (GAS) (1060)</b>             |                                |              |            |            |        |                    |
| 04152016 - IN POO                           | NATURAL GAS- POOL              | 04/15/2016   | 05/02/2016 | 1,568.61   | 04/16  | 100.5.04.4300.6371 |
| 04192016                                    | NATURAL GAS- MOLENGRACHT       | 04/19/2016   | 05/02/2016 | 117.49     | 04/16  | 100.5.09.4250.6371 |
| Total ALLIANT-IES (GAS) (1060):             |                                |              |            | 1,686.10   |        |                    |
| <b>AMAZON (1070)</b>                        |                                |              |            |            |        |                    |
| 053979678941                                | BACKUP MEDIA - EL              | 03/10/2016   | 05/02/2016 | 110.08     | 04/16  | 400.5.06.8592.9030 |
| 057116073161                                | BACKUP MEDIA - EL              | 03/10/2016   | 05/02/2016 | 109.38     | 04/16  | 400.5.06.8592.9030 |
| 071466495994                                | PRINTER INK - CH               | 03/18/2016   | 05/02/2016 | 89.99      | 04/16  | 100.5.00.6100.6417 |
| 085183871731                                | RETURN TRIPP LITE CONTROL COOL | 03/11/2016   | 05/02/2016 | 259.54-    | 04/16  | 400.5.06.8588.9920 |
| 113063292930                                | WEATHER GUARD - EL             | 03/30/2016   | 05/02/2016 | 703.00     | 04/16  | 400.5.06.8588.9660 |
| 118905212953                                | VEHICLE SPOT LIGHT - EL        | 03/30/2016   | 05/02/2016 | 589.00     | 04/16  | 400.5.06.8588.9660 |
| 122717284508                                | SHELVING FOR SPORTS PARK       | 03/16/2016   | 05/02/2016 | 69.90      | 04/16  | 100.5.09.4245.6510 |
| 149705014175                                | GRAPHICS CARD RETURN           | 03/11/2016   | 05/02/2016 | 39.51-     | 04/16  | 201.5.01.7010.6721 |
| 164190894136                                | POLICE GRAPHICS CARD - PD      | 03/15/2016   | 05/02/2016 | 50.83      | 04/16  | 201.5.01.7010.6721 |
| 174670692844                                | PICKUP HEADACHE RACK - EL      | 03/30/2016   | 05/02/2016 | 104.41     | 04/16  | 400.5.06.8588.9660 |
| 197544571486                                | PICKUP RACK ACCESSORIES - EL   | 03/30/2016   | 05/02/2016 | 33.92      | 04/16  | 400.5.06.8588.9660 |
| 260959731421                                | PICKUP RACK ACCESSORIES - EL   | 03/30/2016   | 05/02/2016 | 188.48     | 04/16  | 400.5.06.8588.9660 |
| 273276101595                                | PICKUP RACK ACCESSORIES - EL   | 04/06/2016   | 05/02/2016 | 38.43      | 04/16  | 400.5.06.8588.9660 |
| Total AMAZON (1070):                        |                                |              |            | 1,788.37   |        |                    |
| <b>ARNOLD MOTOR SUPPLY (1126)</b>           |                                |              |            |            |        |                    |
| 37-504986                                   | TRUCK SUPPLIES                 | 04/22/2016   | 05/02/2016 | 134.44     | 04/16  | 100.5.02.1100.6330 |
| Total ARNOLD MOTOR SUPPLY (1126):           |                                |              |            | 134.44     |        |                    |
| <b>AUTOMATIC DATA PROCESSING INC (1139)</b> |                                |              |            |            |        |                    |
| 1313310-04-2016                             | BACKGROAUND CHECK              | 04/24/2016   | 05/02/2016 | 47.58      | 04/16  | 100.5.00.6320.6416 |
| Total AUTOMATIC DATA PROCESSING INC (1139): |                                |              |            | 47.58      |        |                    |
| <b>BARCO MUNICIPAL PRODUCTS INC (1175)</b>  |                                |              |            |            |        |                    |
| IN-219740                                   | BARRICADES/LIGHTS & SAFETY FEN | 04/14/2016   | 05/02/2016 | 267.73     | 04/16  | 310.5.05.8183.6790 |
| IN-219740                                   | BARRICADES/LIGHTS/FENCE        | 04/14/2016   | 05/02/2016 | 267.72     | 04/16  | 350.5.05.8330.6546 |
| Total BARCO MUNICIPAL PRODUCTS INC (1175):  |                                |              |            | 535.45     |        |                    |
| <b>BEACON ATHLETICS (1194)</b>              |                                |              |            |            |        |                    |
| 0456177-IN                                  | BATTING CAGE PROTECTORS - SPO  | 04/05/2016   | 05/02/2016 | 195.00     | 04/16  | 100.5.09.4245.6590 |
| Total BEACON ATHLETICS (1194):              |                                |              |            | 195.00     |        |                    |
| <b>BLICK ART MATERIALS (1251)</b>           |                                |              |            |            |        |                    |
| 5978716                                     | CANVAS & PAINT - ART CENTER    | 04/24/2016   | 05/02/2016 | 373.48     | 05/16  | 174.5.04.4110.6544 |
| Total BLICK ART MATERIALS (1251):           |                                |              |            | 373.48     |        |                    |
| <b>BOKINSKY, ROBERT A. (1283)</b>           |                                |              |            |            |        |                    |
| 041916PD                                    | MEAL - TRAINING - PD           | 04/19/2016   | 05/02/2016 | 10.35      | 04/16  | 100.5.01.1030.6260 |
| 042516PD                                    | FBI NATIONAL ACADEMY MEMBERSH  | 04/25/2016   | 05/02/2016 | 95.00      | 04/16  | 100.5.01.1030.6210 |
| Total BOKINSKY, ROBERT A. (1283):           |                                |              |            | 105.35     |        |                    |
| <b>BRAAFHART BUILDERS (5804)</b>            |                                |              |            |            |        |                    |
| 35  | TABLES FOR FIRE STATION - FD   | 03/18/2016   | 05/02/2016 | 1,147.24   | 04/16  | 201.5.02.7040.6750 |

| Invoice                                      | Description                   | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-------------------------------|--------------|------------|------------|--------|--------------------|
| Total BRAAFHART BUILDERS (5804):             |                               |              |            | 1,147.24   |        |                    |
| <b>BRADSHAW FOWLER PROCTOR (1324)</b>        |                               |              |            |            |        |                    |
| 226295                                       | LEGAL FEES                    | 04/21/2016   | 05/02/2016 | 345.00     | 04/16  | 100.5.00.6100.6431 |
| Total BRADSHAW FOWLER PROCTOR (1324):        |                               |              |            | 345.00     |        |                    |
| <b>CARPENTER UNIFORM CO (1428)</b>           |                               |              |            |            |        |                    |
| 411606                                       | UNIFORM EXPENSE - PD          | 04/11/2016   | 05/02/2016 | 133.97     | 04/16  | 100.5.01.1030.6510 |
| 412444                                       | UNIFORM EXPENSE - PD          | 04/21/2016   | 05/02/2016 | 81.99      | 04/16  | 100.5.01.1030.6510 |
| Total CARPENTER UNIFORM CO (1428):           |                               |              |            | 215.96     |        |                    |
| <b>CENTRAL COLLEGE (1451)</b>                |                               |              |            |            |        |                    |
| 1298   | VOLUNTEER APPRECIATION DINNER | 04/15/2016   | 05/02/2016 | 225.00     | 04/16  | 100.5.08.6400.6500 |
| 042616                                       | RECYCLE ELECTRONICS           | 04/26/2016   | 04/26/2016 | 90.00      | 04/16  | 201.5.00.7090.6725 |
| 042616-2                                     | RECYCLE ELECTRONICS           | 04/26/2016   | 04/26/2016 | 10.00      | 04/16  | 201.5.00.7090.6725 |
| Total CENTRAL COLLEGE (1451):                |                               |              |            | 325.00     |        |                    |
| <b>CITY OF GRINNELL (5806)</b>               |                               |              |            |            |        |                    |
| 04252016                                     | SWIM TEAM FEES                | 04/25/2016   | 05/02/2016 | 251.31     | 04/16  | 100.5.04.4300.6546 |
| Total CITY OF GRINNELL (5806):               |                               |              |            | 251.31     |        |                    |
| <b>CLASSIC AVIATION INC (1519)</b>           |                               |              |            |            |        |                    |
| 05012016                                     | AIRPORT MANAGER PAYMENT       | 05/01/2016   | 05/02/2016 | 3,447.50   | 05/16  | 100.5.05.2200.6405 |
| Total CLASSIC AVIATION INC (1519):           |                               |              |            | 3,447.50   |        |                    |
| <b>CONTINENTAL RESEARCH CORPORATI (1556)</b> |                               |              |            |            |        |                    |
| 433948-CRC-1                                 | FOOD GRADE GREASE-HYDRANTS    | 04/08/2016   | 05/02/2016 | 227.00     | 04/16  | 300.5.05.8130.6544 |
| Total CONTINENTAL RESEARCH CORPORATI (1556): |                               |              |            | 227.00     |        |                    |
| <b>COX, SHANE (1588)</b>                     |                               |              |            |            |        |                    |
| 041916PD                                     | TRAVEL - MEAL - PD            | 04/19/2016   | 05/02/2016 | 10.35      | 04/16  | 100.5.01.1030.6260 |
| Total COX, SHANE (1588):                     |                               |              |            | 10.35      |        |                    |
| <b>CUSTOMIZED ENERGY SOLUTIONSLTD (1622)</b> |                               |              |            |            |        |                    |
| 1040126                                      | TRANSMISSION - FTR'S          | 04/14/2016   | 05/02/2016 | 1,000.00   | 04/16  | 400.5.06.8565.9520 |
| Total CUSTOMIZED ENERGY SOLUTIONSLTD (1622): |                               |              |            | 1,000.00   |        |                    |
| <b>D &amp; K PRODUCTS (1625)</b>             |                               |              |            |            |        |                    |
| 0442311-IN                                   | HERBICIDE - ROCK AREAS        | 04/22/2016   | 05/02/2016 | 454.00     | 04/16  | 100.5.09.4200.6503 |
| 0442312-IN                                   | EROSION CONTROL - SPORTS PARK | 04/22/2016   | 05/02/2016 | 1,015.71   | 04/16  | 100.5.09.4245.6590 |
| Total D & K PRODUCTS (1625):                 |                               |              |            | 1,469.71   |        |                    |
| <b>DANKO EMERGENCY EQUIPMENT CO (5570)</b>   |                               |              |            |            |        |                    |
| 74826  | HELMET BULLARD                | 04/21/2016   | 05/02/2016 | 75.52      | 04/16  | 100.5.02.1100.6510 |
| Total DANKO EMERGENCY EQUIPMENT CO (5570):   |                               |              |            | 75.52      |        |                    |

| Invoice   | Description                       | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|---|-----------------------------------|--------------|------------|------------|--------|--------------------|
| <b>DAN'S OVERHEAD DOORS AND MORE INC (5803)</b> |                                   |              |            |            |        |                    |
| 440692  | HANGAR DOOR REPAIR                | 03/11/2016   | 05/02/2016 | 497.56     | 04/16  | 100.5.05.2200.6310 |
| Total DAN'S OVERHEAD DOORS AND MORE INC (5803): |                                   |              |            | 497.56     |        |                    |
| <b>DE JONG DOOR SERVICE (1668)</b>              |                                   |              |            |            |        |                    |
| 16036   | OVERHEAD SHOP DOOR REPAIR -E L    | 04/06/2016   | 05/02/2016 | 375.00     | 04/16  | 400.5.06.8588.9300 |
| Total DE JONG DOOR SERVICE (1668):              |                                   |              |            | 375.00     |        |                    |
| <b>DE RUITER EQUIPMENT (1685)</b>               |                                   |              |            |            |        |                    |
| 04062016  | BLOWER REPAIR - PK                | 04/06/2016   | 05/02/2016 | 20.49      | 04/16  | 100.5.09.4200.6350 |
| 04192016  | LEAF VAC REPAIR - SPORTS PARK     | 04/19/2016   | 05/02/2016 | 64.62      | 04/16  | 100.5.09.4205.6350 |
| Total DE RUITER EQUIPMENT (1685):               |                                   |              |            | 85.11      |        |                    |
| <b>DE VRIES, LARRY (4967)</b>                   |                                   |              |            |            |        |                    |
| 3-11600-09                                      | CREDIT BALANCE REFUND             | 04/14/2016   | 05/02/2016 | 108.78     | 05/16  | 001.1199           |
| 36-08600-03                                     | CREDIT BALANCE REFUND             | 04/15/2016   | 05/02/2016 | 20.54      | 05/16  | 001.1199           |
| 36-11000-01                                     | CREDIT BALANCE REFUND             | 04/15/2016   | 05/02/2016 | 101.16     | 05/16  | 001.1199           |
| 63-70005-01                                     | CREDIT BALANCE REFUND             | 04/15/2016   | 05/02/2016 | 31.66      | 05/16  | 001.1199           |
| Total DE VRIES, LARRY (4967):                   |                                   |              |            | 262.14     |        |                    |
| <b>DGR ENGINEERING (1706)</b>                   |                                   |              |            |            |        |                    |
| 00218839  | CONSULT. - WATER PLANT - EL       | 04/13/2016   | 05/02/2016 | 216.00     | 04/16  | 400.5.06.8588.9810 |
| 00218839  | CONSULT. - VERMEER DG - EL        | 04/13/2016   | 05/02/2016 | 282.00     | 04/16  | 400.5.06.8588.9810 |
| 00218839  | CONSULT. - IUB INSPECTION - EL    | 04/13/2016   | 05/02/2016 | 3,158.38   | 04/16  | 400.5.06.8588.9810 |
| 00218840  | CONSULT. - WEST SUB 69 KV IMPRO   | 04/13/2016   | 05/02/2016 | 21,562.00  | 04/16  | 410.5.06.8955.3900 |
| 00218841  | CONSULT. - SCADA UPGRADE - EL     | 04/13/2016   | 05/02/2016 | 3,770.00   | 04/16  | 410.5.06.8977.3970 |
| 00218842  | CONSULTING - WEST SUB 69 KV LINE  | 04/13/2016   | 05/02/2016 | 1,300.00   | 04/16  | 410.5.06.8955.3900 |
| 00218843  | CONSULT. - WEST SUB 15KV DISTR. I | 04/13/2016   | 05/02/2016 | 6,080.00   | 04/16  | 410.5.06.8955.3900 |
| 00218844  | CONSULT. - 2016 DISTRIBUTION IMPR | 04/13/2016   | 05/02/2016 | 6,810.00   | 04/16  | 410.5.06.8952.3670 |
| Total DGR ENGINEERING (1706):                   |                                   |              |            | 43,178.38  |        |                    |
| <b>FASTENAL COMPANY (1929)</b>                  |                                   |              |            |            |        |                    |
| IAPEA93528                                      | PPE                               | 04/07/2016   | 05/02/2016 | 9.52       | 04/16  | 115.5.05.2100.6546 |
| IAPEA93533                                      | PPE                               | 04/07/2016   | 05/02/2016 | 23.40      | 04/16  | 115.5.05.2100.6546 |
| Total FASTENAL COMPANY (1929):                  |                                   |              |            | 32.92      |        |                    |
| <b>FELD FIRE (1937)</b>                         |                                   |              |            |            |        |                    |
| 0288520-IN                                      | HELMETS & TAPE FOR TRAILER - FD   | 12/21/2015   | 05/02/2016 | 370.00     | 04/16  | 201.5.02.7048.6710 |
| Total FELD FIRE (1937):                         |                                   |              |            | 370.00     |        |                    |
| <b>GARDEN &amp; ASSOCIATES LTD (2026)</b>       |                                   |              |            |            |        |                    |
| 34035   | OSKALOOSA ST RECON                | 04/19/2016   | 05/02/2016 | 19,986.07  | 04/16  | 215.5.05.2191.6761 |
| 34036   | WASHINGTON STREET PROJECT         | 04/19/2016   | 05/02/2016 | 2,573.22   | 04/16  | 215.5.05.2179.6761 |
| 34037   | HAZEL ST RECON                    | 04/19/2016   | 05/02/2016 | 3,496.30   | 04/16  | 215.5.05.2161.6761 |
| Total GARDEN & ASSOCIATES LTD (2026):           |                                   |              |            | 26,055.59  |        |                    |
| <b>GOODENOW, COREY (4984)</b>                   |                                   |              |            |            |        |                    |
| 04212016  | AUDIT TRAINING                    | 04/21/2016   | 05/02/2016 | 360.00     | 04/16  | 100.5.00.6100.6230 |

| Invoice                                      | Description                     | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|---------------------------------|--------------|------------|------------|--------|--------------------|
| Total GOODENOW, COREY (4984):                |                                 |              |            | 360.00     |        |                    |
| <b>GPE CONTROLS INC (5607)</b>               |                                 |              |            |            |        |                    |
| 148127                                       | SOLENOID VALVE                  | 04/06/2016   | 05/02/2016 | 320.00     | 04/16  | 350.5.05.8300.6350 |
| 148127                                       | FREIGHT                         | 04/06/2016   | 05/02/2016 | 14.20      | 04/16  | 350.5.05.8300.6531 |
| Total GPE CONTROLS INC (5607):               |                                 |              |            | 334.20     |        |                    |
| <b>GRAYMONT WESTERN LIME INC. (2093)</b>     |                                 |              |            |            |        |                    |
| 70298 RI                                     | LIME                            | 04/11/2016   | 05/02/2016 | 4,092.99   | 04/16  | 300.5.05.8120.6503 |
| Total GRAYMONT WESTERN LIME INC. (2093):     |                                 |              |            | 4,092.99   |        |                    |
| <b>GRIMES ASPHALT AND PAVING CORP (2101)</b> |                                 |              |            |            |        |                    |
| 10240  | COLD MIX                        | 04/08/2016   | 05/02/2016 | 630.72     | 04/16  | 115.5.05.2100.6549 |
| 10254  | ASPHALT                         | 04/12/2016   | 05/02/2016 | 559.44     | 04/16  | 310.5.05.8183.6790 |
| Total GRIMES ASPHALT AND PAVING CORP (2101): |                                 |              |            | 1,190.16   |        |                    |
| <b>GRITTERS ELECTRIC (2104)</b>              |                                 |              |            |            |        |                    |
| 202006                                       | ELECTRICAL SUPPLIES             | 04/07/2016   | 05/02/2016 | 14.51      | 04/16  | 300.5.05.8120.6310 |
| 202007                                       | COIL KIT                        | 04/07/2016   | 05/02/2016 | 79.23      | 04/16  | 350.5.05.8300.6350 |
| 202031                                       | DRILL WORK                      | 04/11/2016   | 05/02/2016 | 70.53      | 04/16  | 115.5.05.2100.6350 |
| 202035                                       | ADDITIONAL OUTLETS IN CONCESSI  | 04/11/2016   | 05/02/2016 | 938.44     | 04/16  | 203.5.08.7226.6799 |
| 202101                                       | REMOVE EXPOSED LIVE WIRING - ME | 04/13/2016   | 05/02/2016 | 1,788.00   | 04/16  | 100.5.09.4250.6320 |
| Total GRITTERS ELECTRIC (2104):              |                                 |              |            | 2,890.71   |        |                    |
| <b>HARDMAN, CHAD MATTHEW (2169)</b>          |                                 |              |            |            |        |                    |
| 041916PD                                     | MEALS-PD                        | 04/19/2016   | 05/02/2016 | 75.35      | 04/16  | 100.5.01.1030.6260 |
| Total HARDMAN, CHAD MATTHEW (2169):          |                                 |              |            | 75.35      |        |                    |
| <b>HAUPERT, BRET (2190)</b>                  |                                 |              |            |            |        |                    |
| 0420161PD                                    | UNIFORM EXPENSE - PD            | 04/20/2016   | 05/02/2016 | 30.55      | 04/16  | 100.5.01.1030.6514 |
| 0420161PD                                    | MEALS - PD                      | 04/20/2016   | 05/02/2016 | 27.00      | 04/16  | 100.5.01.1030.6260 |
| 042016PD                                     | UNIFORM EXPENSE - PD            | 04/20/2016   | 05/02/2016 | 53.00      | 04/16  | 100.5.01.1030.6510 |
| Total HAUPERT, BRET (2190):                  |                                 |              |            | 110.55     |        |                    |
| <b>HOGAN, KYLE M (5787)</b>                  |                                 |              |            |            |        |                    |
| 711008210                                    | CREDIT BALANCE REFUND           | 04/20/2016   | 05/02/2016 | 25.36      | 05/16  | 001.1199           |
| Total HOGAN, KYLE M (5787):                  |                                 |              |            | 25.36      |        |                    |
| <b>HOWARD R GREEN COMPANY (2290)</b>         |                                 |              |            |            |        |                    |
| 104207                                       | RO WATER TREATMENT              | 04/12/2016   | 05/02/2016 | 81,062.84  | 04/16  | 310.5.05.8182.6727 |
| Total HOWARD R GREEN COMPANY (2290):         |                                 |              |            | 81,062.84  |        |                    |
| <b>HY-VEE (2328)</b>                         |                                 |              |            |            |        |                    |
| 0413151690120071                             | CONCESSIONS SUPPLIES - SPORTS   | 04/13/2016   | 05/02/2016 | 6.08       | 04/16  | 100.5.09.4245.6530 |
| 4300028081                                   | CONCESSIONS FOOD - SPORTS PAR   | 04/21/2016   | 05/02/2016 | 5.97       | 04/16  | 100.5.09.4245.6530 |
| 4300072609                                   | CONCESSIONS FOOD - SOCCER       | 04/22/2016   | 05/02/2016 | 31.52      | 04/16  | 100.5.09.4245.6530 |
| 4300101079                                   | CONCESSIONS FOOD - SPORTS PAR   | 04/22/2016   | 05/02/2016 | 152.95     | 04/16  | 100.5.09.4245.6530 |
| 4300127544                                   | ECYCLE EVENT                    | 04/23/2016   | 05/02/2016 | 5.98       | 04/16  | 195.5.05.8400.6545 |
| 4398543273                                   | CONCESSIONS FOOD - SPORTS PAR   | 04/18/2016   | 05/02/2016 | 16.84      | 04/16  | 100.5.09.4245.6530 |

| Invoice                                      | Description                       | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-----------------------------------|--------------|------------|------------|--------|--------------------|
| 4398989575                                   | SNACK FOR ADULT ART CLASS - CC    | 04/19/2016   | 05/02/2016 | 8.48       | 04/16  | 100.5.04.4110.6544 |
| Total HY-VEE (2328):                         |                                   |              |            | 227.82     |        |                    |
| <b>IA DIVISION OF CRIMINAL INVEST (2363)</b> |                                   |              |            |            |        |                    |
| 04222016                                     | BACKGROUND CHECKS                 | 04/22/2016   | 05/02/2016 | 300.00     | 04/16  | 100.1650           |
| Total IA DIVISION OF CRIMINAL INVEST (2363): |                                   |              |            | 300.00     |        |                    |
| <b>IA FIREMEN'S ASSOCIATION (2368)</b>       |                                   |              |            |            |        |                    |
| 042516                                       | PATCHES                           | 04/25/2016   | 05/02/2016 | 45.00      | 04/16  | 100.5.02.1100.6210 |
| Total IA FIREMEN'S ASSOCIATION (2368):       |                                   |              |            | 45.00      |        |                    |
| <b>IA ONE CALL (2385)</b>                    |                                   |              |            |            |        |                    |
| 179497                                       | LOCATES - EL                      | 04/11/2016   | 05/02/2016 | 210.20     | 04/16  | 400.5.06.8588.9810 |
| 179938                                       | LOCATES-WTP                       | 04/11/2016   | 05/02/2016 | 85.95      | 04/16  | 300.5.05.8100.6405 |
| 179938                                       | LOCATES-WWTP                      | 04/11/2016   | 05/02/2016 | 85.95      | 04/16  | 350.5.05.8330.6405 |
| Total IA ONE CALL (2385):                    |                                   |              |            | 382.10     |        |                    |
| <b>IA PRISON INDUSTRIES (2392)</b>           |                                   |              |            |            |        |                    |
| 939136                                       | SOCCER FIELD # & NO PARKING SIG   | 03/09/2016   | 05/02/2016 | 640.00     | 04/16  | 100.5.09.4245.6590 |
| 939465                                       | SIGNS                             | 04/08/2016   | 05/02/2016 | 2,321.00   | 04/16  | 115.5.05.2100.6532 |
| 939648                                       | SIGNS                             | 04/15/2016   | 05/02/2016 | 21.50      | 04/16  | 115.5.05.2100.6532 |
| Total IA PRISON INDUSTRIES (2392):           |                                   |              |            | 2,982.50   |        |                    |
| <b>IA RADIO PLUS (2394)</b>                  |                                   |              |            |            |        |                    |
| 16040330                                     | ADVERTISING - CITIZEN POLICE ACA  | 04/24/2016   | 05/02/2016 | 97.44      | 04/16  | 100.5.01.1050.6402 |
| 16040330                                     | ADVERTISING - CITIZEN POLICE ACA  | 04/24/2016   | 05/02/2016 | 97.44      | 05/16  | 100.5.01.1050.6402 |
| 16040330                                     | ADVERTISING - CITIZEN POLICE ACA  | 04/24/2016   | 05/02/2016 | 97.44      | 04/16  | 100.5.01.1050.6402 |
| 16040651                                     | ADVERTISING - POLICE OFFICER HIRI | 04/24/2016   | 05/02/2016 | 226.80     | 04/16  | 100.5.01.1050.6402 |
| 16040651                                     | ADVERTISING - POLICE OFFICER HIRI | 04/24/2016   | 05/02/2016 | 226.80     | 05/16  | 100.5.01.1050.6402 |
| Total IA RADIO PLUS (2394):                  |                                   |              |            | 97.44      |        |                    |
| <b>IDEAL READY MIX COMPANY (2429)</b>        |                                   |              |            |            |        |                    |
| 474421                                       | CONCRETE-CATCH BASIN PARKING L    | 04/02/2016   | 05/02/2016 | 223.01     | 04/16  | 300.5.05.8130.6399 |
| 474421                                       | CONCRETE                          | 04/02/2016   | 05/02/2016 | 223.00     | 04/16  | 350.5.05.8330.6320 |
| 474422                                       | CONCRETE                          | 04/02/2016   | 05/02/2016 | 1,616.75   | 04/16  | 310.5.05.8183.6790 |
| 474900                                       | CONCRETE - OOSTPORT BOLARDS -     | 04/09/2016   | 05/02/2016 | 529.50     | 04/16  | 410.5.06.8993.3670 |
| 474901                                       | PARKING LOT - POOL                | 04/09/2016   | 05/02/2016 | 6,003.75   | 04/16  | 201.5.04.7082.6799 |
| 474902                                       | CONCRETE                          | 04/09/2016   | 05/02/2016 | 1,567.38   | 04/16  | 310.5.05.8183.6790 |
| Total IDEAL READY MIX COMPANY (2429):        |                                   |              |            | 10,163.39  |        |                    |
| <b>ITRON INC (2487)</b>                      |                                   |              |            |            |        |                    |
| 410124                                       | METER EQUIPMENT MAINTENANCE C     | 04/11/2016   | 05/02/2016 | 1,819.78   | 04/16  | 300.5.05.8100.6405 |
| 410124                                       | METER EQUIPMENT MAINTENANCE C     | 04/11/2016   | 05/02/2016 | 1,819.77   | 04/16  | 350.5.05.8310.6405 |
| Total ITRON INC (2487):                      |                                   |              |            | 3,639.55   |        |                    |
| <b>JAARSMA BAKERY (2499)</b>                 |                                   |              |            |            |        |                    |
| 117888                                       | CONCESSIONS FOOD - SOCCER         | 04/22/2016   | 05/02/2016 | 13.50      | 04/16  | 100.5.09.4245.6530 |
| 121184                                       | STAFF TREATS - PK                 | 04/22/2016   | 05/02/2016 | 9.20       | 04/16  | 100.5.09.4200.6425 |
| 121444                                       | CONCESSIONS FOOD - SOCCER         | 04/16/2016   | 05/02/2016 | 20.80      | 04/16  | 100.5.09.4245.6530 |

| Invoice  | Description                       | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-----------------------------------|--------------|------------|------------|--------|--------------------|
| Total JAARSMA BAKERY (2499):                   |                                   |              |            | 43.50      |        |                    |
| <b>JEFF ELLIS &amp; ASSOCIATES INC. (2518)</b> |                                   |              |            |            |        |                    |
| 20076174                                       | ELLIS FEE - POOL                  | 05/01/2016   | 05/02/2016 | 934.58     | 05/16  | 100.5.04.4300.6416 |
| Total JEFF ELLIS & ASSOCIATES INC. (2518):     |                                   |              |            | 934.58     |        |                    |
| <b>JOHN DEERE FINANCIAL (2528)</b>             |                                   |              |            |            |        |                    |
| 2598046  | PAINTING SUPPLIES - EL            | 04/12/2016   | 05/02/2016 | 27.13      | 04/16  | 400.5.06.8588.9660 |
| 2598046  | LOCATOR BATTERIES - EL            | 04/12/2016   | 05/02/2016 | 23.78      | 04/16  | 400.5.06.8584.9030 |
| 2598210  | TARP & TIE DOWN - PK              | 04/12/2016   | 05/02/2016 | 13.47      | 04/16  | 100.5.09.4200.6590 |
| 2598476  | PLIERS, TWINE, FENCE WINDER - PK  | 04/12/2016   | 05/02/2016 | 49.44      | 04/16  | 100.5.09.4245.6510 |
| 2598778  | MACHINE SCREW                     | 04/13/2016   | 05/02/2016 | 1.19       | 04/16  | 350.5.05.8330.6350 |
| 2599238  | CHAIN & HOOKS - PK                | 04/14/2016   | 05/02/2016 | 76.51      | 04/16  | 100.5.09.4200.6590 |
| 2599291  | PPE                               | 04/14/2016   | 05/02/2016 | 25.47      | 04/16  | 115.5.05.2100.6546 |
| 2599347  | BUILDING SUPPLIES/TOOL PARTS      | 04/14/2016   | 05/02/2016 | 36.96      | 04/16  | 300.5.05.8120.6544 |
| 2599944  | HOOKS & SCREWS FOR WEST MARK      | 04/15/2016   | 05/02/2016 | 25.94      | 04/16  | 100.5.09.4200.6590 |
| 2600322  | SAFETY SHOES - MARLOW - PK        | 04/15/2016   | 05/02/2016 | 80.99      | 04/16  | 100.5.09.4200.6546 |
| 2600424  | SAFETY SHOES - SUMMIT - PK        | 04/15/2016   | 05/02/2016 | 80.99      | 04/16  | 100.5.09.4200.6546 |
| 2602762  | STORM SEWER                       | 04/18/2016   | 05/02/2016 | 4.78       | 04/16  | 115.5.05.2120.6548 |
| 2603747  | BATTERIES - PK                    | 04/20/2016   | 05/02/2016 | 11.89      | 04/16  | 100.5.09.4200.6590 |
| 2604158  | COUPLING, METAL WHEEL, BALL VAL   | 04/20/2016   | 05/02/2016 | 31.95      | 04/16  | 100.5.09.4245.6590 |
| 2604411  | HOOKS & PUMP - PK                 | 04/21/2016   | 05/02/2016 | 64.89      | 04/16  | 100.5.09.4200.6590 |
| 2604715  | SPRAY HEAD - OUT POOL             | 04/21/2016   | 05/02/2016 | 7.19       | 04/16  | 100.5.04.4301.6310 |
| Total JOHN DEERE FINANCIAL (2528):             |                                   |              |            | 562.57     |        |                    |
| <b>KAESTNER, KAILEY B (5805)</b>               |                                   |              |            |            |        |                    |
| 71-10102-27                                    | DEPOSIT REFUND                    | 04/25/2016   | 05/02/2016 | 66.64      | 04/16  | 400.2210           |
| Total KAESTNER, KAILEY B (5805):               |                                   |              |            | 66.64      |        |                    |
| <b>KELLY SUPPLY CO (2579)</b>                  |                                   |              |            |            |        |                    |
| 8161332-0                                      | BALL VALVE                        | 04/05/2016   | 05/02/2016 | 27.28      | 04/16  | 350.5.05.8300.6350 |
| 8161346-0                                      | FLUORESCENT BULBS                 | 04/05/2016   | 05/02/2016 | 42.08      | 04/16  | 300.5.05.8130.6310 |
| 8161346-0                                      | FLUORESCENT BULBS                 | 04/05/2016   | 05/02/2016 | 42.07      | 04/16  | 350.5.05.8330.6310 |
| 8161478-0                                      | AMBULANCE BLDG                    | 04/12/2016   | 05/02/2016 | 13.46      | 04/16  | 100.5.08.6400.6310 |
| 8161571-0                                      | STREET LIGHT FESTOON RECEPTAC     | 04/15/2016   | 05/02/2016 | 113.73     | 04/16  | 400.5.06.8585.9030 |
| 8161683-0                                      | KLOKENSPIEL LIGHT BULB - PK       | 04/20/2016   | 05/02/2016 | 26.09      | 04/16  | 100.5.09.4200.6320 |
| Total KELLY SUPPLY CO (2579):                  |                                   |              |            | 264.71     |        |                    |
| <b>KNIA KRLS (2630)</b>                        |                                   |              |            |            |        |                    |
| 16040651                                       | ADVERTISING - OFFICER HIRING - PD | 04/24/2016   | 05/02/2016 | 226.80     | 04/16  | 100.5.01.1050.6402 |
| Total KNIA KRLS (2630):                        |                                   |              |            | 226.80     |        |                    |
| <b>LEIGHTRONIX INC (5401)</b>                  |                                   |              |            |            |        |                    |
| 1598   | COUNCIL VIDEO HOSTING             | 04/13/2016   | 05/02/2016 | 2,388.00   | 04/16  | 100.5.00.6350.6403 |
| Total LEIGHTRONIX INC (5401):                  |                                   |              |            | 2,388.00   |        |                    |
| <b>LINCOLN NATIONAL (2752)</b>                 |                                   |              |            |            |        |                    |
| 3227250144                                     | LIFE & LTD INSURANCE PREMIUM      | 04/08/2016   | 05/02/2016 | 491.40     | 05/16  | 191.5.08.9200.6154 |
| 3227250144                                     | LIFE & LTD INSURANCE PREMIUM      | 04/08/2016   | 05/02/2016 | 84.96      | 05/16  | 191.5.08.9200.6154 |
| 3227250144                                     | LIFE & LTD INSURANCE PREMIUM      | 04/08/2016   | 05/02/2016 | 81.90      | 05/16  | 191.5.08.9200.6154 |
| 3227250144                                     | LIFE & LTD INSURANCE PREMIUM      | 04/08/2016   | 05/02/2016 | 1,239.20   | 05/16  | 191.5.08.9200.6155 |

| Invoice                                      | Description                   | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-------------------------------|--------------|------------|------------|--------|--------------------|
| Total LINCOLN NATIONAL (2752):               |                               |              |            | 1,897.46   |        |                    |
| <b>LOGAN CONTRACTORS SUPPLY (2769)</b>       |                               |              |            |            |        |                    |
| K92876                                       | PC PRODUCT                    | 04/12/2016   | 05/02/2016 | 298.05     | 04/16  | 115.5.05.2100.6545 |
| K92876 -A                                    | PARKING LOT - POOL            | 04/12/2016   | 05/02/2016 | 617.04     | 04/16  | 201.5.04.7082.6799 |
| K93368                                       | SUPPLIES                      | 04/13/2016   | 05/02/2016 | 450.00     | 04/16  | 115.5.05.2100.6545 |
| R51090                                       | SPRAY PATCHER                 | 04/19/2016   | 05/02/2016 | 1,386.00   | 04/16  | 115.5.05.2100.6549 |
| R51121                                       | CREDIT INVOICE                | 04/19/2016   | 05/02/2016 | 102.67-    | 04/16  | 115.5.05.2100.6549 |
| Total LOGAN CONTRACTORS SUPPLY (2769):       |                               |              |            | 2,648.42   |        |                    |
| <b>MAHASKA BOTTLING/PEPSI-COLA (2803)</b>    |                               |              |            |            |        |                    |
| 11809449                                     | CONCESSIONS POP - SPORTS PARK | 04/20/2016   | 05/02/2016 | 452.70     | 04/16  | 100.5.09.4245.6530 |
| 11809463                                     | CONCESSIONS POP - SOCCER      | 04/20/2016   | 05/02/2016 | 370.30     | 04/16  | 100.5.09.4245.6530 |
| Total MAHASKA BOTTLING/PEPSI-COLA (2803):    |                               |              |            | 823.00     |        |                    |
| <b>MARTIN MARIETTA MATERIALS (2842)</b>      |                               |              |            |            |        |                    |
| 17381245                                     | PARKING LOT - POOL            | 04/07/2016   | 05/02/2016 | 145.83     | 04/16  | 201.5.04.7082.6799 |
| 17381247                                     | ROCK                          | 04/07/2016   | 05/02/2016 | 412.75     | 04/16  | 115.5.05.2100.6549 |
| 17383335                                     | ROCK                          | 04/07/2016   | 05/02/2016 | 257.34     | 04/16  | 300.5.05.8130.6398 |
| 17383335                                     | ROCK                          | 04/07/2016   | 05/02/2016 | 257.34     | 04/16  | 350.5.05.8330.6320 |
| 17417884                                     | ROCK-PW                       | 04/11/2016   | 05/02/2016 | 136.98     | 04/16  | 115.5.05.2100.6549 |
| 17417884 - A                                 | PARKING LOT ROCK - POOL       | 04/11/2016   | 05/02/2016 | 67.64      | 04/16  | 201.5.04.7082.6799 |
| 17419698                                     | ROCK                          | 04/11/2016   | 05/02/2016 | 457.59     | 04/16  | 300.5.05.8130.6398 |
| 17419698                                     | ROCK                          | 04/11/2016   | 05/02/2016 | 457.58     | 04/16  | 350.5.05.8330.6320 |
| Total MARTIN MARIETTA MATERIALS (2842):      |                               |              |            | 2,193.05   |        |                    |
| <b>MENNINGA PEST CONTROL (2913)</b>          |                               |              |            |            |        |                    |
| 46139  | PEST CONTROL - SOCCER COMPLEX | 04/12/2016   | 05/02/2016 | 26.00      | 04/16  | 100.5.09.4200.6403 |
| 46150- A                                     | PEST CONTROL - SPORTS PARK    | 04/04/2016   | 05/02/2016 | 30.00      | 04/16  | 100.5.09.4245.6403 |
| 46386  | PEST CONTROL - PP             | 04/18/2016   | 05/02/2016 | 59.92      | 04/16  | 400.5.06.8549.9020 |
| 46438  | PEST CONTROL - CC             | 04/22/2016   | 05/02/2016 | 92.00      | 04/16  | 100.5.04.4100.6310 |
| 46455  | PEST CONTROL - CH             | 04/18/2016   | 05/02/2016 | 30.00      | 04/16  | 100.5.00.6100.6310 |
| Total MENNINGA PEST CONTROL (2913):          |                               |              |            | 237.92     |        |                    |
| <b>METRO WASTE AUTHORITY (2928)</b>          |                               |              |            |            |        |                    |
| 7296   | HAZARDOUS WASTE DISPOSAL      | 04/14/2016   | 05/02/2016 | 223.75     | 04/16  | 300.5.05.8100.6546 |
| Total METRO WASTE AUTHORITY (2928):          |                               |              |            | 223.75     |        |                    |
| <b>MIDTOWN TIRE COMPANY (2961)</b>           |                               |              |            |            |        |                    |
| 159096                                       | TIRE REPAIR #310 - PK         | 04/13/2016   | 05/02/2016 | 80.00      | 04/16  | 100.5.09.4200.6350 |
| Total MIDTOWN TIRE COMPANY (2961):           |                               |              |            | 80.00      |        |                    |
| <b>MIDWEST SPRAY TEAM &amp; SALES (2982)</b> |                               |              |            |            |        |                    |
| 5165   | WEED CONTROL - PP             | 04/22/2016   | 05/02/2016 | 195.00     | 04/16  | 400.5.06.8549.9020 |
| Total MIDWEST SPRAY TEAM & SALES (2982):     |                               |              |            | 195.00     |        |                    |
| <b>MIDWESTONE INSURANCE SERVICES (1562)</b>  |                               |              |            |            |        |                    |
| 34365  | LIABILITY/PROPERTY INSURANCE  | 03/28/2016   | 05/02/2016 | 33,058.10  | 04/16  | 100.5.08.6405.6410 |
| 34365  | LIABILITY/PROPERTY INSURANCE  | 03/28/2016   | 05/02/2016 | 11,884.87  | 04/16  | 300.5.05.8100.6410 |
| 34365  | LIABILITY/PROPERTY INSURANCE  | 03/28/2016   | 05/02/2016 | 17,750.18  | 04/16  | 350.5.05.8310.6410 |

| Invoice                                     | Description                    | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|---|--------------------------------|--------------|------------|------------|--------|--------------------|
| 34365                                       | LIABILITY/PROPERTY INSURANCE   | 03/28/2016   | 05/02/2016 | 18,619.85  | 04/16  | 400.5.06.8924.9000 |
| 34365                                       | LIABILITY/PROPERTY INSURANCE   | 03/28/2016   | 05/02/2016 | 72,247.43  | 04/16  | 100.5.08.6405.6409 |
| 34365                                       | LIABILITY/PROPERTY INSURANCE   | 03/28/2016   | 05/02/2016 | 19,844.49  | 04/16  | 300.5.05.8100.6409 |
| 34365                                       | LIABILITY/PROPERTY INSURANCE   | 03/28/2016   | 05/02/2016 | 28,647.69  | 04/16  | 350.5.05.8310.6409 |
| 34365                                       | LIABILITY/PROPERTY INSURANCE   | 03/28/2016   | 05/02/2016 | 55,574.39  | 04/16  | 400.5.06.8924.9000 |
| Total MIDWESTONE INSURANCE SERVICES (1562): |                                |              |            | 257,627.00 |        |                    |
| <b>MTI DISTRIBUTION INC (3042)</b>          |                                |              |            |            |        |                    |
| 1059303-00                                  | TORO 4000 - SPORTS PARK        | 04/21/2016   | 05/02/2016 | 171.53     | 04/16  | 100.5.09.4245.6350 |
| Total MTI DISTRIBUTION INC (3042):          |                                |              |            | 171.53     |        |                    |
| <b>MUNICIPAL SUPPLY INC (3052)</b>          |                                |              |            |            |        |                    |
| 0618021-IN                                  | PIPE                           | 03/31/2016   | 05/02/2016 | 168.08     | 04/16  | 350.5.05.8330.6320 |
| 0618021-IN                                  | PIPE                           | 03/31/2016   | 05/02/2016 | 168.07     | 04/16  | 300.5.05.8130.6398 |
| 0618802-IN                                  | DISTRIBUTION PARTS             | 04/11/2016   | 05/02/2016 | 606.00     | 04/16  | 310.5.05.8183.6790 |
| 0619630-IN                                  | STORM SEWER                    | 04/18/2016   | 05/02/2016 | 258.00     | 04/16  | 115.5.05.2120.6548 |
| Total MUNICIPAL SUPPLY INC (3052):          |                                |              |            | 1,200.15   |        |                    |
| <b>O'HALLORAN INTERNATIONAL INC (3176)</b>  |                                |              |            |            |        |                    |
| X100228603:01                               | BRAKE PARTS                    | 03/29/2016   | 05/02/2016 | 84.20      | 04/16  | 300.5.05.8130.6330 |
| X100228603:01                               | BRAKE PARTS                    | 03/29/2016   | 05/02/2016 | 84.20      | 04/16  | 350.5.05.8330.6330 |
| X100228603:02                               | BRAKE PARTS                    | 03/31/2016   | 05/02/2016 | 32.34      | 04/16  | 300.5.05.8130.6330 |
| X100228603:02                               | BRAKE PARTS                    | 03/31/2016   | 05/02/2016 | 32.34      | 04/16  | 350.5.05.8330.6330 |
| Total O'HALLORAN INTERNATIONAL INC (3176):  |                                |              |            | 233.08     |        |                    |
| <b>PACE SUPPLY (3218)</b>                   |                                |              |            |            |        |                    |
| 10004244                                    | MOUND BRICK - SPORTS PARK      | 04/11/2016   | 05/02/2016 | 639.80     | 04/16  | 100.5.09.4245.6558 |
| Total PACE SUPPLY (3218):                   |                                |              |            | 639.80     |        |                    |
| <b>PARTSMASTER (4615)</b>                   |                                |              |            |            |        |                    |
| 23011804                                    | EXTRACTOR SET - PK             | 04/12/2016   | 05/02/2016 | 85.40      | 04/16  | 100.5.09.4200.6310 |
| Total PARTSMASTER (4615):                   |                                |              |            | 85.40      |        |                    |
| <b>PELLA GLASS/HOME IMP (3275)</b>          |                                |              |            |            |        |                    |
| 88278                                       | MIRROR                         | 02/25/2016   | 05/02/2016 | 21.75      | 04/16  | 300.5.05.8130.6310 |
| 88278                                       | MIRROR                         | 02/25/2016   | 05/02/2016 | 21.75      | 04/16  | 350.5.05.8330.6310 |
| Total PELLA GLASS/HOME IMP (3275):          |                                |              |            | 43.50      |        |                    |
| <b>PELLA PRINTING CO (3292)</b>             |                                |              |            |            |        |                    |
| 4112016                                     | APRIL 2016 CITY NEWSLETTERS    | 04/11/2016   | 05/02/2016 | 340.00     | 04/16  | 100.5.00.6350.6417 |
| Total PELLA PRINTING CO (3292):             |                                |              |            | 340.00     |        |                    |
| <b>PLUMB SUPPLY COMPANY (3357)</b>          |                                |              |            |            |        |                    |
| 3843853                                     | PVC PIPE-PICKUP ACCESSORY - EL | 04/14/2016   | 05/02/2016 | 58.20      | 04/16  | 400.5.06.8588.9660 |
| 3854049                                     | PARKING LOT - POOL             | 04/21/2016   | 05/02/2016 | 56.35      | 04/16  | 201.5.04.7082.6799 |
| Total PLUMB SUPPLY COMPANY (3357):          |                                |              |            | 114.55     |        |                    |
| <b>POST OFFICE (3371)</b>                   |                                |              |            |            |        |                    |
| 042216                                      | MAIL 12 DAY NOTICES            | 04/22/2016   | 04/22/2016 | 58.81      | 04/16  | 300.5.05.8100.6531 |

| Invoice                                | Description                     | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|---------------------------------|--------------|------------|------------|--------|--------------------|
| 042216                                 | MAIL 12 DAY NOTICES             | 04/22/2016   | 04/22/2016 | 52.93      | 04/16  | 195.5.05.8400.6531 |
| 042216                                 | MAIL 12 DAY NOTICES             | 04/22/2016   | 04/22/2016 | 52.93      | 04/16  | 350.5.05.8310.6531 |
| 042216                                 | MAIL 12 DAY NOTICES             | 04/22/2016   | 04/22/2016 | 70.56      | 04/16  | 400.5.06.8921.9020 |
| 042916                                 | MAILING UTILITY BILLS           | 04/29/2016   | 04/29/2016 | 1,697.04   | 04/16  | 100.5.00.6310.6531 |
| Total POST OFFICE (3371):              |                                 |              |            | 1,932.27   |        |                    |
| <b>PRAXAIR DISTRIBUTION INC (3385)</b> |                                 |              |            |            |        |                    |
| 72782296                               | CYLINDER RENTAL - EL            | 03/31/2016   | 05/02/2016 | 45.72      | 04/16  | 400.5.06.8588.9950 |
| Total PRAXAIR DISTRIBUTION INC (3385): |                                 |              |            | 45.72      |        |                    |
| <b>QEI LLC (5809)</b>                  |                                 |              |            |            |        |                    |
| INV00000009                            | SCADA SOFTWARE AGREEMENT - EL   | 04/21/2016   | 05/02/2016 | 8,352.00   | 04/16  | 400.5.06.8592.9030 |
| Total QEI LLC (5809):                  |                                 |              |            | 8,352.00   |        |                    |
| <b>QUILL CORPORATION (3420)</b>        |                                 |              |            |            |        |                    |
| 4698729                                | SUPPLIES-PW                     | 04/04/2016   | 05/02/2016 | 32.90      | 04/16  | 100.5.05.6500.6543 |
| 4698729                                | OFFICE SUPPLIES- P&Z            | 04/04/2016   | 05/02/2016 | 94.17      | 04/16  | 100.5.05.5000.6543 |
| 4825723                                | INK CARTRIDGES - PK             | 04/07/2016   | 05/02/2016 | 67.59      | 04/16  | 100.5.04.4100.6543 |
| 4906983                                | INK CARTRIDGE & TICKETS - CC    | 04/11/2016   | 05/02/2016 | 45.68      | 04/16  | 100.5.04.4100.6543 |
| Total QUILL CORPORATION (3420):        |                                 |              |            | 240.34     |        |                    |
| <b>RACOM CORPORATION (3429)</b>        |                                 |              |            |            |        |                    |
| 5B116211                               | AUDIO CABLES FOR TRAINING ROOM  | 04/08/2016   | 05/02/2016 | 162.50     | 04/16  | 100.5.01.1000.6310 |
| 5B116494                               | EARPIECES AND PORTABLE RADIO B  | 04/08/2016   | 05/02/2016 | 196.87     | 04/16  | 100.5.01.1030.6510 |
| Total RACOM CORPORATION (3429):        |                                 |              |            | 359.37     |        |                    |
| <b>RESCO (3480)</b>                    |                                 |              |            |            |        |                    |
| 640912-00                              | ELECTRICAL TAPE - EL            | 04/13/2016   | 05/02/2016 | 428.00     | 04/16  | 400.5.06.8588.9950 |
| 641365-00                              | STREET LIGHT WIRE - EL          | 04/20/2016   | 05/02/2016 | 321.00     | 04/16  | 400.5.06.8585.9030 |
| Total RESCO (3480):                    |                                 |              |            | 749.00     |        |                    |
| <b>RYKEN CONCRETE LIFTING (3580)</b>   |                                 |              |            |            |        |                    |
| 2302                                   | MUDJACKING/SIDEWALKS            | 04/07/2016   | 05/02/2016 | 900.00     | 04/16  | 201.5.05.7115.6790 |
| Total RYKEN CONCRETE LIFTING (3580):   |                                 |              |            | 900.00     |        |                    |
| <b>SAFELITE AUTOGLASS (5808)</b>       |                                 |              |            |            |        |                    |
| 1502-465378                            | REPLACE REAR WINDOW #102 - PK   | 03/14/2016   | 05/02/2016 | 304.38     | 05/16  | 100.5.09.4200.6330 |
| Total SAFELITE AUTOGLASS (5808):       |                                 |              |            | 304.38     |        |                    |
| <b>SCHAEFFER MANUFACTURING (3602)</b>  |                                 |              |            |            |        |                    |
| SE100821-INV1                          | LUBRICANTS                      | 04/06/2016   | 05/02/2016 | 1,183.26   | 04/16  | 350.5.05.8300.6350 |
| Total SCHAEFFER MANUFACTURING (3602):  |                                 |              |            | 1,183.26   |        |                    |
| <b>SCHOON CONSTRUCTION INC (5568)</b>  |                                 |              |            |            |        |                    |
| FINALINVENTORY                         | EAST WASH.CONVERSION - FINAL IN | 03/28/2016   | 05/02/2016 | 10,404.28  | 04/16  | 410.5.06.8987.3670 |
| Total SCHOON CONSTRUCTION INC (5568):  |                                 |              |            | 10,404.28  |        |                    |

| Invoice                                  | Description                   | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-------------------------------|--------------|------------|------------|--------|--------------------|
| <b>SECRETARY OF STATE (3653)</b>         |                               |              |            |            |        |                    |
| 04152016                                 | NOTARY - VAN WYK - CH         | 04/15/2016   | 05/02/2016 | 30.00      | 04/16  | 100.5.00.6100.6210 |
| Total SECRETARY OF STATE (3653):         |                               |              |            | 30.00      |        |                    |
| <b>SHA-RAN WINDOW SERVICES (3668)</b>    |                               |              |            |            |        |                    |
| 041716PD                                 | EXTERIOR WINDOW CLEANING - PD | 04/17/2016   | 05/02/2016 | 50.00      | 04/16  | 100.5.01.1000.6320 |
| Total SHA-RAN WINDOW SERVICES (3668):    |                               |              |            | 50.00      |        |                    |
| <b>SIOUX VALLEY ENVIRONMENTAL (3716)</b> |                               |              |            |            |        |                    |
| 9655                                     | POLYMER                       | 04/18/2016   | 05/02/2016 | 2,160.00   | 04/16  | 350.5.05.8300.6503 |
| Total SIOUX VALLEY ENVIRONMENTAL (3716): |                               |              |            | 2,160.00   |        |                    |
| <b>SISCO (3718)</b>                      |                               |              |            |            |        |                    |
| 175617                                   | FIXED INSURANCE COSTS         | 04/20/2016   | 04/20/2016 | 178.50     | 04/16  | 191.5.08.9200.6157 |
| 175617                                   | FIXED INSURANCE COSTS         | 04/20/2016   | 04/20/2016 | 48,617.15  | 04/16  | 191.5.08.9200.6152 |
| 175617                                   | FIXED INSURANCE COSTS         | 04/20/2016   | 04/20/2016 | 716.38     | 04/16  | 191.5.08.9200.6196 |
| 175617                                   | FIXED INSURANCE COSTS         | 04/20/2016   | 04/20/2016 | 1,500.00   | 04/16  | 191.5.08.9200.6196 |
| 2213-041916-F                            | FLEX SPENDING CLAIMS          | 04/19/2016   | 04/20/2016 | 1,695.31   | 04/16  | 191.5.08.9200.6157 |
| 2213-041916-M                            | MEDICAL CLAIMS                | 04/19/2016   | 04/20/2016 | 5,922.01   | 04/16  | 191.5.08.9200.6153 |
| 2213-042616-F                            | FLEX SPENDING CLAIMS          | 04/26/2016   | 04/26/2016 | 3,767.33   | 04/16  | 191.5.08.9200.6157 |
| 2213-042616-M                            | MEDICAL CLAIMS                | 04/26/2016   | 04/26/2016 | 3,485.43   | 04/16  | 191.5.08.9200.6153 |
| Total SISCO (3718):                      |                               |              |            | 65,882.11  |        |                    |
| <b>SKARSHAUG TESTING LABS (3720)</b>     |                               |              |            |            |        |                    |
| 208165                                   | TEST EQUIPMENT - EL           | 04/19/2016   | 05/02/2016 | 318.16     | 04/16  | 400.5.06.8588.9720 |
| Total SKARSHAUG TESTING LABS (3720):     |                               |              |            | 318.16     |        |                    |
| <b>SLYCORD, MARCIA (3726)</b>            |                               |              |            |            |        |                    |
| 042216PD                                 | TRAVEL - PD                   | 04/22/2016   | 05/02/2016 | 68.10      | 04/16  | 100.5.01.1010.6260 |
| 042216PD                                 | REGISTRATION FEE-PD           | 04/22/2016   | 05/02/2016 | 185.00     | 04/16  | 100.5.01.1010.6230 |
| 042216PD                                 | TRAVEL - HR                   | 04/22/2016   | 05/02/2016 | 96.60      | 04/16  | 100.5.00.6320.6260 |
| Total SLYCORD, MARCIA (3726):            |                               |              |            | 349.70     |        |                    |
| <b>SPORTS PAGE TEAM (3777)</b>           |                               |              |            |            |        |                    |
| 1658                                     | STAFF UNIFORMS - SPORTS PARK  | 03/18/2016   | 05/02/2016 | 384.50     | 04/16  | 100.5.09.4200.6425 |
| 1808                                     | COAT EMBROIDERY - PK          | 04/05/2016   | 05/02/2016 | 7.85       | 04/16  | 100.5.09.4200.6425 |
| 1809                                     | UNIFORM EXPENSE - PD          | 04/04/2016   | 05/02/2016 | 68.00      | 04/16  | 100.5.01.1030.6510 |
| Total SPORTS PAGE TEAM (3777):           |                               |              |            | 460.35     |        |                    |
| <b>SPURGEON, NATE (4791)</b>             |                               |              |            |            |        |                    |
| 04052016                                 | APPA ENGINEERING & OPERATIONS | 04/05/2016   | 05/02/2016 | 468.25     | 04/16  | 400.5.06.8921.9900 |
| Total SPURGEON, NATE (4791):             |                               |              |            | 468.25     |        |                    |
| <b>STRAVERS TRUE VALUE (3838)</b>        |                               |              |            |            |        |                    |
| A226002                                  | BOLT CUTTER - FD              | 03/14/2016   | 05/02/2016 | 68.99      | 04/16  | 100.5.02.1100.6510 |
| A227309                                  | PAINT SUPPLIES - FD           | 04/11/2016   | 05/02/2016 | 5.16       | 04/16  | 201.5.02.7040.6750 |
| A227389                                  | SUPPLIES                      | 04/12/2016   | 05/02/2016 | 3.79       | 04/16  | 115.5.05.2100.6310 |
| A227463                                  | KEYS - POOL                   | 04/13/2016   | 05/02/2016 | 15.00      | 04/16  | 100.5.04.4300.6590 |
| A227558                                  | NUTS & BOLTS - PK             | 04/15/2016   | 05/02/2016 | 1.56       | 04/16  | 100.5.09.4200.6590 |
| A227841                                  | TOILET BOWL CLEANER - CC      | 04/20/2016   | 05/02/2016 | 32.50      | 04/16  | 100.5.04.4100.6590 |

| Invoice                                | Description             | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|-------------------------|--------------|------------|------------|--------|--------------------|
| E55623                                 | BLEACH & TOWELS - POOL  | 04/18/2016   | 05/02/2016 | 87.34      | 04/16  | 100.5.04.4300.6590 |
| Total STRAVERS TRUE VALUE (3838):      |                         |              |            | 214.34     |        |                    |
| <b>SUMMIT COMPANIES (5585)</b>         |                         |              |            |            |        |                    |
| 1118923                                | MONTHLY INSPECTION - EL | 04/20/2016   | 05/02/2016 | 55.00      | 04/16  | 400.5.06.8588.9300 |
| Total SUMMIT COMPANIES (5585):         |                         |              |            | 55.00      |        |                    |
| <b>TERRY-DURIN CO (3928)</b>           |                         |              |            |            |        |                    |
| 328665                                 | 3" HOPE DUCT - EL       | 04/18/2016   | 05/02/2016 | 1,572.90   | 04/16  | 400.5.06.8584.9030 |
| Total TERRY-DURIN CO (3928):           |                         |              |            | 1,572.90   |        |                    |
| <b>TITAN MACHINERY (3959)</b>          |                         |              |            |            |        |                    |
| 621763-CL                              | TRUCK SERVICE           | 04/18/2016   | 05/02/2016 | 345.40     | 04/16  | 100.5.02.1100.6330 |
| 621773-CL                              | SERVICE ON TRUCK        | 04/21/2016   | 05/02/2016 | 491.07     | 04/16  | 100.5.02.1100.6330 |
| 7532252 GP                             | ST-15                   | 04/11/2016   | 05/02/2016 | 781.29     | 04/16  | 115.5.05.2100.6350 |
| 7537777 GP                             | SPRAY PATCHER           | 04/12/2016   | 05/02/2016 | 4.90       | 04/16  | 115.5.05.2100.6549 |
| 7537958 GP                             | SPRAY PATCHER           | 04/12/2016   | 05/02/2016 | 2.65       | 04/16  | 115.5.05.2100.6549 |
| 7578453 GP                             | PRE-CLEANER BOWL        | 04/19/2016   | 05/02/2016 | 17.75      | 04/16  | 350.5.05.8300.6330 |
| Total TITAN MACHINERY (3959):          |                         |              |            | 1,643.06   |        |                    |
| <b>TONY'S AUTO PARTS (3968)</b>        |                         |              |            |            |        |                    |
| 5797-214922                            | SUPPLIES                | 04/13/2016   | 05/02/2016 | 28.32      | 04/16  | 115.5.05.2100.6330 |
| 5797-215306                            | SHOP TOOL               | 04/19/2016   | 05/02/2016 | 25.79      | 04/16  | 115.5.05.2100.6510 |
| Total TONY'S AUTO PARTS (3968):        |                         |              |            | 54.11      |        |                    |
| <b>TRANS-IOWA EQUIPMENT INC (3988)</b> |                         |              |            |            |        |                    |
| I7160822                               | ST-22 PARTS             | 04/18/2016   | 05/02/2016 | 1,122.70   | 04/16  | 115.5.05.2100.6350 |
| Total TRANS-IOWA EQUIPMENT INC (3988): |                         |              |            | 1,122.70   |        |                    |
| <b>TUCKER TRUCKING, ALAN (4009)</b>    |                         |              |            |            |        |                    |
| 11185                                  | ROCK HAULING            | 04/10/2016   | 05/02/2016 | 331.25     | 04/16  | 310.5.05.8183.6790 |
| 11185                                  | ROCK HAULING            | 04/10/2016   | 05/02/2016 | 331.25     | 04/16  | 350.5.05.8330.6320 |
| Total TUCKER TRUCKING, ALAN (4009):    |                         |              |            | 662.50     |        |                    |
| <b>UNITED PARCEL SERVICES (4036)</b>   |                         |              |            |            |        |                    |
| 0000536050176                          | 536050-UPS              | 04/23/2016   | 05/02/2016 | 140.90     | 04/16  | 400.5.06.8588.9920 |
| Total UNITED PARCEL SERVICES (4036):   |                         |              |            | 140.90     |        |                    |
| <b>US CELLULAR (4047)</b>              |                         |              |            |            |        |                    |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 48.84      | 04/16  | 400.5.06.8588.9920 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 10.14      | 04/16  | 400.5.06.8549.9020 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 64.87      | 04/16  | 100.5.05.6500.6373 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 34.13      | 04/16  | 300.5.05.8100.6373 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 46.91      | 04/16  | 400.5.06.8584.9030 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 23.45      | 04/16  | 350.5.05.8330.6373 |
| 0132065099                             | CELL PHONES             | 04/12/2016   | 05/02/2016 | 23.46      | 04/16  | 300.5.05.8100.6373 |
| Total US CELLULAR (4047):              |                         |              |            | 251.80     |        |                    |

| Invoice  | Description                    | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|--------------------------------|--------------|------------|------------|--------|--------------------|
| <b>V &amp; S SCHULER ENGINEERING INC. (5807)</b> |                                |              |            |            |        |                    |
| 021841   | LIGHTNING ARRESTERS - WEST SUB | 04/05/2016   | 05/02/2016 | 8,025.36   | 04/16  | 410.5.06.8955.3900 |
| 021841   | LIGHTNING ARRESTERS - SESS     | 04/05/2016   | 05/02/2016 | 10,031.70  | 04/16  | 400.5.06.8562.9030 |
| Total V & S SCHULER ENGINEERING INC. (5807):     |                                |              |            | 18,057.06  |        |                    |
| <b>VAN BERKUM APPLIANCE (4061)</b>               |                                |              |            |            |        |                    |
| 7523   | REFRIGERATOR - PSP             | 03/31/2016   | 05/02/2016 | 599.95     | 04/16  | 100.5.09.4245.6530 |
| 7530   | FREEZER - PSP                  | 03/31/2016   | 05/02/2016 | 699.95     | 04/16  | 100.5.09.4245.6530 |
| Total VAN BERKUM APPLIANCE (4061):               |                                |              |            | 1,299.90   |        |                    |
| <b>VAN ESSEN AUTO (4075)</b>                     |                                |              |            |            |        |                    |
| 031616PD   | VEHICLE EXPENSE - PD           | 03/16/2016   | 05/02/2016 | 274.32     | 04/16  | 100.5.01.1030.6330 |
| 0324161PD  | VEHICLE EXPENSE - PD           | 03/24/2016   | 05/02/2016 | 39.65      | 04/16  | 100.5.01.1030.6330 |
| 032416PD   | VEHICLE EXPENSE - PD           | 03/24/2016   | 05/02/2016 | 42.15      | 04/16  | 100.5.01.1030.6330 |
| 032516PD   | VEHICLE EXPENSE - PD           | 03/25/2016   | 05/02/2016 | 39.15      | 04/16  | 100.5.01.1030.6330 |
| Total VAN ESSEN AUTO (4075):                     |                                |              |            | 395.27     |        |                    |
| <b>VAN MAANEN SEED &amp; CHEM (4117)</b>         |                                |              |            |            |        |                    |
| 041416PW   | CBD/VEG CONTROL                | 04/14/2016   | 05/02/2016 | 140.00     | 04/16  | 201.5.05.7116.6790 |
| Total VAN MAANEN SEED & CHEM (4117):             |                                |              |            | 140.00     |        |                    |
| <b>VANDER BEEK TRUCK ACCESSORIES (4190)</b>      |                                |              |            |            |        |                    |
| 20962  | PICKUP SPRAY-IN BED LINER - EL | 04/12/2016   | 05/02/2016 | 600.00     | 04/16  | 400.5.06.8588.9660 |
| Total VANDER BEEK TRUCK ACCESSORIES (4190):      |                                |              |            | 600.00     |        |                    |
| <b>VERMEER SALES &amp; SERVICE (4252)</b>        |                                |              |            |            |        |                    |
| 01140290   | SPRAYER COUPLER - EL           | 04/15/2016   | 05/02/2016 | 127.46     | 04/16  | 400.5.06.8584.9030 |
| 01140390   | SPRAYER NOZZLE - EL            | 04/20/2016   | 05/02/2016 | 166.45     | 04/16  | 400.5.06.8584.9030 |
| Total VERMEER SALES & SERVICE (4252):            |                                |              |            | 293.91     |        |                    |
| <b>WAITS, DENNIS (4307)</b>                      |                                |              |            |            |        |                    |
| 04132016   | MILEAGE REIMBURSEMENT          | 04/13/2016   | 05/02/2016 | 58.05      | 04/16  | 350.5.05.8310.6260 |
| Total WAITS, DENNIS (4307):                      |                                |              |            | 58.05      |        |                    |
| <b>WALMART COMMUNITY (4312)</b>                  |                                |              |            |            |        |                    |
| 002375   | JANITORIAL SUPPLIES - PD       | 04/06/2016   | 05/02/2016 | 66.48      | 04/16  | 100.5.01.1000.6411 |
| 002789   | STEP LADDER                    | 03/17/2016   | 05/02/2016 | 28.93      | 04/16  | 100.5.09.4245.6530 |
| 004393   | NAPKINS & PLATES               | 03/16/2016   | 05/02/2016 | 7.72       | 04/16  | 100.5.09.4200.6590 |
| 004566   | PARTY SUPPLIES - CC            | 04/02/2016   | 05/02/2016 | 3.88       | 04/16  | 100.5.04.4300.6590 |
| 004844   | CONCESSION SUPPLIES            | 04/06/2016   | 05/02/2016 | 101.97     | 04/16  | 100.5.09.4245.6530 |
| 008077   | CONCESSION SUPPLIES            | 04/04/2016   | 05/02/2016 | 111.04     | 04/16  | 100.5.09.4245.6530 |
| 008100   | BUILDING SUPPLIES-WTP          | 04/08/2016   | 05/02/2016 | 9.90       | 04/16  | 300.5.05.8120.6590 |
| 008454   | VEHICLE EXPENSE - PD           | 04/04/2016   | 05/02/2016 | 8.96       | 04/16  | 100.5.01.1030.6330 |
| 008454   | SHOE POLISH - PD               | 04/04/2016   | 05/02/2016 | 4.96       | 04/16  | 100.5.01.1030.6544 |
| 008919   | CONCESSION SUPPLIES            | 04/06/2016   | 05/02/2016 | 91.23      | 04/16  | 100.5.09.4245.6530 |
| 009476   | CONCESSION SUPPLIES            | 03/17/2016   | 05/02/2016 | 77.04      | 04/16  | 100.5.09.4245.6530 |
| 011512   | JANITORIAL SUPPLIES-WTP        | 04/11/2016   | 05/02/2016 | 16.18      | 04/16  | 300.5.05.8100.6411 |
| 016933   | SHOP SUPPLIES                  | 03/16/2016   | 05/02/2016 | 159.29     | 04/16  | 115.5.05.2100.6590 |
| 024679   | OFFICE SUPPLIES-WTP            | 03/24/2016   | 05/02/2016 | 8.64       | 04/16  | 300.5.05.8120.6543 |

| Invoice                                      | Description                  | Invoice Date | Due Date   | Total Cost | Period | GL Account         |
|--|------------------------------|--------------|------------|------------|--------|--------------------|
| Total WALMART COMMUNITY (4312):              |                              |              |            | 696.22     |        |                    |
| <b>WEB.COM (4339)</b>                        |                              |              |            |            |        |                    |
| 042216                                       | WEB SERVICE                  | 04/22/2016   | 04/22/2016 | 29.95      | 04/16  | 100.5.00.6200.6403 |
| 25426294                                     | WEB SERVICE                  | 04/18/2016   | 04/20/2016 | 29.95      | 04/16  | 100.5.00.6200.6403 |
| Total WEB.COM (4339):                        |                              |              |            | 59.90      |        |                    |
| <b>WINDSTREAM IOWA COMMUNICATIONS (4413)</b> |                              |              |            |            |        |                    |
| 041516                                       | WWTP TELEPHONE SERVICES-WWTP | 04/15/2016   | 05/02/2016 | 26.63      | 04/16  | 350.5.05.8310.6373 |
| 04212016-1456                                | PHONE 1456 - PP              | 04/21/2016   | 05/02/2016 | 230.59     | 04/16  | 400.5.06.8549.9020 |
| 04212016-8334                                | PHONE 8334 - EL              | 04/21/2016   | 05/02/2016 | 26.07      | 04/16  | 400.5.06.8588.9920 |
| 04212016-8334                                | PHONE 8334 - EL              | 04/21/2016   | 05/02/2016 | 26.07      | 04/16  | 400.5.06.8562.9030 |
| Total WINDSTREAM IOWA COMMUNICATIONS (4413): |                              |              |            | 309.36     |        |                    |
| Grand Totals:                                |                              |              |            | 587,273.60 |        |                    |

Report GL Period Summary

| GL Period | Amount     |
|-----------|------------|
| 05/16     | 6,920.66   |
| 04/16     | 580,352.94 |

Vendor number hash: 0  
 Vendor number hash - split: 0  
 Total number of invoices: 0  
 Total number of transactions: 0

Report Criteria:

Invoice Detail.Input date = 04/20/2016-05/02/2016

## Report Criteria:

Paid transmittals included

Unpaid transmittals included

| Transmittal Number | Name                  | Check Number | Pay Per Date | Pay Code | Description                         | GL Account         | Amount     |
|--------------------|-----------------------|--------------|--------------|----------|-------------------------------------|--------------------|------------|
| <b>1</b>           |                       |              |              |          |                                     |                    |            |
| 1                  | EFTPS                 | 160429129    | 04/23/2016   | 74-00    | SOCIAL SECURITY Pay Period: 4/23/2  | 100.2165           | 10,668.13  |
| 1                  | EFTPS                 | 160429129    | 04/23/2016   | 74-00    | SOCIAL SECURITY Pay Period: 4/23/2  | 100.2165           | 10,668.13  |
| 1                  | EFTPS                 | 160429129    | 04/23/2016   | 75-00    | MEDICARE Pay Period: 4/23/2016      | 100.2165           | 3,034.82   |
| 1                  | EFTPS                 | 160429129    | 04/23/2016   | 75-00    | MEDICARE Pay Period: 4/23/2016      | 100.2165           | 3,034.82   |
| 1                  | EFTPS                 | 160429129    | 04/23/2016   | 76-00    | FEDERAL WITHHOLDING TAX Pay Pe      | 100.2165           | 21,302.78  |
| Total 1:           |                       |              |              |          |                                     |                    | 48,708.68  |
| <b>2</b>           |                       |              |              |          |                                     |                    |            |
| 2                  | IOWA DEPARTMENT OF    | 160429130    | 04/23/2016   | 77-00    | STATE WITHHOLDING TAX Pay Period    | 100.2166           | 9,199.28   |
| 2                  | IOWA DEPARTMENT OF    | 160429130    | 04/23/2016   | 77-00    | STATE WITHHOLDING TAX               | 100.5.00.6100.6502 | .28-       |
| Total 2:           |                       |              |              |          |                                     |                    | 9,199.00   |
| <b>3</b>           |                       |              |              |          |                                     |                    |            |
| 3                  | IPERS                 | 160429128    | 04/23/2016   | 50-01    | IPERS-REGULAR Pay Period: 4/23/201  | 100.2160           | 9,917.56   |
| 3                  | IPERS                 | 160429128    | 04/23/2016   | 50-01    | IPERS-REGULAR Pay Period: 4/23/201  | 100.2160           | 14,884.69  |
| 3                  | IPERS                 | 160429128    | 04/23/2016   | 50-02    | IPERS-ELECTED Pay Period: 4/23/201  | 100.2160           | 27.46      |
| 3                  | IPERS                 | 160429128    | 04/23/2016   | 50-02    | IPERS-ELECTED Pay Period: 4/23/201  | 100.2160           | 41.21      |
| 3                  | IPERS                 | 160429128    | 04/23/2016   | 50-01    | IPERS-REGULAR                       | 100.5.00.6100.6502 | .19        |
| Total 3:           |                       |              |              |          |                                     |                    | 24,871.11  |
| <b>4</b>           |                       |              |              |          |                                     |                    |            |
| 4                  | MUNICIPAL FIRE & POLI | 1766         | 04/23/2016   | 51-01    | MFPRSI-POLICE PENSION Pay Period:   | 100.2161           | 3,278.63   |
| 4                  | MUNICIPAL FIRE & POLI | 1766         | 04/23/2016   | 51-01    | MFPRSI-POLICE PENSION Pay Period:   | 100.2161           | 9,685.99   |
| Total 4:           |                       |              |              |          |                                     |                    | 12,964.62  |
| <b>5</b>           |                       |              |              |          |                                     |                    |            |
| 5                  | ICMA-457              | 160429125    | 04/23/2016   | 52-01    | ICMA RETIREMENT 457 Pay Period: 4/  | 100.2169           | 3,620.00   |
| 5                  | ICMA-457              | 160429125    | 04/23/2016   | 52-02    | ICMA RETIREMENT 457%(GROSS) Pa      | 100.2169           | 2,140.75   |
| Total 5:           |                       |              |              |          |                                     |                    | 5,760.75   |
| <b>6</b>           |                       |              |              |          |                                     |                    |            |
| 6                  | ICMA-401              | 160429124    | 04/23/2016   | 53-00    | 401A Pay Period: 4/23/2016          | 100.2167           | 787.38     |
| Total 6:           |                       |              |              |          |                                     |                    | 787.38     |
| <b>7</b>           |                       |              |              |          |                                     |                    |            |
| 7                  | ICMA-ROTH             | 160429126    | 04/23/2016   | 52-05    | ICMA ROTH IRA Pay Period: 4/23/2016 | 100.2171           | 1,207.30   |
| Total 7:           |                       |              |              |          |                                     |                    | 1,207.30   |
| <b>11</b>          |                       |              |              |          |                                     |                    |            |
| 11                 | CHILD SUPPORT RECOV   | 160429127    | 04/23/2016   | 56-01    | CHILD SUPPORT-FLAT AMT Pay Perio    | 100.2158           | 556.14     |
| Total 11:          |                       |              |              |          |                                     |                    | 556.14     |
| Grand Totals:      |                       |              |              |          |                                     |                    | 104,054.98 |

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| <u>Name</u>   | <u>Pay Per Date</u> | <u>Description</u> | <u>GL Account</u> | <u>Amount</u>     |
|---------------|---------------------|--------------------|-------------------|-------------------|
| ACH           | 4/29/2016           | DIRECT DEPOSITS    | 100.2010          | 137,415.53        |
| CHECK RUN     | 4/29/2016           | PAYCHECKS          | 100.2010          | 6,928.42          |
| Grand Totals: |                     |                    |                   | <u>144,343.95</u> |

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